



NO.	DATE	DESCRIPTION

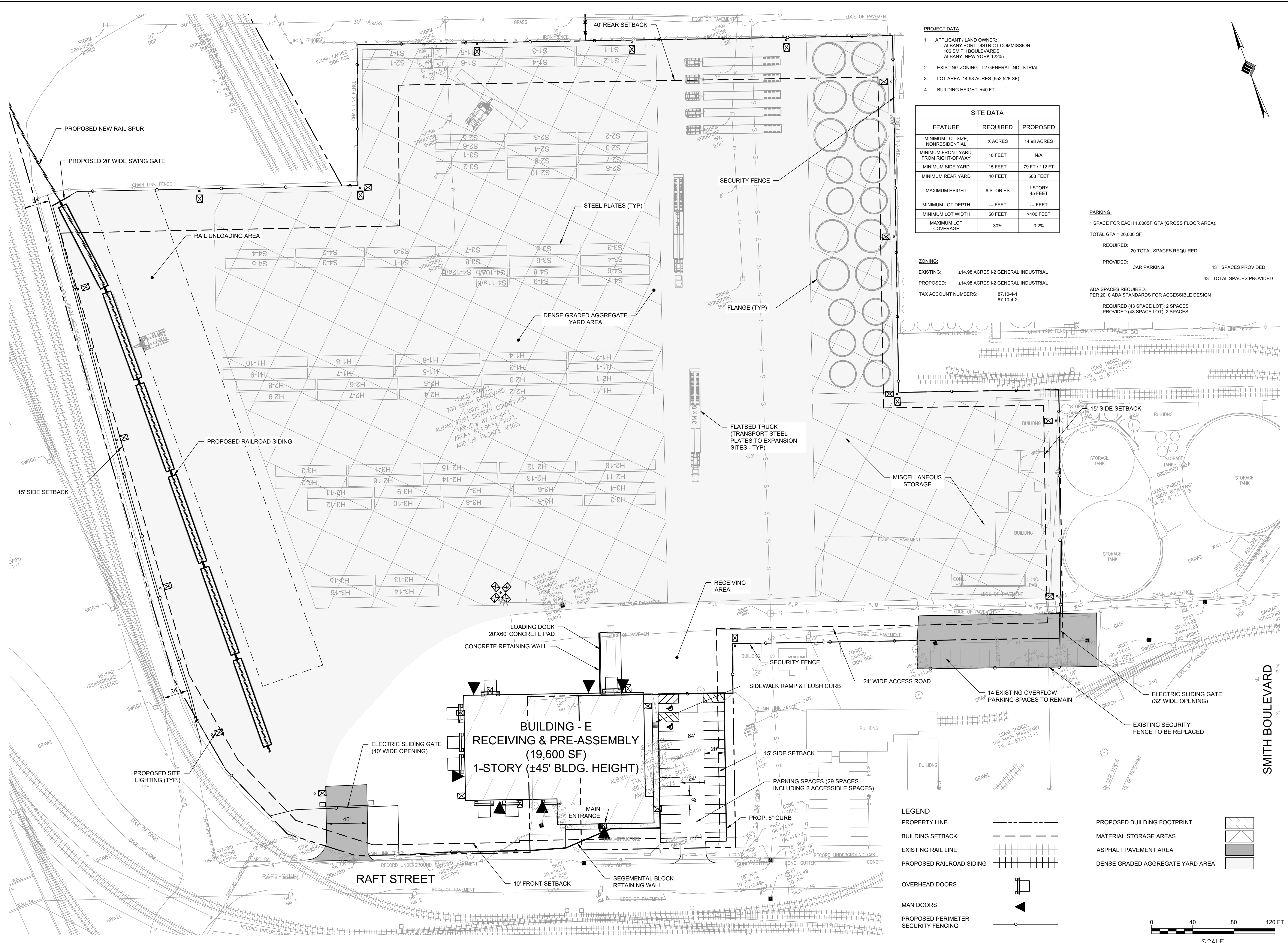
CLIENT: **ALBANY PORT DISTRICT COMMISSION**
 ALBANY, NEW YORK
 PROJECT: **PORT OF ALBANY SITE INFRASTRUCTURE IMPROVEMENTS: 700 SMITH BLVD**

DRAWN	JES
DESIGNED	NSO
CHECKED	AJF
SCALE	1"=40'
DATE	OCTOBER 2021
PROJECT	18641.00

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECT DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

DRAWING TITLE
SITE PLAN

DRAWING NUMBER
SP-01



PROJECT DATA

1. APPLICANT / LAND OWNER:
ALBANY PORT DISTRICT COMMISSION
106 SMITH BOULEVARDS
ALBANY, NEW YORK 12205
2. EXISTING ZONING: I-2 GENERAL INDUSTRIAL
3. LOT AREA: 14.98 ACRES (652,528 SF)
4. BUILDING HEIGHT: ±40 FT

SITE DATA

FEATURE	REQUIRED	PROPOSED
MINIMUM LOT SIZE, NONRESIDENTIAL	X ACRES	14.98 ACRES
MINIMUM FRONT YARD, FROM RIGHT-OF-WAY	10 FEET	N/A
MINIMUM SIDE YARD	15 FEET	79 FT / 112 FT
MINIMUM REAR YARD	40 FEET	508 FEET
MAXIMUM HEIGHT	6 STORIES	1 STORY 45 FEET
MINIMUM LOT DEPTH	--- FEET	--- FEET
MINIMUM LOT WIDTH	50 FEET	>100 FEET
MAXIMUM LOT COVERAGE	30%	3.2%

- ZONING:**
 EXISTING: ±14.98 ACRES I-2 GENERAL INDUSTRIAL
 PROPOSED: ±14.98 ACRES I-2 GENERAL INDUSTRIAL
 TAX ACCOUNT NUMBERS: 87.10-4-1
 87.10-4-2

- PARKING:**
 1 SPACE FOR EACH 1,000SF GFA (GROSS FLOOR AREA).
 TOTAL GFA = 20,000 SF
- REQUIRED:** 20 TOTAL SPACES REQUIRED
PROVIDED: CAR PARKING 43 SPACES PROVIDED
 43 TOTAL SPACES PROVIDED
- ADA SPACES REQUIRED:**
 PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
 REQUIRED (43 SPACE LOT): 2 SPACES
 PROVIDED (43 SPACE LOT): 2 SPACES

