

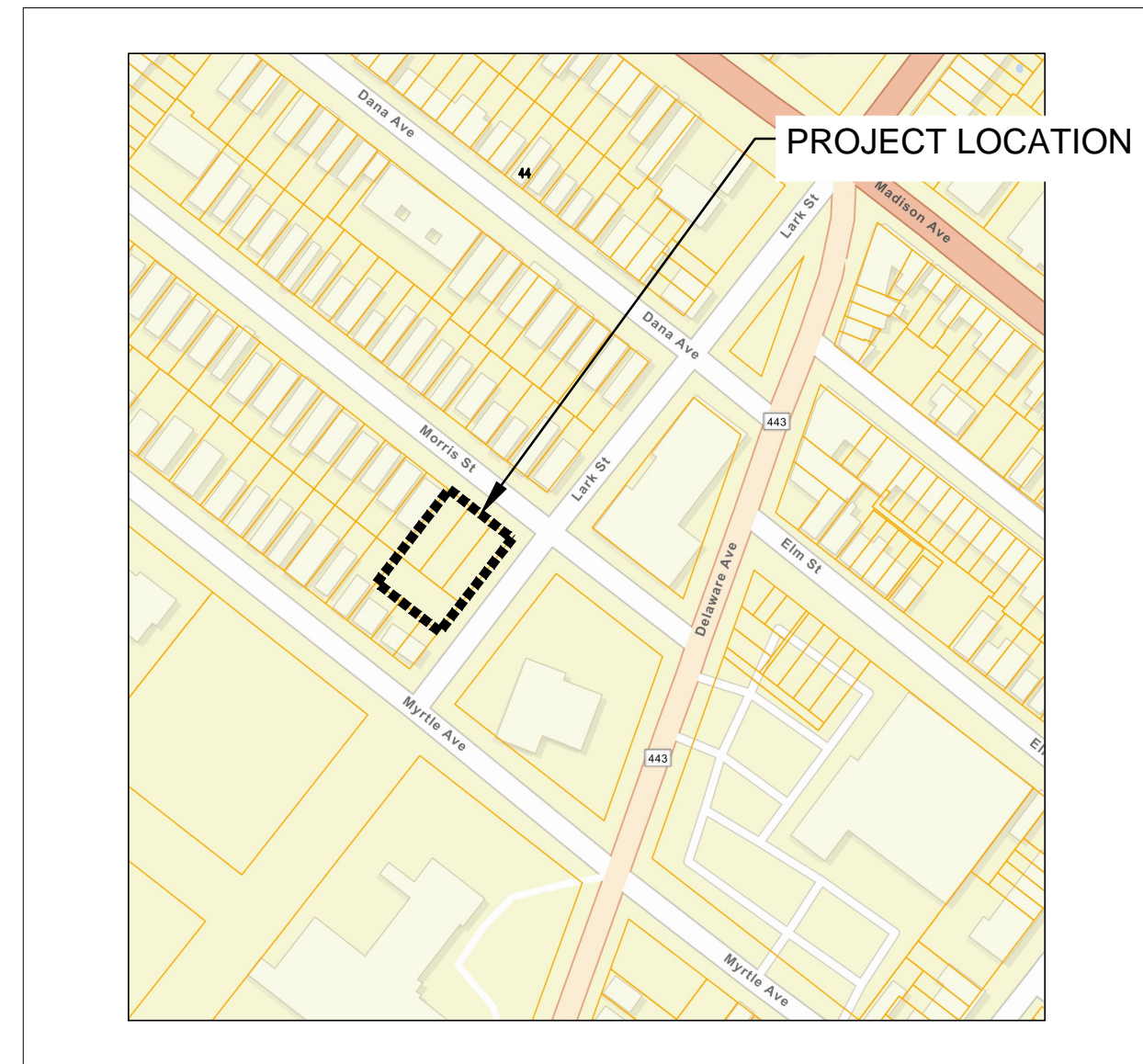
# Morris Street Apartments

## 18 Morris Street

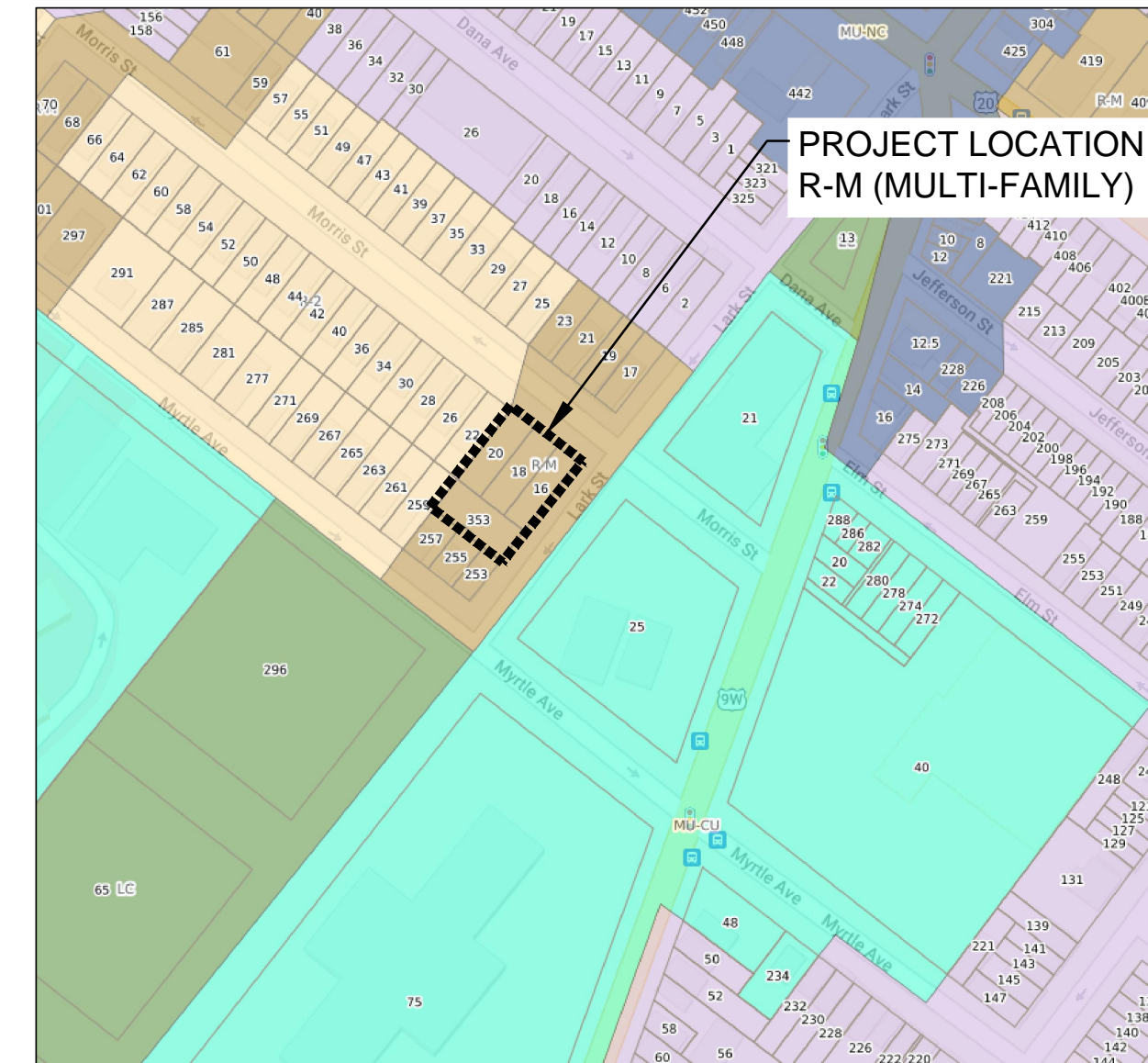
### Albany, NY 12208



ORTHO MAP  
1"=200'



TAX MAP  
1"=200'



ZONING MAP  
1"=200'

#### ZONING AND LAND USE

SECTION 375: ZONING - CITY OF ALBANY DIMENSIONAL REQUIREMENTS (DECEMBER 2019)							
DISTRICT	LOT WIDTH MINIMUM (feet)	IMPERVIOUS LOT COVERAGE MAXIMUM (percent)	FRONT SETBACK MINIMUM (feet)	SIDE SETBACK MINIMUM (feet)	REAR SETBACK MINIMUM (feet)	BUILDING HEIGHT MAXIMUM	NO. OF DWELLING UNITS MAXIMUM
R-M (MULTI-FAMILY)	22	80	0	0	15	4 STORIES	1 per 750 SF OF G.F.A.

NOTES:  
1. PARCEL IS WITHIN AND SUBJECT TO THE REQUIREMENTS OF THE COMBINED SEWER OVERLAY DISTRICT (CS-O).

#### DRAWING LIST

SHEET	TITLE	CONSULTANT
C0.0	COVER SHEET	ENGINEERING VENTURES
C0.1	SITE LEGEND AND NOTES	ENGINEERING VENTURES
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN	ENGINEERING VENTURES
C2.0	SITE LAYOUT PLAN	ENGINEERING VENTURES
C2.1	GRADING AND UTILITY PLAN	ENGINEERING VENTURES
C2.2	EROSION AND SEDIMENT CONTROL PLAN	ENGINEERING VENTURES
C3.0	SITE AND WATER DETAILS	ENGINEERING VENTURES
C3.1	STORMWATER DETAILS (1 OF 2) AND SANITARY DETAILS	ENGINEERING VENTURES
C3.2	STORMWATER DETAILS (2 OF 2)	ENGINEERING VENTURES
C3.3	EROSION & SEDIMENT CONTROL DETAILS (1 OF 2)	ENGINEERING VENTURES
C3.4	EROSION & SEDIMENT CONTROL DETAILS (2 OF 2)	ENGINEERING VENTURES
C3.5	CITY OF ALBANY STANDARD SITE DETAILS	ENGINEERING VENTURES

#### SUBJECT PROPERTY:

CITY OF ALBANY, ALBANY COUNTY, NEW YORK  
OWNER: ALBANY COMMUNITY DEVELOPMENT  
ADDRESS: 20 MORRIS ST ALBANY, NY  
LAND PARCEL: 76.31-1-72  
.07 AC.

CITY OF ALBANY, ALBANY COUNTY, NEW YORK  
OWNER: ALBANY COMMUNITY DEVELOPMENT  
ADDRESS: 18 MORRIS ST ALBANY, NY  
LAND PARCEL: 76.31-1-73  
.07 AC.

CITY OF ALBANY, ALBANY COUNTY, NEW YORK  
OWNER: ALBANY COMMUNITY DEVELOPMENT  
ADDRESS: 16 MORRIS ST ALBANY, NY  
LAND PARCEL: 76.31-1-74  
.07 AC.

CITY OF ALBANY, ALBANY COUNTY, NEW YORK  
OWNER: TRPS LARK LLC  
ADDRESS: 18 MORRIS ST ALBANY, NY  
LAND PARCEL: 76.31-1-75  
.07 AC.

#### APPLICANT:

RONALD STEIN  
204 WINDING BROOK ROAD  
NEW ROCHELLE, NY 10804

#### CONSULTANTS:

CIVIL ENGINEER  
ENGINEERING VENTURES, PC  
414 UNION STREET  
SCHENECTADY, NY 12305

ARCHITECT  
C2 ARCHITECTURE, PC  
24 AIRPORT ROAD  
SCHENECTADY, NY 12302

**ARCHITECTURE, PC**  
WWW.C2-DESIGNGROUP.COM  
SCHENECTADY, NY 12302 | 518.320.8250

STAMP:

**ENGINEERING VENTURES, PC**  
200 WESTERN AVENUE, SUITE 200  
SCHENECTADY, NY 12305  
WWW.ENGINEERINGVENTURES.COM

CONSULTANT:

REVISION DESCRIPTION

DATE:

No.

DATE:

COVER SHEET

PROJECT:

Drawn By: Engineering Ventures

DATE: 9/10/2021

Scale: AS NOTED

JOB No.: EV# 21324

SHEET: C0.0

PROJECT: New Construction For:  
**Morris Street Apartments**  
Albany, NY 12208  
16, 18, 20 Morris Street

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**SCHEMATIC DESIGN**  
**NOT FOR CONSTRUCTION**  
09/10/2021

**C0.0**

## GENERAL NOTES

- EXACT OBJECT LOCATIONS MAY DIFFER FROM THAT AS SHOWN, AND ADDITIONAL SUB-SURFACE AND SURFACE UTILITIES AND STRUCTURES MAY EXIST. THE CONTRACTOR IS TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK AND TO CALL DIG SAFE 72 HOURS PRIOR TO ANY DIGGING, DRILLING OR BLASTING.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL FROM THE ENGINEER.
- THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
- THE CONTRACTOR SHALL RESTORE LAWNS, DRIVEWAYS, CULVERTS, SIGNS AND OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO EXISTING CONDITIONS OR BETTER AS DETERMINED BY THE ENGINEER. ANY DAMAGED TREES, SHRUBS AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING, AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, AND CERTIFICATES.
- THE CONTRACTOR WILL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS, AND COORDINATE WORK WITH ALL CONTRACTS FOR THE SITE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT EXPLORATORY TEST PITS AS MAY BE REQUIRED TO DETERMINE UNDERGROUND CONDITIONS.
- ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH THE LATEST OSHA AND NYS DEPARTMENT OF LABOR REGULATIONS FOR CONSTRUCTION. EXCAVATION/BACKFILL ADJACENT TO EXISTING FOUNDATIONS AND BUILDINGS SHALL NOT EXTEND BELOW OR ABOVE THE EXISTING GRADE(S) OF SAID STRUCTURE(S) WITHOUT ADEQUATE SHEETING, BRACING, SHORING AND/OR UNDERPINNING DESIGNED BY A NYS LICENSED PROFESSIONAL ENGINEER. ALL PREPARED DESIGNS AND CALCULATIONS SHALL BE SUBMITTED WITH THE GRADING PERMIT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
- MAINTAIN FLOW FOR ALL EXISTING UTILITIES, UNLESS NOTED OTHERWISE.
- ALL SITE FILL SHALL MEET SELECTED FILL STANDARDS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- CONTRACTOR TO GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND IMPERVIOUS SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE CONTRACTOR SHALL PROVIDE MARKED-UP AS-BUILT PLANS FOR ALL UTILITIES SHOWING CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND HIS REPRESENTATIVES BEFORE UTILITIES WILL BE ACCEPTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION, MONITORING, MAINTENANCE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES AND TAKING PRECAUTIONARY STEPS TO AVOID ANY SEDIMENT TRANSFER TO NEIGHBORING SITES OR WATERS OF THE STATE.
- GUY LINES FOR RELOCATED UTILITY POLES SHALL NOT BE LOCATED IN THE SIDEWALK PROPER. GUY LINES MUST BE LOCATED IN THE MAINTENANCE / PAVER STRIP.
- THE PROPERTY OWNER SHALL CONTRACT WITH THE CITY OF ALBANY FOR ALL STEPS, STAIRS, PLANTERS AND BUILDING OVERHANGS WITHIN THE CITY'S R.O.W.
- THE CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY ENGINEERING DEPARTMENT IF SPOILS FROM THE SITE ARE DEPOSITED WITHIN THE CITY OF ALBANY.
- SIDEWALK CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28-DAYS.
- HYDROSTATIC AND LEAKAGE TEST TO BE WITNESSED BY ALBANY WATER DEPARTMENT STAFF. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48-HOURS NOTICE PRIOR TO PERFORMANCE OF THE TESTS.
- RESULTS OF THE CHLORINATION OF THE DOMESTIC WATERLINE SHALL BE PROVIDED TO THE ALBANY WATER DEPARTMENT. WATER SERVICE SHALL NOT BE PLACED INTO SERVICE WITHOUT PRIOR APPROVAL OF THE ALBANY WATER DEPARTMENT STAFF.
- A FULL TIME GEOTECHNICAL INSPECTOR SHALL BE ONSITE FOR OBSERVATION AND RECOMMENDATIONS DURING ALL SITE WORK, UTILITY INSTALLATIONS, SHEETING, BRACING, SHORING AND/OR UNDERPINNING WHILE BUILDING AND SITE EXCAVATION/BACKFILL OPERATIONS ARE UNDERWAY.

## CITY OF ALBANY NOTES

- GRADING PERMIT WITH GRADING EASEMENT REQUIRED. CONTACT PATRICK MCCUTCHEON, ENGINEERING DIVISION. PH: 518-434-2387.**
- STREET OPENING PERMITS AND ROW ACCESS APPLICATION ARE REQUIRED. CONTACT GARY BOHL, DEPARTMENT OF GENERAL SERVICES. PH: 518-482-3519.**
- PRIOR TO THE START OF WORK, THE BOUNDARIES SHALL BE STAKED OUT BY A LICENSED NEW YORK STATE SURVEYOR OR PROFESSIONAL ENGINEER. A GRADING PERMIT WITH BOND SHALL BE REQUIRED. TWO SETS OF DRAWINGS, RETAINING WALL DETAILS AND CALCULATIONS AND ONE SET OF GEOTECHNICAL REPORT SHALL BE SUBMITTED WITH GRADING PERMIT APPLICATION. NO DEMOLITION WORK OR TREE REMOVAL WILL BE ALLOWED UNTIL THE GRADING PERMIT IS APPROVED.**

## SURVEY NOTES

- EXISTING BOUNDARIES, PHYSICAL FEATURES, AND TOPOGRAPHY SHOWN HEREIN ARE BASED ON PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF THE LANDS OF 16-20 MORRIS STREET & 353 LARK STREET," PREPARED BY AUSFELD & WALDRUFF LAND SURVEYORS LLP, AND DATED 7/26/2021.
- ENGINEERING VENTURES HAS NOT PERFORMED ANY BOUNDARY OR TOPOGRAPHIC SURVEYS. THE PROPERTY LINES, EASEMENTS, AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THESE PLANS DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN NY STATUTES, AND SHALL NOT BE USED AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITIES SHOWN ON PLANS WERE TAKEN FROM FIELD OBSERVATIONS OF VISIBLE UTILITIES AND PREVIOUS MAPS AND RECORD UTILITY DRAWINGS AND NOT GUARANTEED TO BE ACCURATE OR COMPLETE. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING UTILITY LOCATIONS PRIOR TO COMMENCING WORK. NOTIFY ENGINEER OF ANY DISCREPANCY BETWEEN UTILITIES AS SHOWN AND AS FOUND. THE CONTRACTOR SHALL CONTACT DIG SAFE (811 OR 888-344-7233) A MINIMUM OF 72 HOURS, BUT NOT INCLUDING SATURDAYS, SUNDAYS AND LEGAL HOLIDAYS, PRIOR TO ANY CONSTRUCTION.

## SYMBOL LEGEND

PROPOSED FEATURES	EXISTING FEATURES
BOUND	BOUND
BENCHMARK	BENCHMARK
DRILL HOLE	DRILL HOLE
SURVEY POINT	SURVEY POINT
IRON PIN	IRON PIN
TEST PIT	TEST PIT
BORING	BORING
PERC TEST	PERC TEST
CATCH BASIN (SQUARE)	CATCH BASIN (SQUARE)
CATCH BASIN (ROUND)	CATCH BASIN (ROUND)
HEADWALL	HEADWALL
FLARED END SECTION	FLARED END SECTION
STONE APRON	STONE APRON
DRAIN MANHOLE (DMH)	DRAIN MANHOLE (DMH)
DRAINAGE CLEAN OUT	DRAINAGE CLEAN OUT
SANITARY SEWER MANHOLE (SMH)	SANITARY SEWER MANHOLE (SMH)
SANITARY CLEAN OUT	SANITARY CLEAN OUT
HYDRANT	HYDRANT
WATER SHUTOFF	WATER SHUTOFF
TAPPING SLEEVE & VALVE	TAPPING SLEEVE & VALVE
GATE VALVE	GATE VALVE
WELL	WELL
UTILITY POLE	UTILITY POLE
GUY POLE	GUY POLE
ELECTRICAL MANHOLE	ELECTRICAL MANHOLE
FLOOD LIGHT	FLOOD LIGHT
LIGHT POST	LIGHT POST
TELEPHONE MANHOLE	TELEPHONE MANHOLE
NATURAL GAS MANHOLE	NATURAL GAS MANHOLE
COMMUNICATION MANHOLE	COMMUNICATION MANHOLE
BOLLARD	BOLLARD
SINGLE POLE SIGN	SINGLE POLE SIGN
DOUBLE POLE SIGN	DOUBLE POLE SIGN
SPOT ELEVATION	SPOT ELEVATION
ACCESSIBLE PARKING STALL	ACCESSIBLE PARKING STALL
DRAINAGE FLOW	DRAINAGE FLOW
DECIDUOUS TREE	DECIDUOUS TREE
CONIFEROUS TREE	CONIFEROUS TREE

26B NRCS SOIL CLASSIFICATION

## LINETYPE LEGEND

PROPOSED FEATURES	EXISTING FEATURES
MAJOR CONTOUR	MAJOR CONTOUR
MINOR CONTOUR	MINOR CONTOUR
PROPERTY LINE	PROPERTY LINE
SETBACK	SETBACK
EASEMENT	EASEMENT
CENTERLINE	CENTERLINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
EDGE OF GRAVEL	EDGE OF GRAVEL
EDGE OF CONCRETE	EDGE OF CONCRETE
CURB	CURB
FENCE (BARBED WIRE)	FENCE (BARBED WIRE)
FENCE (CHAIN LINK)	FENCE (CHAIN LINK)
FENCE (WOODEN)	FENCE (WOODEN)
GUARD RAIL	GUARD RAIL
TREE LINE	TREE LINE
STONE WALL	STONE WALL
SANITARY SEWER	SANITARY SEWER
SANITARY SEWER APPROX.	SANITARY SEWER APPROX.
SEWER FORCEMAIN	SEWER FORCEMAIN
STORM LINE	STORM LINE
STORM LINE APPROX.	STORM LINE APPROX.
UNDER DRAIN	UNDER DRAIN
FOUNDATION DRAIN	FOUNDATION DRAIN
ROOF DRAIN	ROOF DRAIN
DITCH/SWALE	DITCH/SWALE
UNDERGROUND TELECOMM	UNDERGROUND TELECOMM
OVERHEAD TELECOMM	OVERHEAD TELECOMM
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
OVERHEAD ELECTRIC	OVERHEAD ELECTRIC
WATER LINE	WATER LINE
WATER APPROX.	WATER APPROX.
NRCS SOIL BOUNDARY	NRCS SOIL BOUNDARY

STAMP:

REVISION DESCRIPTION	DATE	CONSULTANT
No.		

SITE LEGEND AND NOTES

New Construction For:

**Morris Street Apartments**  
Albany, NY 12208

16, 18, 20 Morris Street

DRAWN BY: Engineering Ventures  
DATE: 9/10/2021  
SCALE: AS NOTED  
JOB No.: EV# 21324  
SHEET:

**SCHEMATIC DESIGN  
NOT FOR CONSTRUCTION  
09/10/2021**

**C0.1**

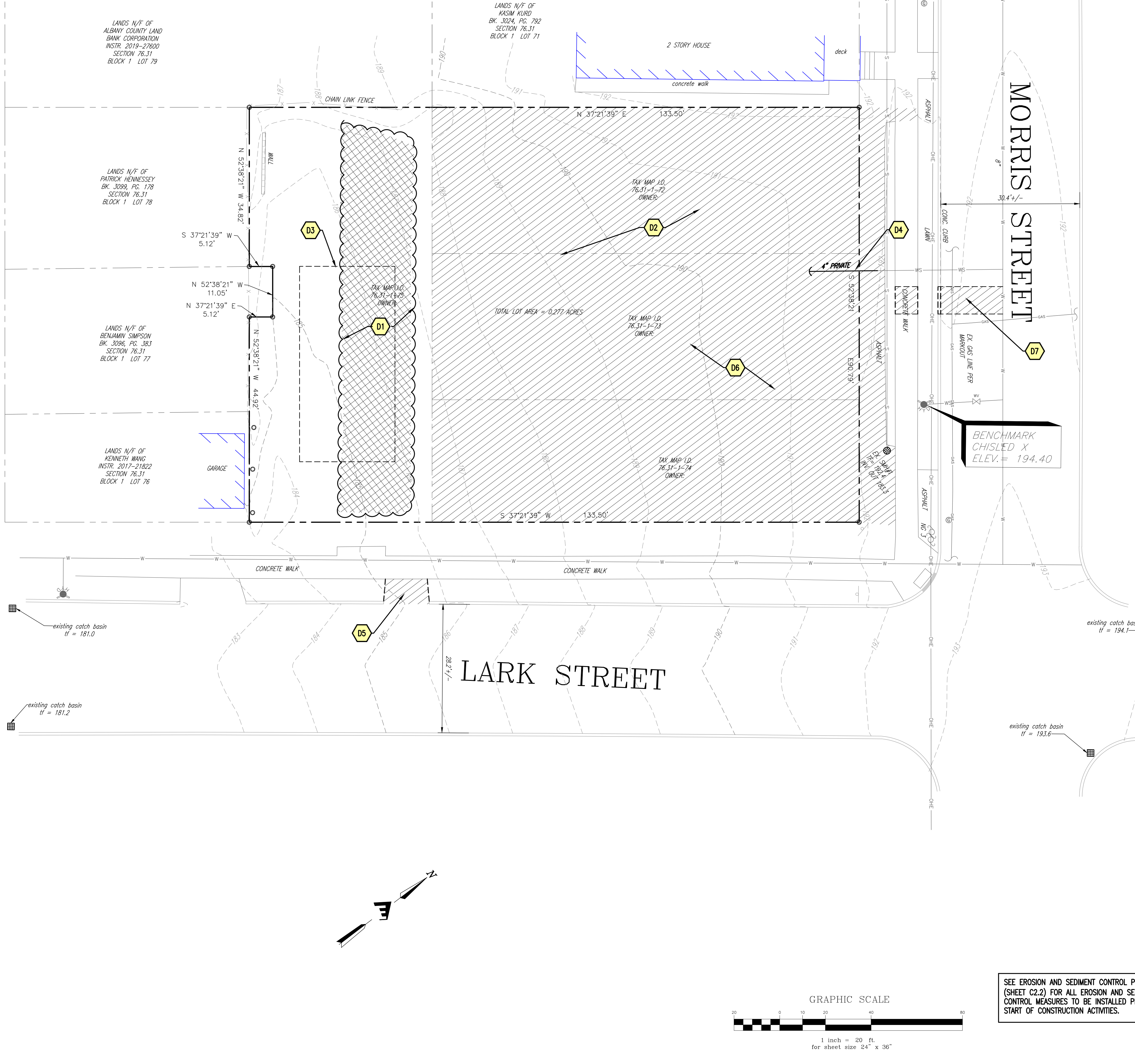
LANDS N/F OF  
ALBANY COUNTY LAND  
BANK CORPORATION  
INSTR. 2019-27600  
SECTION 76.31  
BLOCK 1 LOT 79

LANDS N/F OF  
KASIM KURD  
BK. 3024, PG. 792  
SECTION 76.31  
BLOCK 1 LOT 71

LANDS N/F OF  
PATRICK HENNESSEY  
BK. 3099, PG. 178  
SECTION 76.31  
BLOCK 1 LOT 78

LANDS N/F OF  
BENJAMIN SIMPSON  
BK. 3096, PG. 383  
SECTION 76.31  
BLOCK 1 LOT 77

LANDS N/F OF  
KENNETH WANG  
INSTR. 2017-21822  
SECTION 76.31  
BLOCK 1 LOT 76



**CITY OF ALBANY NOTES**

1. GRADING PERMIT WITH GRADING EASEMENT REQUIRED. CONTACT PATRICK McCUTCHEON, ENGINEERING DIVISION. PH: 518-434-2387.
2. STREET OPENING PERMITS AND ROW ACCESS APPLICATION ARE REQUIRED. CONTACT GARY BOHL, DEPARTMENT OF GENERAL SERVICES. PH: 518-482-3519.
3. PRIOR TO THE START OF WORK, THE BOUNDARIES SHALL BE STAKED OUT BY A LICENSED NEW YORK STATE SURVEYOR OR PROFESSIONAL ENGINEER. A GRADING PERMIT WITH BOND SHALL BE REQUIRED. TWO SETS OF DRAWINGS, RETAINING WALL DETAILS AND CALCULATIONS AND ONE SET OF GEOTECHNICAL REPORT SHALL BE SUBMITTED WITH GRADING PERMIT APPLICATION. NO DEMOLITION WORK OR TREE REMOVAL WILL BE ALLOWED UNTIL THE GRADING PERMIT IS APPROVED.

**DEMOLITION NOTES**

1. ALL DEMOLITION ITEMS FROM THE DEMOLITION, UNLESS NOTED BY THE OWNER TO BE STORED OR REUSED, BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE. SOIL DISPOSAL SHALL BE AS DIRECTED BY OWNER. ALL DEMOLITION MATERIALS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH REQUIREMENTS OF REGULATORY AGENCIES HAVING JURISDICTION, INCLUDING, BUT LIMITED TO, THE CITY OF ALBANY, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION AND ALL OTHER AGENCIES. ALL DEMOLITION ITEMS SHALL BE DISPOSED OF AT AN APPROVED AND PERMITTED FACILITY.
2. ALL ADJACENT FACILITIES AND STRUCTURES NOT INDICATED AS INCLUDED IN THE SCOPE OF WORK, SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. ALL ADJACENT FACILITIES OR STRUCTURES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO PRE-CONSTRUCTION CONDITION OR BETTER.
3. EXISTING UTILITY CONNECTIONS, INCLUDING WATER, SANITARY SEWER, NATURAL GAS, OVERHEAD & BURIED ELECTRIC, TELEPHONE, CABLE, ETC., SHALL BE TERMINATED AT THE SERVICE MAIN IN ACCORDANCE WITH THE UTILITY COMPANY OR CITY REQUIREMENTS. ALL ON-SITE PIPING, WIRING, CONDUITS & STRUCTURES SHALL BE REMOVED.
4. DEMOLITION SHALL INCLUDE, BUT IS NOT LIMITED TO, REMOVAL OF: FOUNDATION WALLS, FLOOR SLABS, SURFACE PAVEMENTS, RETAINING WALL, BUILDINGS, ACCESSORY STRUCTURES AND ALL OTHER STRUCTURES NOT SCHEDULED TO REMAIN.
5. IF HAZARDOUS MATERIALS OR WASTE IS ENCOUNTERED DURING DEMOLITION WORK, THE CONTRACTOR SHALL CONTACT THE REGULATORY AGENCIES AND COMPLY WITH THE JURISDICTIONAL REQUIREMENTS. HAZARDOUS MATERIALS AND WASTES MUST BE REMOVED BY A PERMITTED HAZARDOUS WASTE CONTRACTOR TO A PERMITTED HAZARDOUS WASTE SITE PERMITTED TO ACCEPT THE CHARACTERIZED WASTE.
6. TAKE ALL PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK AREA DURING DEMOLITION PROCEDURES. THE CONTRACTOR SHALL MINIMIZE DUST AND NOISE POLLUTION GENERATED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
7. PRIOR TO DEMOLITION, HAND EXCAVATE ANY UNDERGROUND UTILITIES. NOTIFY THE OWNER IF ANY OTHER UTILITIES NOT NOTED ON THE DRAWINGS ARE FOUND.
8. CARE SHALL BE TAKEN NOT TO DAMAGE OR DISTURB ANY TREES NOT CALLED OUT FOR REMOVAL DURING CONSTRUCTION. KEEP CONSTRUCTION ACTIVITIES AND EQUIPMENT OUTSIDE OF DRIP LINE OF EXISTING TREES TO REMAIN AND NEWLY INSTALLED TREES.
9. ALL DEPRESSIONS OR VOIDS IN THE GROUND SURFACE RESULTING FROM DEMOLITION WORK SHALL BE BACKFILLED WITH CLEAN, GRANULAR FILL MATERIALS MEETING NEW YORK STATE DEPARTMENT OF TRANSPORTATION TYPE 4 SPECIFICATIONS AND SHALL BE COMPACTED TO A MINIMUM 90% MODIFIED PROCTOR DENSITY AND PLACED IN 12" LIFTS MAXIMUM.
10. THE CONTRACTOR SHALL REMOVE ALL KNOWN AND DISCOVERED EXISTING SANITARY SEWER AND WATER SERVICES WITHIN THE PROJECT LIMITS THAT ARE NOT TO BE REUSED. THE CONTRACTOR SHALL CAP REMOVED SANITARY SEWER SERVICES AT THE MAIN. THE CONTRACTOR SHALL PLUG REMOVED WATER SERVICES AT THE TAP TO THE WATER MAIN.

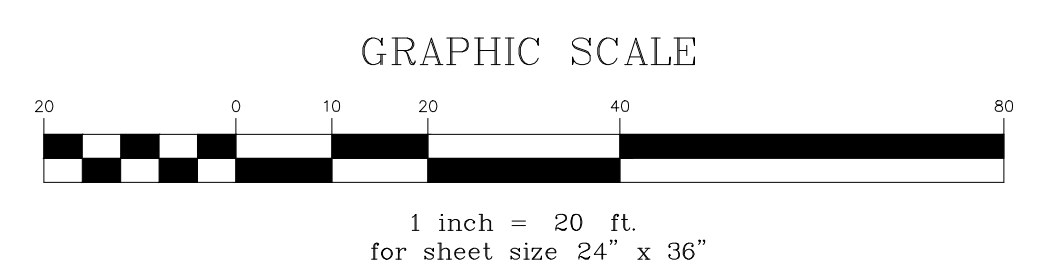
**DEMOLITION ITEMS**

- D1** EXISTING TREES/SHRUBS TO BE CLEARED AND GRUBBED
- D2** EXISTING ASPHALT PARKING AREA TO BE DEMOLISHED.
- D3** ALL EXISTING BUILDING FOUNDATION (IF ANY) FROM RECENTLY DEMOLISHED BUILDING TO BE REMOVED FROM SITE.
- D4** EXISTING WATER SERVICE TO BE DEMOLISHED AND CAPPED. SEE DEMOLITION NOTE 10 ON THIS SHEET. COORDINATE WITH CITY OF ALBANY WATER DEPARTMENT.
- D5** EXISTING ASPHALT FROM CURB CUT TO RECENTLY DEMOLISHED BUILDING TO BE DEMOLISHED. COORDINATE WORK WITH CITY OF ALBANY.
- D6** ALL ON-SITE SIGNAGE WITHIN EXISTING ASPHALT PARKING LOT TO BE DEMOLISHED. CONTRACTOR TO SAVE POSTS FOR NEW SIGNS IF DEEMED SUITABLE. NO SIGNS LOCATED OFF-SITE SHALL BE REMOVED UNLESS INSTRUCTED BY CITY OF ALBANY.
- D7** EXISTING PAVEMENT, CURB, AND SIDEWALK TO BE SAWCUT, REMOVED, AND RECONSTRUCTED. SEE SHEET C2.0. COORDINATE WITH CITY OF ALBANY FOR PAVEMENT INSTALLATION WITHIN MORRIS STREET.

**DEMOLITION LEGEND**

- EXISTING WOODS TO BE CLEARED AND GRUBBED
- EXISTING GRAVEL/PAVEMENT TO BE DEMOLISHED
- EXISTING LIGHT TO BE REMOVED
- EXISTING CURB TO BE DEMOLISHED

SEE EROSION AND SEDIMENT CONTROL PLAN (SHEET C2.2) FOR ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO START OF CONSTRUCTION ACTIVITIES.



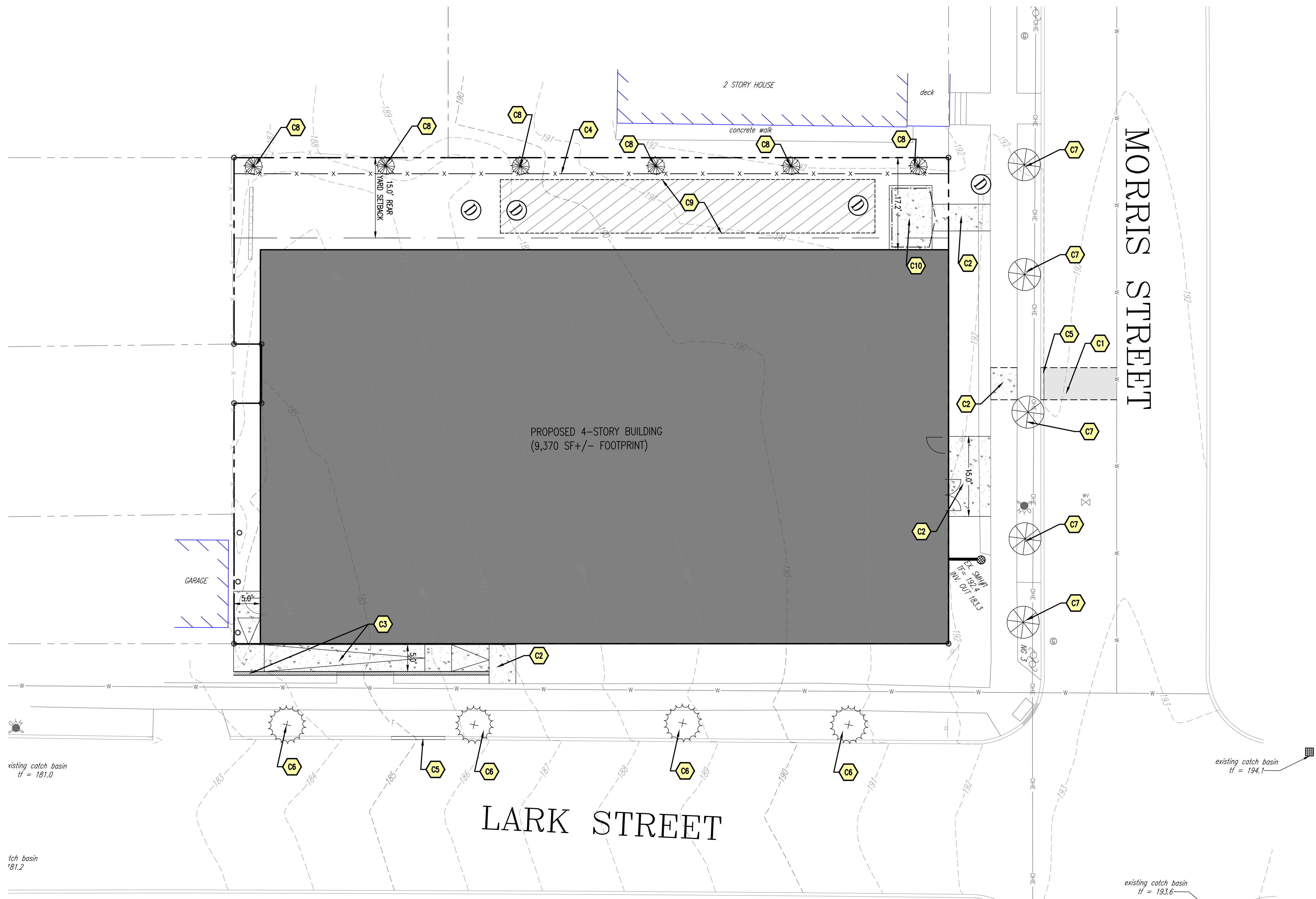
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**C2 ARCHITECTURE, PC**  
 ARCHITECTURE, PC  
 24 AIRPORT ROAD | SCHENECTADY, NY 12302 | 518.320.8250  
 WWW.C2-DESIGNGROUP.COM  
 WITHOUT THE EXPRESS WRITTEN CONSENT OF C2 ARCHITECTURE, PC.

**Engineering Ventures, PC**  
 CONSULTANT  
 DATE: \_\_\_\_\_  
 REVISION DESCRIPTION: \_\_\_\_\_  
 No. \_\_\_\_\_

**Schematic Design**  
 EXISTING CONDITIONS & DEMOLITION PLAN  
 PROJECT: **New Construction For: Morris Street Apartments**  
 Albany, NY 12208  
 SHEET: **C1.0**

DRAWN BY: Engineering Ventures  
 DATE: 9/10/2021  
 SCALE: AS NOTED  
 JOB No.: EV# 21324  
 SHEET:



**SITE NOTES**

- C1** PROPOSED ASPHALT PAVEMENT ROADWAY REPAIR – SEE CITY STANDARD DETAIL SR-1 ON DRAWING C3.5
- C2** PROPOSED CONCRETE SIDEWALK – SEE CITY STANDARD DETAIL SW-1 ON DRAWING C3.5. SIDE WALK TO BE 5' WIDE OR AS DIMENSIONED ON THE PLAN.
- C3** PROPOSED ADA RAMP AND RETAINING WALL AT SECONDARY EGRESS – SEE SHEET C2.1 AND STRUCTURAL DRAWINGS
- C4** PROPOSED 6' HIGH CEDAR WOOD PRIVACY FENCE. SEE DETAIL 2/C3.0.
- C5** PROPOSED CONCRETE CURB – SEE CITY STANDARD DETAIL ON SHEET C3.5.
- C6** PROPOSED STREET TREES ALONG LARK STREET  
BOTANICAL NAME: QUERCUS ROBUR  
COMMON NAME: ENGLISH OAK  
INITIAL SIZE: 2"-2.5" CALIPER TRUNK (MIN.)  
QUANTITY: 4
- C7** PROPOSED ORNAMENTAL STREET TREES ALONG MORRIS STREET  
BOTANICAL NAME:  
COMMON NAME:  
MAX MATURE HEIGHT: 12'-0"  
QUANTITY: 5
- C8** BOTANICAL NAME: PINUS STROBUS  
COMMON NAME: WHITE PINE  
QUANTITY: 6
- C9** PROPOSED STORMWATER TANK. SEE SHEET C2.1
- C10** PROPOSED DUMPSTER PAD AND ENCLOSURE

**CITY OF ALBANY NOTES**

1. GRADING PERMIT WITH GRADING EASEMENT REQUIRED. CONTACT PATRICK McCUTCHEON, ENGINEERING DIVISION. PH: 518-434-2367.
2. STREET OPENING PERMITS AND ROW ACCESS APPLICATION ARE REQUIRED. CONTACT GARY BOHL, DEPARTMENT OF GENERAL SERVICES. PH: 518-462-3519.
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**ZONING MEASUREMENTS**

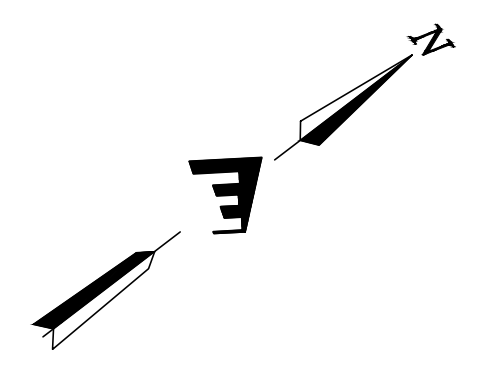
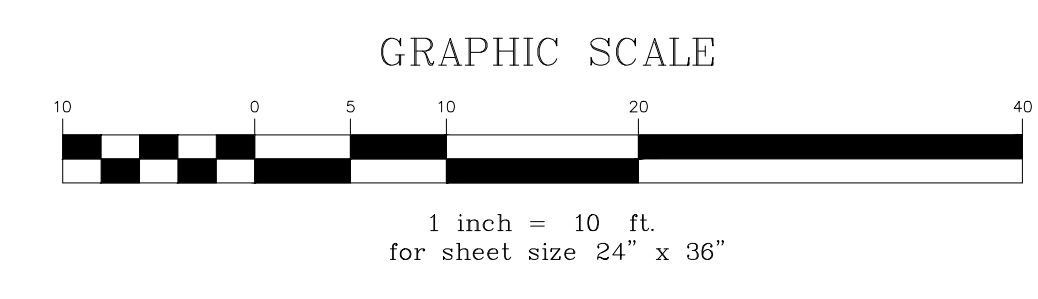
REQUIRED							
SECTION 375: ZONING – CITY OF ALBANY DIMENSIONAL REQUIREMENTS (ADOPTED JUNE 2017)							
DISTRICT	LOT WIDTH MINIMUM (feet)	IMPERVIOUS LOT COVERAGE MAXIMUM (percent)	FRONT SETBACK MINIMUM (feet)	SIDE SETBACK MINIMUM (feet)	REAR SETBACK MINIMUM (feet)	BUILDING HEIGHT MAXIMUM	NO. OF DWELLING UNITS MAXIMUM
R-M (MULTI-FAMILY)	22	80%	0	0	15	4 STORIES	1 per 750 SF OF G.F.A.

PROPOSED							
DISTRICT	LOT WIDTH (feet)	IMPERVIOUS LOT COVERAGE (percent)	FRONT SETBACK (feet)	SIDE SETBACK (feet)	REAR SETBACK (feet)	BUILDING HEIGHT	NO. OF DWELLING UNITS MAXIMUM
R-M (MULTI-FAMILY)	133.5'	78.4% (9,460 SF)	0	0	17.2'	4 STORIES	1 per 750 SF OF G.F.A.

**PROPOSED SURFACES LEGEND**

- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED CONCRETE
- PROPOSED ADA RAMP



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**C2**

Schematic Design

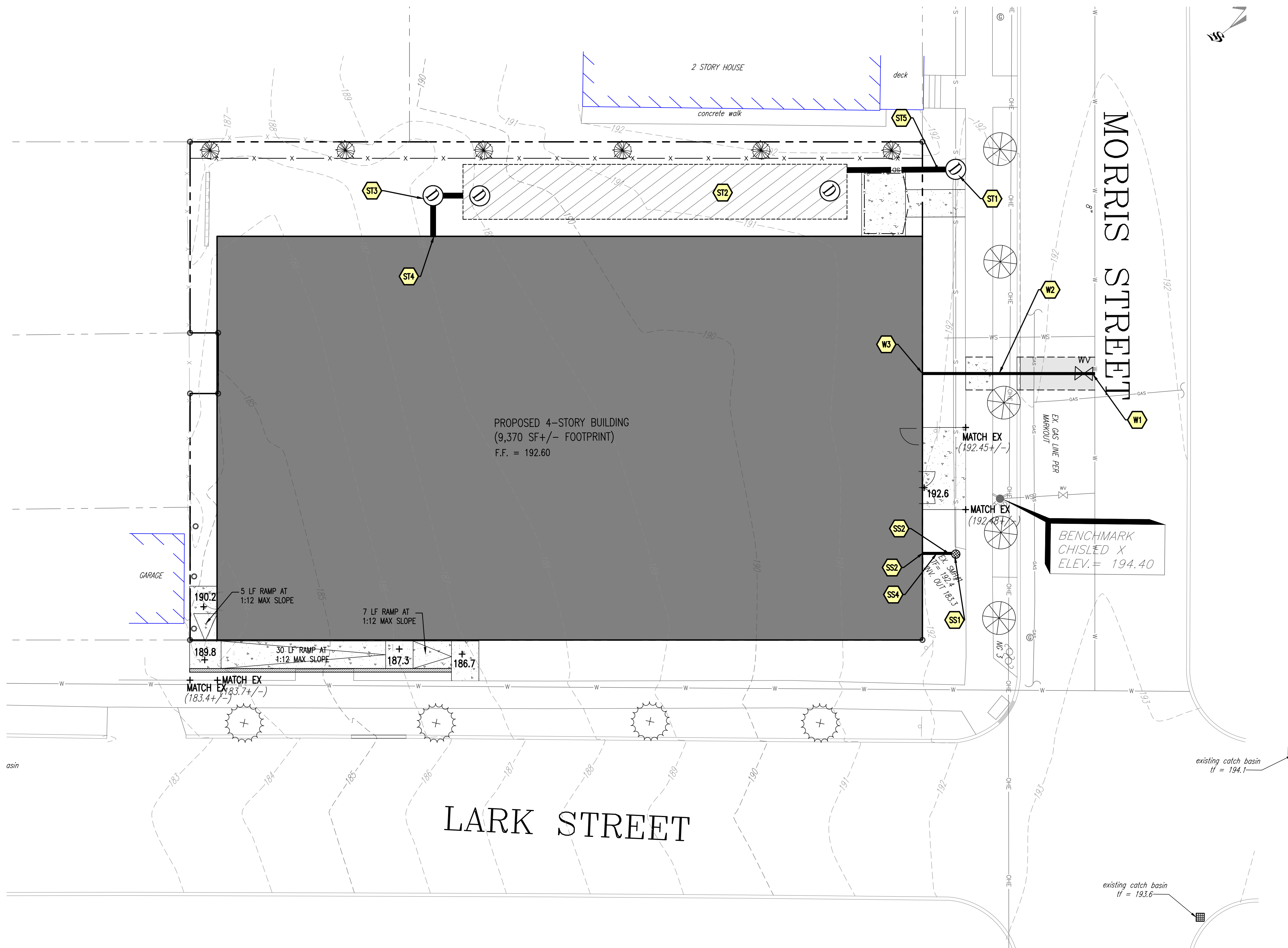
REVISION DESCRIPTION	DATE	CONSULTANT

SITE LAYOUT PLAN

New Construction For:  
**Morris Street Apartments**  
Albany, NY 12208  
16, 18, 20 Morris Street

DRAWN BY: Engineering Ventures
DATE: 9/10/2021
SCALE: AS NOTED
JOB No.: EV# 21324
SHEET: <b>C2.0</b>

**SCHMATIC DESIGN  
NOT FOR CONSTRUCTION  
09/10/2021**



### STORMWATER SCHEDULE

- ST1** PROPOSED DOGHOUSE MANHOLE CONNECTION TO EXIST COMBINED SEWER
  - ST2** PROPOSED 20,500 GAL. CONCRETE STORMWATER TANK  
SEE STRUCTURAL BUILDING DRAWINGS  
SEE OUTLET STRUCTURE DETAIL ON SHEET C3.2
  - ST3** PROPOSED STORM MANHOLE W/ CONTECH CDS2015-4-C WQ UNIT  
(SEE DETAIL-SHEET C3.2)
  - ST4** PROPOSED ROOF LEADER
  - ST5** PROPOSED 6" RECTORSEAL CLEAN CHECK BACKWATER VALVE MODEL 97026 OR APPROVED EQUIVALENT
- SEE PROPOSED STORMWATER DETAILS ON SHEET C3.1

### SANITARY SEWER SCHEDULE

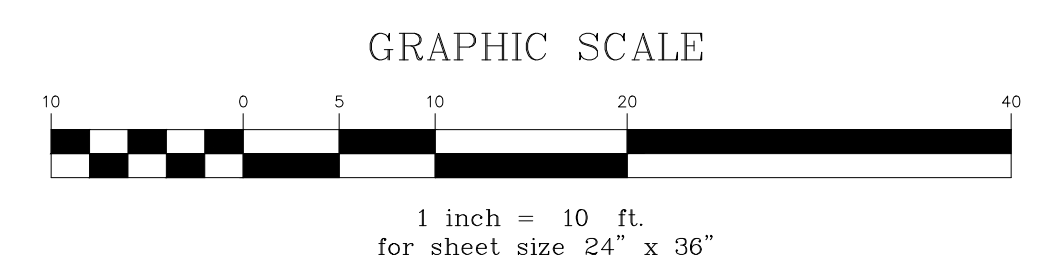
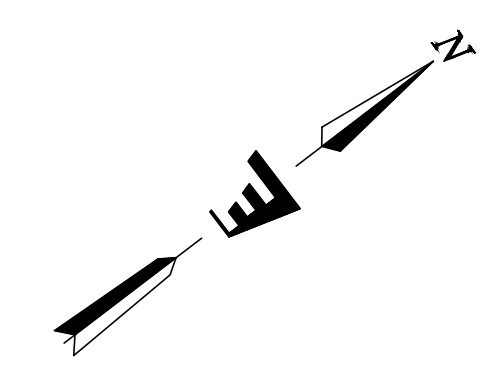
- SS1** CORE IN FIELD INTO EXISTING MANHOLE. COORDINATE WITH CITY OF ALBANY WATER/SEWER DEPARTMENT  
EXIST. RIM = 192.40  
NEW INV. = 184.00  
EXIST INV OUT = 183.3
  - SS2** PROPOSED 6" RECTORSEAL CLEAN CHECK BACKWATER VALVE MODEL 97026 OR APPROVED EQUIVALENT
  - SS3** SANITARY CONNECTION TO BUILDING INV. 187.6
  - SS4** PROPOSED 6" PVC SDR26 SANITARY LATERAL (AT 2.0% MIN)
- SEE PROPOSED SANITARY DETAILS ON SHEET C3.1

### WATER SCHEDULE

- W1** 6" x 8" MUELLER S.S. TAPPING SLEEVE AND VALVE. THE CONTRACTOR SHALL PROVIDE TAPPING SLEEVE AND VALVE. ALBANY WATER DEPARTMENT SHALL PERFORM THE WET TAP. SEE PROPOSED WATER DETAILS ON SHEET C3.0 AND PROFILE ON SHEET C2.2
- W2** PROPOSED 6" DIP CL 52 WATER LINE
- W3** WATER CONNECTION TO THE BUILDING

### ALBANY DEPARTMENT OF WATER NOTES

1. SWPPP INSPECTIONS MUST BE PERFORMED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO MS4 COORDINATOR AT DEPARTMENT OF WATER WITHIN 24 HOURS OF INSPECTION COMPLETION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED.
3. A SITE ASSESSMENT THAT CERTIFIES EROSION AND SEDIMENT CONTROLS DESCRIBED IN THE SWPPP ARE IN PLACE PRIOR TO CONSTRUCTION COMMENCEMENT MUST BE COMPLETED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO MS4 COORDINATOR AT DEPARTMENT OF WATER WITHIN 24 HOURS OF INSPECTION COMPLETION.
4. PRESSURE AND LEAKAGE TESTING OF THE WATER SERVICE SHALL BE WITNESSED BY DEPARTMENT OF WATER STAFF.
5. PRIOR TO USE ALL WATER LINES MUST BE CHLORINATED AND HAVE A BACTERIOLOGICAL TEST PERFORMED IN ACCORDANCE WITH ANWA C651-14 CONTINUOUS FEED METHOD AND CITY OF ALBANY STANDARDS.
6. 48 HOURS NOTICE SHALL BE GIVEN TO DEPARTMENT OF WATER FOR INSPECTIONS.
7. WATER/SEWER PERMITS SHALL BE REQUIRED FOR THE PROPOSED UTILITY CONNECTIONS PRIOR TO THE START OF CONSTRUCTION.
8. HORIZONTAL SEPARATION DISTANCE BETWEEN ALL UTILITIES AND GAS LINES SHALL BE 5 FEET MINIMUM.



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REVISION DESCRIPTION	DATE

DRAWN BY: Engineering Ventures	DATE: 9/10/2021	PROJECT: New Construction For: Morris Street Apartments Albany, NY 12208
SCALE: AS NOTED	JOB No.: EV# 21324	
SHEET: <b>C2.1</b>		

**SCHEMATIC DESIGN  
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09/10/2021**

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# EROSION CONTROL STRUCTURE SCHEDULE

**EROSION PREVENTION AND SEDIMENT CONTROL STRATEGY**  
 THE FOLLOWING TECHNIQUES WILL BE UTILIZED AS PART OF A SEDIMENT AND EROSION CONTROL PROGRAM. THE SEDIMENT AND EROSION CONTROL PROGRAM WILL BE IMPLEMENTED IN STAGES. CERTAIN ITEMS FROM ONE STAGE WILL LIKELY OVERLAP OR TAKE PLACE CONCURRENTLY WITH ITEMS FROM OTHER STAGES. REFER TO DETAILS THIS SHEET.

**STABILIZED CONSTRUCTION ACCESS**  
 THIS STRUCTURAL MEASURE IS A STABILIZED PAD OF AGGREGATE UNDERLAIN WITH FILTER FABRIC LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY, SIDEWALK, OR PARKING AREA. THE PURPOSE OF A STABILIZED CONSTRUCTION ACCESS IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STREETS. THIS WILL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE PROJECT SITE HAS BEEN PERMANENTLY STABILIZED.

**SILT FENCING**  
 THIS STRUCTURAL MEASURE IS A TEMPORARY BARRIER OF GEOTEXTILE FABRIC USED TO INTERCEPT SEDIMENT LADEN RUNOFF FROM SMALL DRAINAGE AREAS OF DISTURBED SOIL. IT IS INSTALLED ALONG THE PERIMETER OF IMPACTED AREAS AND ALONG THE BASE OF THE FILL SLOPES. ADDITIONALLY, WHEN DESIGNATED ALONG THE LIMITS OF DISTURBANCE, INSTALL CONSTRUCTION FENCE, BARRIER TAPE, OR FLAGGING TAPE. THESE WILL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE PROJECT SITE HAS BEEN PERMANENTLY STABILIZED. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES 6 INCHES DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A PROPER SEDIMENT BARRIER.

**APPROXIMATE SOIL STOCKPILE AREAS**  
 THESE ARE APPROVED LOCATIONS WHERE TOPSOIL AND OTHER SOIL MATERIALS MAY BE STORED. THESE STOCKPILES WILL BE PROTECTED FROM EROSION BY A NUMBER OF METHODS, INCLUDING INSTALLING SILT FENCING AROUND THE DOWN GRADIENT PERIMETER OF THE STOCKPILE AND SEEDING AND MULCHING THE STOCKPILE WHEN NOT IN USE FOR MORE THAN FIVE DAYS. CONTRACTOR SHALL SUBMIT PROPOSED AREA FOR ENGINEER APPROVAL.

**APPROXIMATE STAGING AND WASTE AREAS**  
 THESE ARE APPROVED LOCATIONS WHERE NON-SOIL, NON-ERODIBLE MATERIALS MAY BE STORED. SOILS SHALL NOT BE STORED IN THESE AREAS.

**LIMITS OF DISTURBANCE**  
 THE CONTRACTOR SHALL CONTAIN ANY EARTH MOVING ACTIVITIES WITHIN THE DESIGNATED LIMITS SHOWN ON THIS PLAN. THE ENGINEER SHALL REVIEW THE SITE TO MAKE ANY ADJUSTMENTS TO ACCOUNT FOR ENVIRONMENTALLY SENSITIVE AREAS, SPECIMEN TREES AND SPECIAL AREAS OF CONCERN. THE LIMITS SHALL BE DEMARKED WITH ORANGE CONSTRUCTION FENCE, BARRIER TAPE, OR FLAGGING TAPE. THESE WILL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE PROJECT SITE HAS BEEN PERMANENTLY STABILIZED. CONFIRM LOCATION, EXTENTS AND GATES WITH OWNER. FENCE LOCATION AND GATES TO BE RE-ADJUSTED AS NECESSARY BASED ON CM REQUIREMENTS AND COORDINATION.

**CONCRETE TRUCK WASHOUT**  
 THIS IS AN APPROVED LOCATION WHERE CONCRETE TRUCK MIXERS AND EQUIPMENT CAN BE WASHED AFTER THEIR LOADS HAVE BEEN DISCHARGED, TO PREVENT HIGHLY ALKALINE RUNOFF FROM ENTERING STORM DRAINAGE SYSTEMS OR LEACHING INTO THE SOIL. THE FACILITY SHALL BE LINED TO PREVENT RUNOFF FROM LEACHING INTO THE SOIL. TEMPORARY SIGNAGE SHALL BE PROVIDED TO DIRECT DRIVERS TO THE FACILITY.

**TEMPORARY INLET PROTECTION**  
 INSTALL ON ALL PROPOSED CATCH BASINS. STONE TO BE REMOVED AND REPLACED WITH CLEAN STONE WHEN SEDIMENT IS  $\leq 1/2$  DEPTH OF STONE. REMOVE ALL SEDIMENT IF COLLECTED IN STRUCTURE AS SOON AS POSSIBLE.

**DUST CONTROL**  
 DUST SHALL BE CONTROLLED THROUGH APPLICATION OF WATER, AS REQUIRED TO PREVENT MIGRATION BEYOND THE PROJECT LIMITS. CONTROL OF DUST REMAINS AN ONGOING RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED.

**INSPECTION REQUIREMENTS**  
 THE ON-SITE COORDINATOR (OSC) IS RESPONSIBLE FOR INSPECTION OF ALL EPSC MEASURES EVERY 7 DAYS AND AS SOON AS REASONABLY POSSIBLE DURING OR AFTER WEATHER RESULTING IN RUNOFF FROM THE SITE. FULL COMPLIANCE WITH THE REQUIREMENTS OF NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016, IS THE RESPONSIBILITY OF THE CONTRACTOR AND OSC. INSPECTION FREQUENCY MAY BE REDUCED TO MONTHLY IF ALL DISTURBED AREAS HAVE BEEN STABILIZED. INSPECTION AND REPORTING REQUIREMENTS DO NOT CEASE UNTIL THE SITE IS PERMANENTLY STABILIZED.

**VEGETATIVE STABILIZATION**  
 ALL SEEDING FOR VEGETATIVE STABILIZATION IS TO TAKE PLACE BETWEEN APRIL 15TH AND SEPTEMBER 15TH UNLESS OTHERWISE APPROVED.

**STABILIZATION REQUIREMENTS**  
 TO BE CONSIDERED PERMANENTLY STABILIZED, ALL DISTURBED AREAS MUST BE PROTECTED BY ONE OF THE FOLLOWING: PAVEMENT, GRAVEL, MULCH BEDS, OR VEGETATION (80% MINIMUM COVERAGE). THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL SEDIMENT CONTROL MEASURES (SILT FENCE, DISTURBANCE LIMIT MARKERS, INLET PROTECTION, ETC.) AND FOR RESTORATION OF ALL STAGING AND SOIL STOCKPILE AREAS BEFORE FILING NOTICE OF TERMINATION.

**SOLID WASTE DISPOSAL**  
 SOLID WASTES SHALL BE COLLECTED ON SITE AND REMOVED TO AN APPROVED OFF-SITE FACILITY. IF WASTES ARE TO BE STORED ON SITE, CONTRACTOR SHALL SUBMIT A WASTE MANAGEMENT PLAN FOR REVIEW AND APPROVAL BY THE DESIGN ENGINEER.

## SITE SOILS

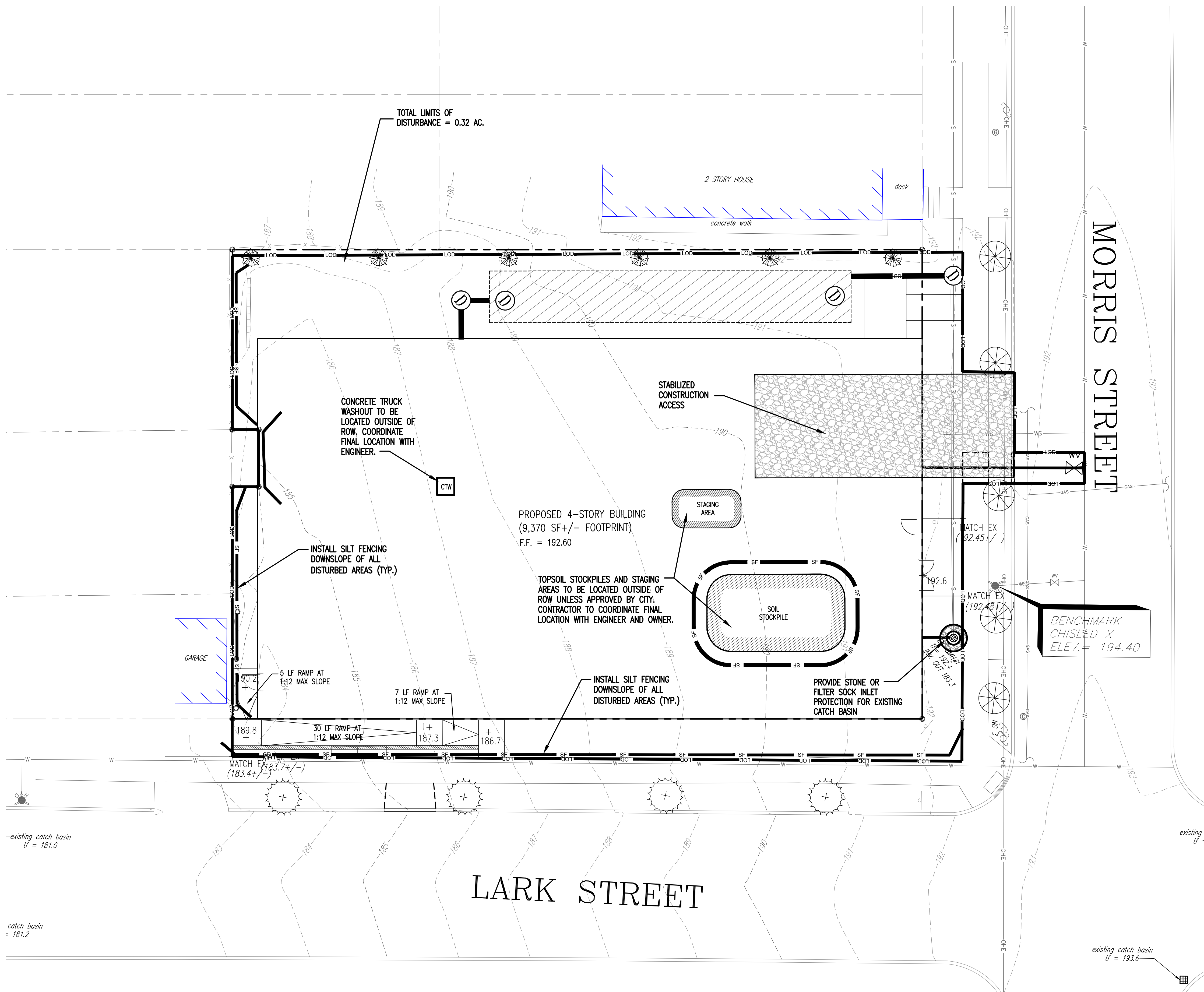
SYMBOL	SOIL TYPE	HSG
Ut	URBAN LAND - UDORTHENTS COMPLEX 0 TO 8 PERCENT SLOPES	C*

\*HSG TYPE ASSUMED TO BE SIMILAR TO EXISTING NON-URBAN LAND SOILS IN THE SURROUNDING AREA OF THE PROJECT. THESE SOILS ARE COMPRISED OF HUDSON SILT LOAM SOILS, WHICH ARE HSG C/D. THE UNSATURATED CONDITION WAS UTILIZED FOR STORMWATER PRE-DEVELOPMENT CONDITIONS

## SOIL RESTORATION NOTES

IN ACCORDANCE WITH SECTION 5.1.6 OF THE NYS STORMWATER MANUAL, SOIL RESTORATION TECHNIQUES SHALL BE APPLIED TO ALL PROPOSED LAWN AREAS EXCEPT FOR THE AREA WITHIN THE INFILTRATION BASIN FOOTPRINT. SEE SHEET C1.1. SOIL RESTORATION SHALL CONSIST OF THE FOLLOWING PROCEDURE:

- 1) APPLY THREE (3) INCHES OF COMPOST OF SUBSOIL. COMPOST SHALL BE AGED, FROM PLANT DERIVED MATERIALS, FREE OF VIABLE WEED SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A 1/2" SCREEN, AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS.
- 2) TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS. IN AREA OF PROPOSED INFILTRATION BASIN, INSTALL ORANGE CONSTRUCTION FENCING AROUND BASIN BOTTOM TO KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THE PROPOSED BASIN BOTTOM.
- 3) ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
- 4) APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
- 5) VEGETATE AS REQUIRED BY APPROVED PLAN.



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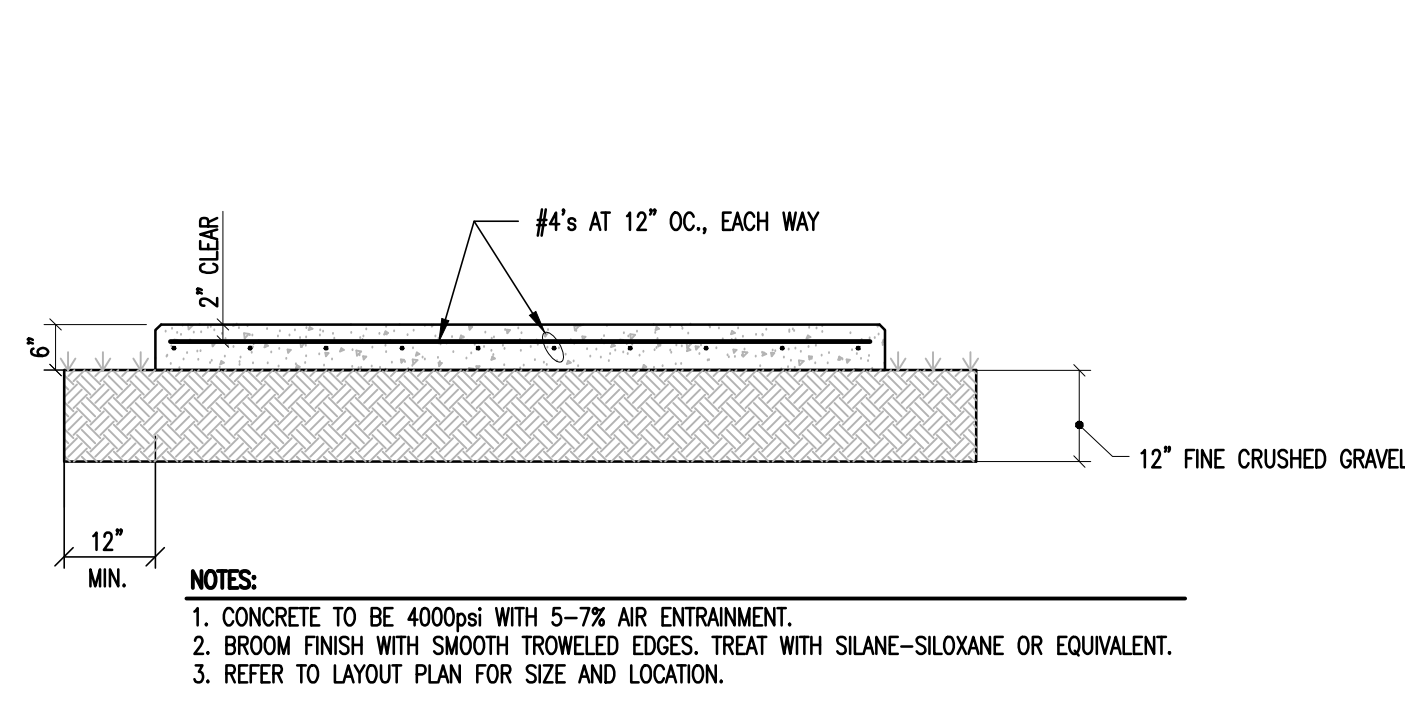
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**Engineering Ventures Inc.**  
 CONSULTANT  
 DATE: \_\_\_\_\_  
 REVISION DESCRIPTION  
 No. \_\_\_\_\_

**Schematic Design**  
 EROSION & SEDIMENT CONTROL PLAN  
 New Construction For:  
**Morris Street Apartments**  
 Albany, NY 12208  
 SHEET TITLE: EROSION & SEDIMENT CONTROL PLAN  
 PROJECT: New Construction For: Morris Street Apartments  
 SHEET: 16, 18, 20 Morris Street  
 DRAWN BY: Engineering Ventures  
 DATE: 9/10/2021  
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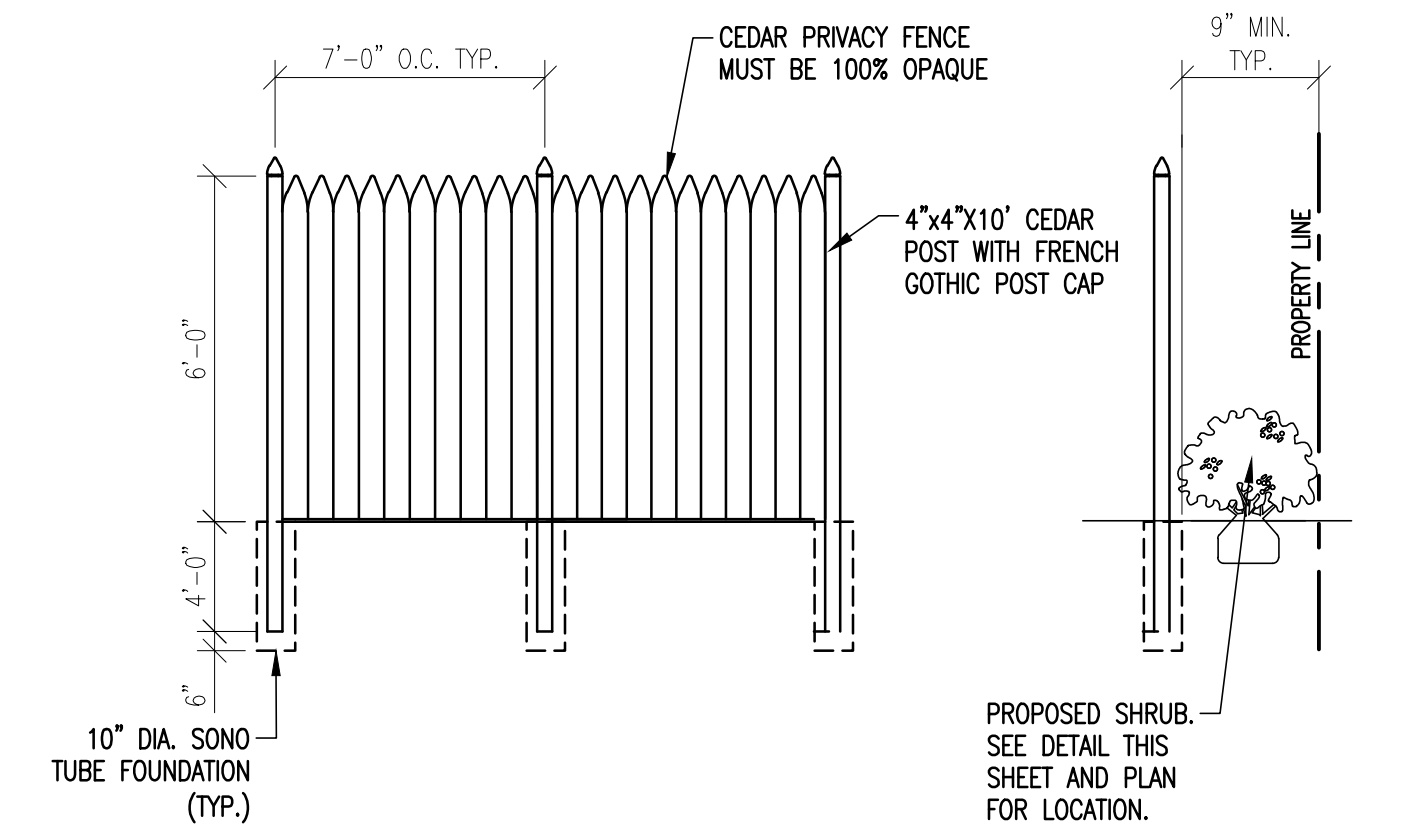
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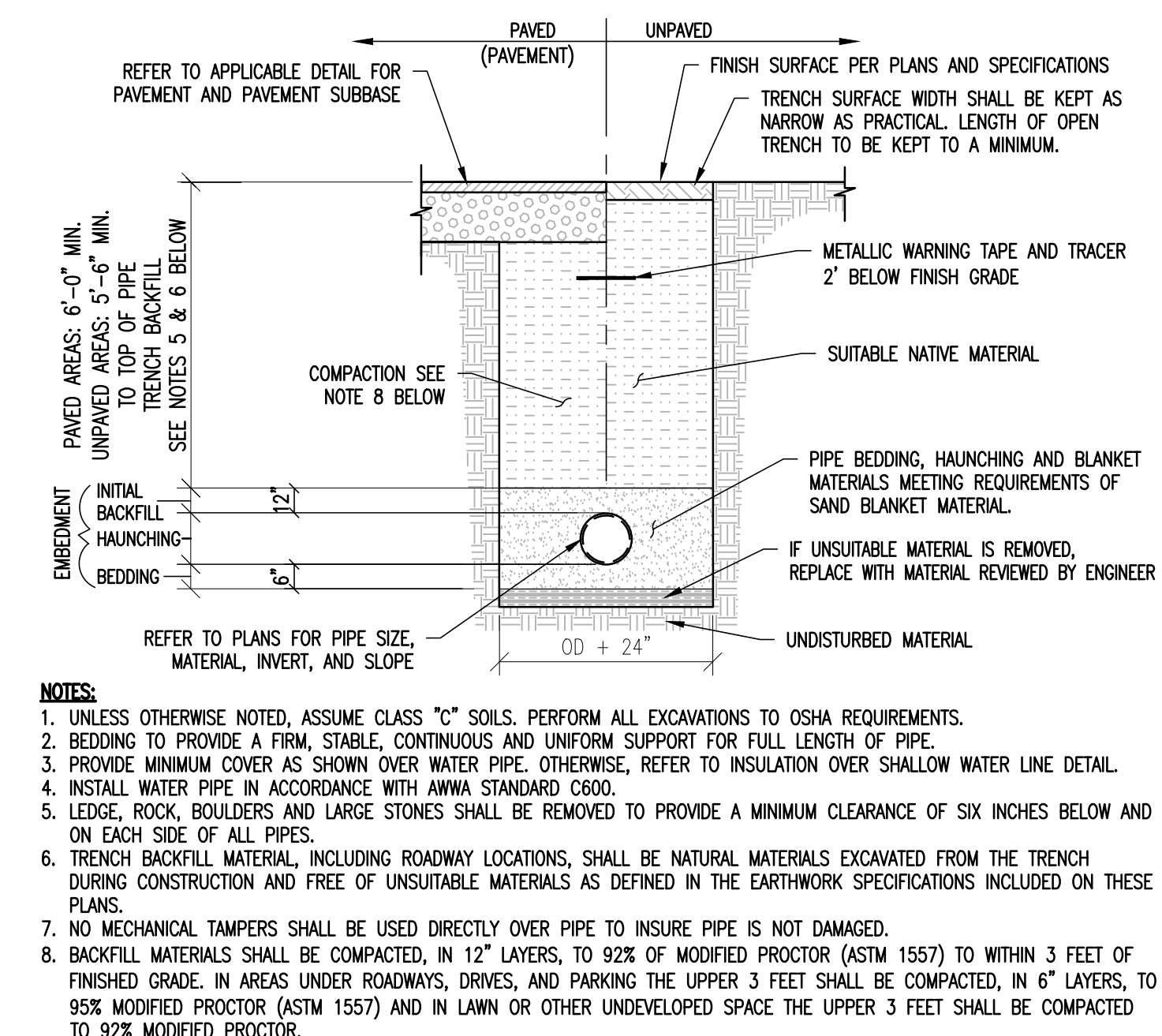
### EXTERIOR CONCRETE PAD DETAIL

SCALE: NONE



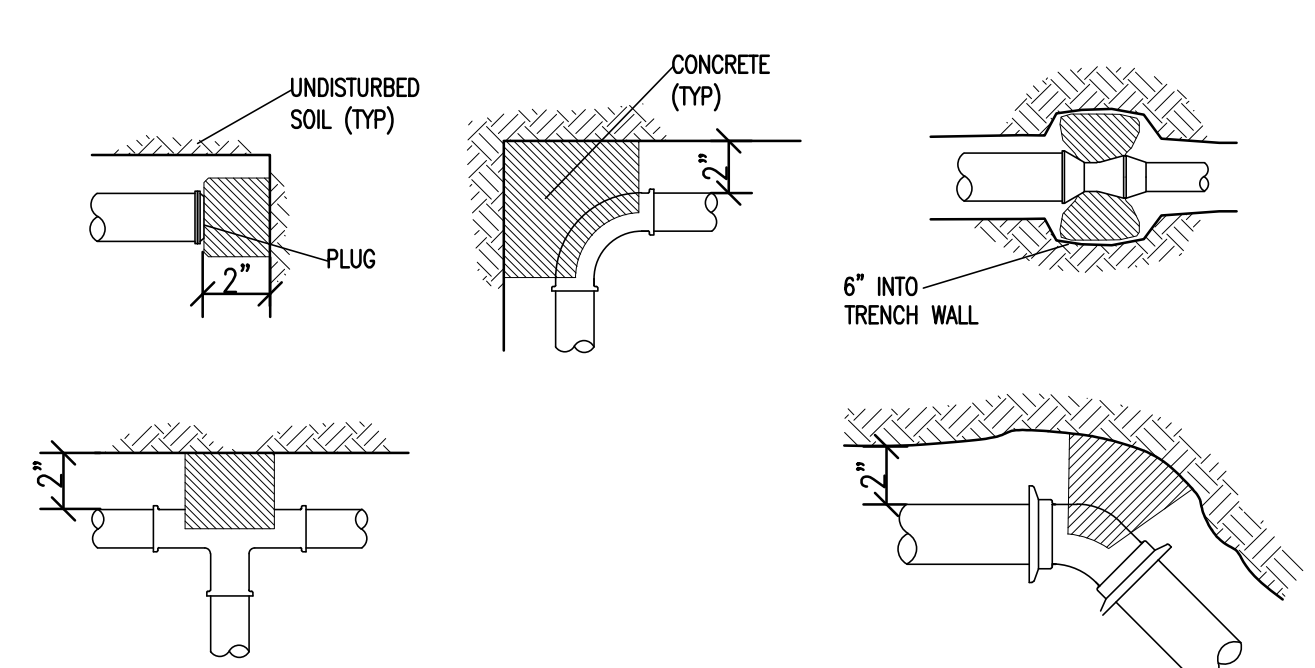
### WOOD STOCKADE PRIVACY FENCE DETAIL

SCALE: NONE



### TYPICAL WATER TRENCH DETAIL

SCALE: NONE

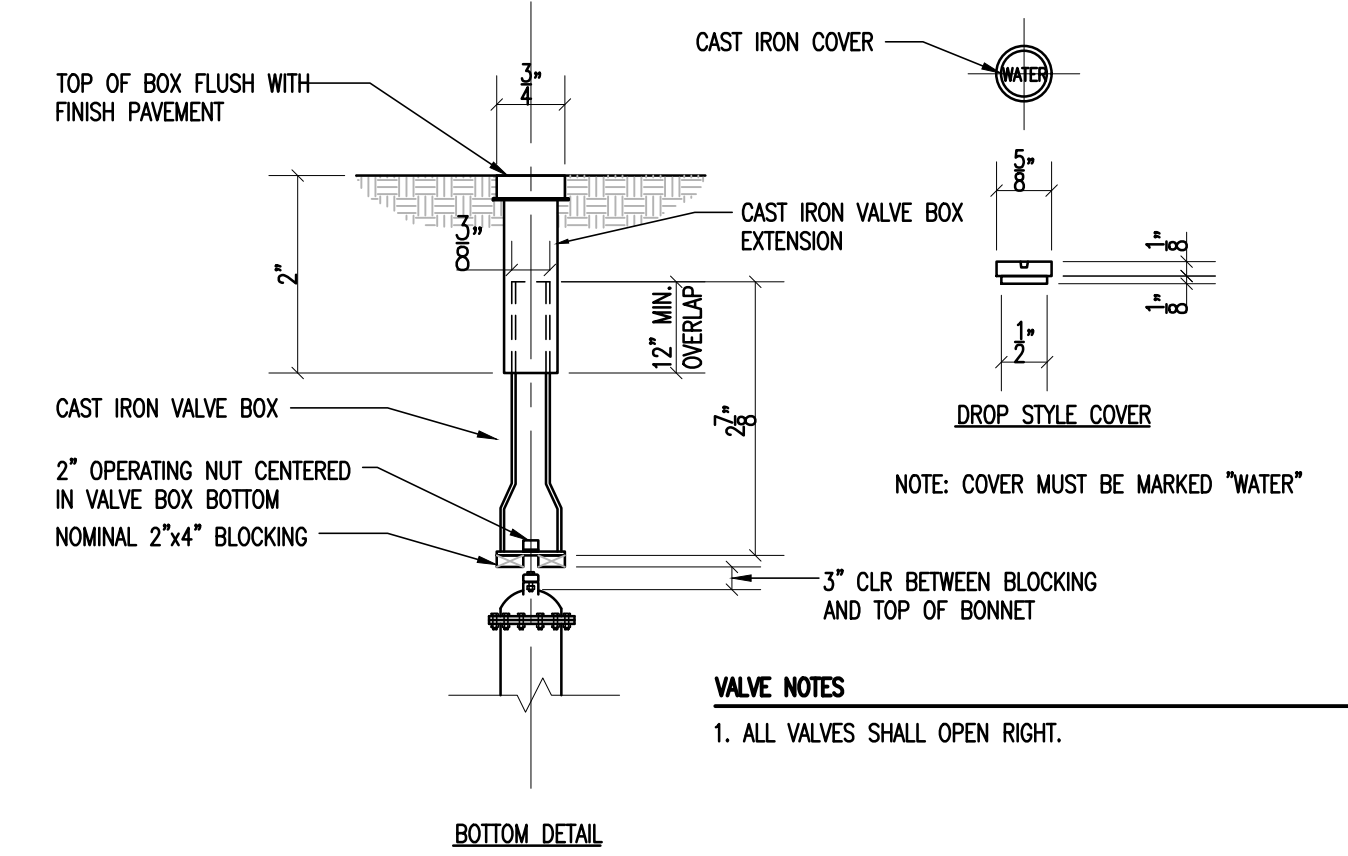


PIPE DIA.	MINIMUM BEARING SURFACE				
	TCC	HYD.	90° BEND	45° BEND	END CAP
10"	14	-	17	10	14
8"	8	-	14	7	8
6"	5	6	6	4	5
4"	2	-	3	2	2
2"	1	-	1	1	1

NOTES:  
1. THRUST BLOCKS SHALL BE PROVIDED AT ALL WATER LINE TEES, HYDRANTS, 90° AND 45° BENDS, REDUCERS, AND END CAPS. ALL CONCRETE SHALL BE 2500 PSI WORKING PRESSURE AND SOIL BEARING CAPACITY OF 1000 LBS/SQ.FT.

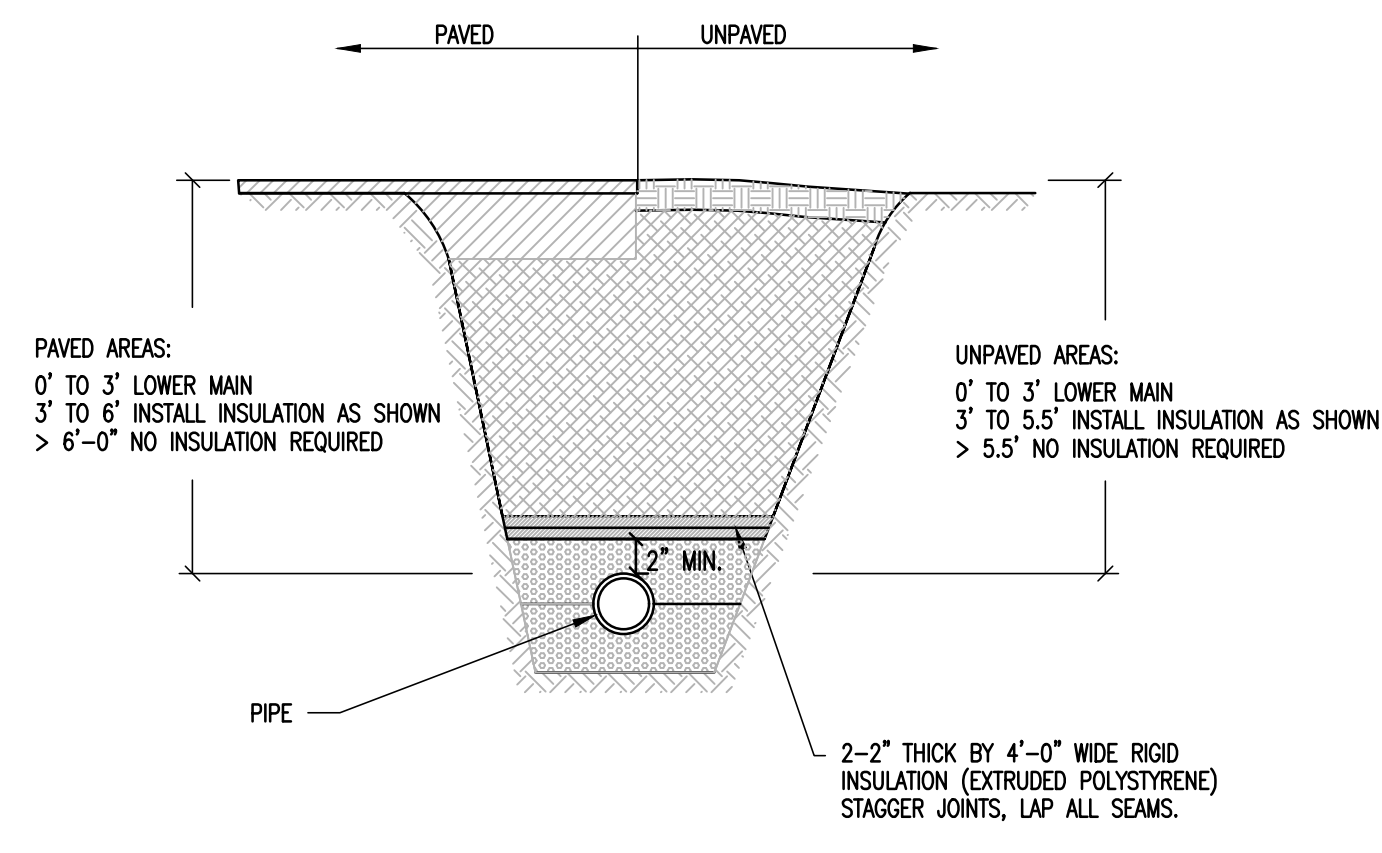
### TYPICAL BEARING THRUST BLOCK

NOT TO SCALE



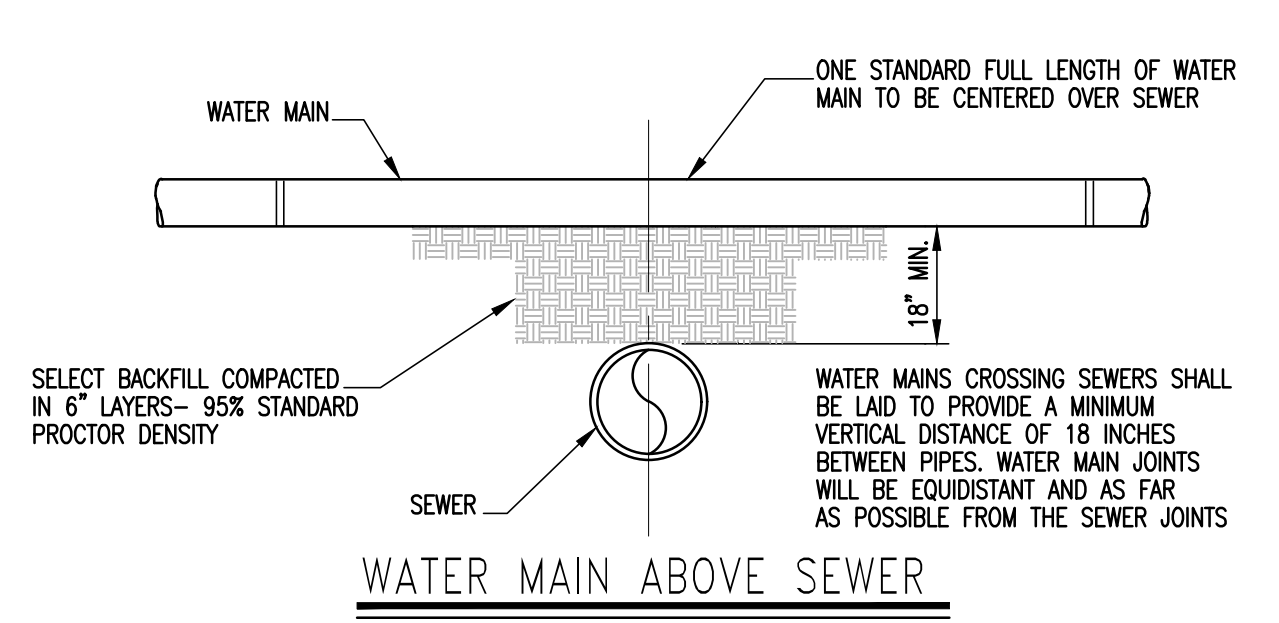
### TYPICAL VALVE BOX DETAIL

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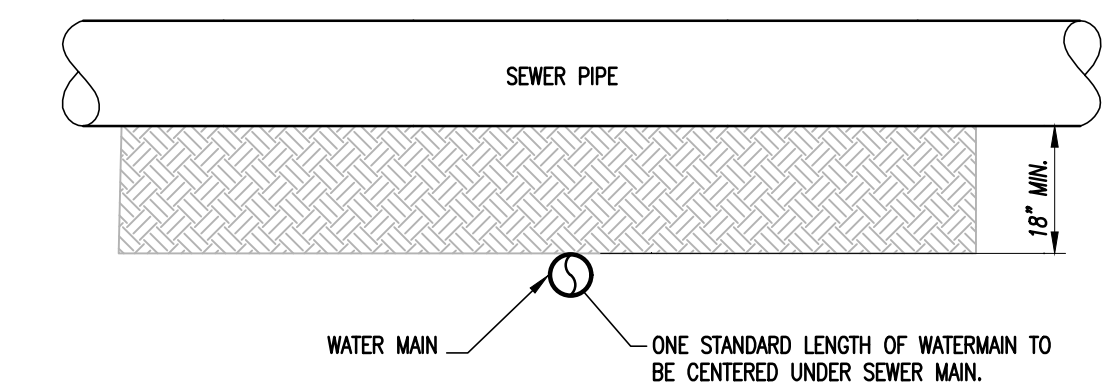


### INSULATION OVER SHALLOW WATERLINE DETAIL

SCALE: NONE



### WATER MAIN ABOVE SEWER

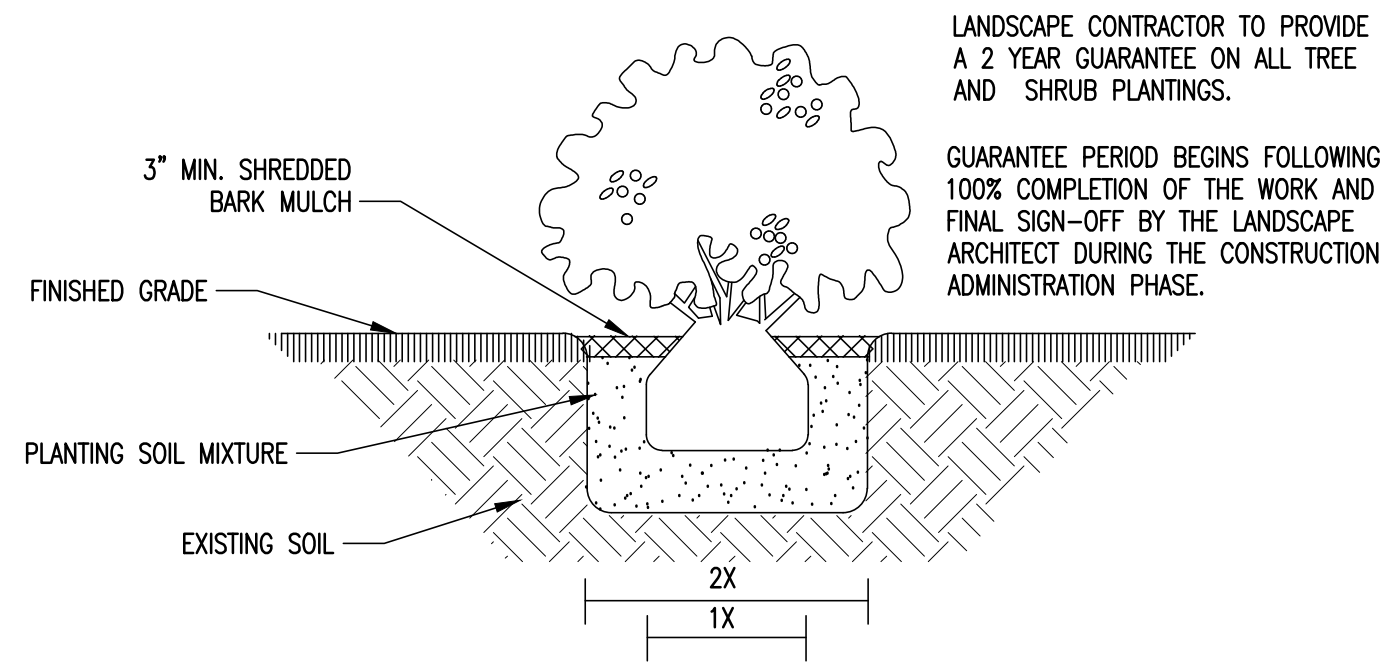


### WATER MAIN BELOW SEWER

SEPARATION NOTES:  
1. WATER MAIN RELATIONS TO SEWER SHALL BE IN ACCORDANCE WITH THE RECOMMENDED STANDARDS FOR WATERWORKS' SO-CALLED TEN STATE STANDARDS.  
2. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWERS. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IF THIS DISTANCE CANNOT BE OBTAINED, THEN THE PIPES SHALL BE INSTALLED IN A SEPARATE TRENCH AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.  
3. WHEN IT IS IMPOSSIBLE TO MAINTAIN 18" VERTICAL SEPARATION OR WHERE THE SEWER MUST BE LAID ABOVE THE WATER MAIN: 1) THE CROSSING SHALL BE ARRANGED SO THAT ONE FULL LENGTH OF SEWER IS CENTERED ABOVE OR BELOW THE WATER LINE WITH SEWER JOINTS AS FAR AS POSSIBLE FROM WATER JOINTS; 2) THE SEWER PIPE MUST BE CONSTRUCTED TO WATER MAIN STANDARDS FOR A MINIMUM DISTANCE OF 20 FEET EITHER SIDE OF THE CROSSING OR A TOTAL OF THREE PIPE LENGTHS, WHICH EVER IS GREATER; 3) THE SECTION CONSTRUCTED TO WATER MAIN STANDARDS MUST BE PRESSURE TESTED TO MAINTAIN 50 PSI FOR 15 MINUTES WITHOUT LEAKAGE PRIOR TO BACKFILLING BEYOND ONE FOOT ABOVE THE PIPE TO ASSURE WATER TIGHTNESS.

### TYPICAL SEWER/WATER SEPARATION DETAIL

SCALE: NONE



### SHRUB PLANTING DETAIL

SCALE: NONE

### WATER NOTES:

- WATER MAINS**
- PERFORM A HYDROSTATIC AND LEAKAGE TEST ACCORDING TO ANMA C600 (LATEST REVISION) ON EACH PIPE LINE.
  - THE ENGINEER AND ALBANY WATER DEPARTMENT SHALL BE GIVEN AT LEAST 48 HOURS NOTICE BEFORE THE TEST IS CONDUCTED. TEST MUST BE WITNESSED BY THE ENGINEER AND THE ALBANY WATER DEPARTMENT.
  - SPECIFIED TEST PRESSURE IS A MINIMUM OF 200 PSI OR 1.5X THE WORKING PRESSURE, WHICHEVER IS GREATER, AND PRESSURE DURING TEST SHALL NOT VARY BY MORE THAN 5 PSI. SEE THE CURRENT EDITION OF ANMA C600 FOR ALLOWABLE LEAKAGE.
- EXISTING UTILITIES**
- LOCATION OF UTILITY INSTALLATIONS AND UNDERGROUND STRUCTURES ARE SHOWN AS APPROXIMATE ON THE CONTRACT DOCUMENTS SOME UTILITIES MAY NOT BE SHOWN.
  - ALL UTILITIES SHALL BE LOCATED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
  - EXISTING UTILITIES SHALL BE PROTECTED AND SUPPORTED DURING CONSTRUCTION.
  - ALL WATER, GAS, CABLE, TELEPHONE, SEWER, AND OTHER UTILITIES FOUND TO INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED IN A MANNER ACCEPTABLE TO THE ENGINEER.
- PIPE BEDDING**
- SAND BEDDING SHALL MEET REQUIREMENTS OF EARTHWORK SPECIFICATIONS
  - SAND BLANKET SHALL MEET REQUIREMENTS OF EARTHWORK SPECIFICATIONS
  - TRENCH FINAL BACKFILL MATERIAL - MATERIAL WILL EXCLUDE PIECES OF PAVEMENT, ORGANIC MATTER, TOPSOIL, ALL WET OR SOFT MUCK, PEAT, CLAY, LARGE ROCKS (GREATER THAN 12" DIMENSION), OR ANY MATERIAL DETERMINED BY THE ENGINEER THAT WILL NOT BE SUITABLE.
- PIPE TRENCH BACKFILL**
- MEET EARTHWORK SPECIFICATIONS FOR PLACEMENT AND COMPACTION.
- DUCTILE IRON PIPE (WATER)**
- D.I. PIPE CONFORM TO ANMA/ANSI C151.
  - LININGS AND LINING REPAIR TO ANMA/ANSI C104.
  - JOINTS CONFORM TO ANMA/ANSI C 111 AND C115.
  - FITTINGS CONFORM TO ANMA/ANSI C110, C153, C105.
  - KEEP INSIDE OF PIPE CLEAN AND FREE OF DEBRIS.
  - REJECT ANY PIPE WHICH IS DROPPED DURING HANDLING.
  - MECHANICAL JOINTS - JOINTS SHALL BE "MACH-LUC" RETAINER CLANDS.
  - DUCTILE IRON FITTINGS: ANS A21.10, 350 PSI PRESSURE RATING.
  - JOINTS: MECHANICAL, PUSH-ON, AND FLANGED:
    - RUBBER GASKET JOINT, ANS A21.11
    - MECHANICAL AND PUSH-ON JOINTS: ANS A21.11
    - FLANGED JOINT: 1/8" THICK RING OR FULL FACED RUBBER, ANS A21.15.
  - BOLTS/NUTS
    - MECHANICAL JOINT: ANS A21.11
    - FLANGED JOINT: ANS A21.15
  - LININGS:
    - INTERIOR - CEMENT LINED, DOUBLE THICKNESS BITUMINOUS SEAL
    - EXTERIOR - BITUMINOUS COATING APPROX. 1 MIL THICK, ANS A21.51, ANS A21.15, AND ANS A21.10.
    - FLANGE MACHINED FACE COATING: ANS A21.15.
  - LAYING PIPE
    - PIPE SHALL BE LAID WITH BELL ENDS FACING IN THE DIRECTION OF LAYING.
    - WHERE PIPE IS LAID ON A SLOPE OF 5% OR MORE, THE LAYING SHALL START AT THE LOW END AND PROCEED UPHILL, WITH THE BELL ENDS UPWARD.
    - A WATERTIGHT PLUG SHALL BE PLACED IN THE OPEN ENDS OF INSTALLED PIPE WHEN PIPE LAYING IS NOT IN PROGRESS.
    - MAX. PERMISSIBLE DEFLECTION IS 75% OF ANMA SPEC. C600.
- CHLORINATION OF DOMESTIC WATER LINES**
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE ALBANY WATER DEPARTMENT AT LEAST 48 HOURS PRIOR TO BEGINNING ANY DISINFECTION OF WATER MAINS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR BACTERIOLOGICAL TESTING AS REQUIRED BY THIS SPECIFICATION AND REFERENCE STANDARDS MENTIONED. THE CONTRACTOR SHALL PROVIDE THE ALBANY WATER DEPARTMENT WITH A COPY OF THE BACTERIOLOGICAL TESTING RESULTS.
  - DISINFECT ALL NEW PIPELINE SYSTEMS IN ACCORDANCE WITH ANMA C651, INCLUDING:
    - METHOD OF CHLORINE APPLICATION. USE CONTINUOUS FEED METHOD OR SLUG METHOD (TABLET METHOD IS NOT ACCEPTABLE).
    - FORM OF CHLORINE UTILIZED.
    - FINAL FLUSHING.
    - BACTERIOLOGICAL TESTING
    - REPETITION OF PROCEDURE
- GATE VALVES**
- RESILIENT SEAT GATE VALVES BY KENNEDY "XEN-SEAL" OR EQUAL.
  - IRON BODY GATE VALVES TO MEET ANMA C-509-87.
  - STEM CONSTRUCTION: NON-RISING.
  - STEM SEALS: DOUBLE O-RING.
  - GATE: CAST IRON RESILIENT WEDGE WITH SYNTHETIC ELASTOMER COATING, AND SHALL BE EPOXY COATED (FUSION BONDED) INSIDE AND OUT.
  - BONNET HARDWARE SHALL MEET ASTM A307 CADMIUM PLATED.
  - OUTLET CONNECTION: STANDARD MECHANICAL JOINT
  - OPERATION: OPEN-RIGHT.
- TAPPING VALVES AND VALVES**
- TAPPING VALVES TO MEET ANS/ANMA C509-87, STANDARD FOR RESILIENT SEATED GATE VALVES.
  - VALVES SHALL HAVE A MINIMUM WORKING PRESSURE OF 150 PSI.
  - VALVES SHALL OPEN-RIGHT.
  - INLET FLANGES SHALL BE CLASS 125, ANS B16.1, OR ANS/ANMA C110/A21.10.
  - OUTLET CONNECTION: STANDARD MECHANICAL JOINT.
  - STEM SEALS: O RING.
  - STEM CONSTRUCTION: NON-RISING.
  - SEATING: PARALLEL SEAT
  - END CONNECTIONS: MECHANICAL ON RUN, FLANGED ON BRANCH.
  - BURIED TAPPING VALVES SHALL BE PROVIDED WITH A 2 INCH SQUARE WRENCH NUT AND CAST IRON VALVE BOX. IF DEPTH FROM GRADE TO TOP OF VALVE OPERATING NUT IS GREATER THAN 6'-0", A VALVE STEM RISER MADE OF HIGH STRENGTH STEEL SHALL BE PROVIDED. DEPTH FROM VALVE STEM RISER NUT TO GRADE WILL BE 4 TO 6 FEET.
- TAPPING SLEEVES**
- ANMA C509, LATEST REVISION.
  - ANMA C207, CLASS D, MAX. WORKING PRESSURE OF 150 PSI.
  - SLEEVES: SPLIT SLEEVES OF CAST IRON OR DUCTILE IRON.
  - MECHANICAL JOINT ENDS WITH END AND GASKET SEALS.
  - BOLTS AND NUTS, MECHANICAL JOINTS: HIGH STRENGTH CAST IRON OR HIGH STRENGTH LOW ALLOY STEEL, ANS/ANMA C111/A21.11-90.
  - BOLTS AND NUTS, FLANGED JOINTS: HIGH STRENGTH, LOW CARBON STEEL CONFORMING TO ANS/ANMA C110/A21.10-87, APPENDIX
  - COAT ALL NUTS AND BOLTS WITH A RUST RESISTANT LUBRICANT.
  - ALL BOLTS AND NUTS USED WITH PIPE SLEEVES SHALL BE BRUSH COATED HEAVILY AFTER FINAL TIGHTENING WITH BITUMASTIC COLD-APPLIED MATERIAL TO THOROUGHLY COVER ALL EXPOSED SURFACES OF BOLTS AND NUTS.
- VALVE BOXES**
- ACCEPTABLE MANUFACTURER'S: MUELLER, CLOW, OR EQUAL.
  - CLOW F-2452 SLIDING TYPE, TWO PIECE, OR EQUAL.
  - 5 1/2 INCH SHAFT.
  - SIZE 664-A (40-60 INCH OVERALL LENGTH).
  - CAST IRON.
  - CLOW F-2490 LIDS OR EQUAL.
  - THE WORD "WATER" TO BE CAST INTO TOP OF COVERS, AND ARROW SHOWING DIRECTION OF OPENING (OPEN-RIGHT).
- CONCRETE**
- CONCRETE SHALL HAVE:
    - MIN. COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS
    - AIR ENTRAINMENT OF 4% TO 6% BY VOLUME.
    - WATER CEMENT RATIO OF 0.49 LBS. WATER/CEMENT.
    - SLUMP OF 2 TO 4 INCHES.
  - CONCRETE SHALL NOT BE PLACED WHEN AMBIENT TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT OR MORE THAN 90 DEGREES FAHRENHEIT.
  - CONCRETE SHALL NOT BE DROPPED MORE THAN SIX FEET INSIDE A FORM.
  - MAINTAIN TEMPERATURE OF CONCRETE SURFACE AT MINIMUM 50 DEGREES FAHRENHEIT FOR 72 HOURS AFTER PLACING CONCRETE. PREHEAT ALL ENCLOSURES FOR A MINIMUM OF 2 HOURS TO PROVIDE A MIN. SURFACE TEMPERATURE OF 45 DEGREES FAHRENHEIT.
  - ALLOW TO SET AND CURE ALL THRUST BLOCKS, CONCRETE SUPPORTS, AND ANCHORS A MINIMUM OF 24 HOURS BEFORE BACKFILLING.
  - COMPLETELY CURE AND SET CONCRETE BEFORE ANY HYDROSTATIC OR LEAKAGE TESTING OF PIPELINE SYSTEMS.
  - NONSHRINK GROUT SHALL BE HALCO TRADEMARK, AS MANUFACTURED BY LEHN & FINK INDUSTRIAL PRODUCTS.
  - DO NOT PLACE ANY MORTAR OR GROUT WHEN AMBIENT TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT.
  - MORTAR FOR MANHOLES SHALL CONSIST OF THE FOLLOWING:
    - CEMENT-TYPE I, ASTM C150.
    - HYDRATED LIME-TYPE N, ASTM C207.
    - SAND- ASTM C 33, FINE AGGREGATES FOR CONCRETE.
    - WATER-CLEAN, SUITABLE FOR DRINKING.
  - MIX(BY VOLUME): 1 PART CEMENT, 1/2 PART LIME, 4 1/2 PARTS SAND.
- GENERAL**
- BEFORE ANY WATER LINE WORK IS COMMENCED BY THE CONTRACTOR, THEY SHALL NOTIFY THE ALBANY WATER DEPARTMENT.
  - "AS BUILT" DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR AT THE TIME OF COMPLETION OF THE SYSTEM. PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY, A COPY OF THE AUTOCAD FILE AND PAPER AS-BUILTS IS REQUIRED TO BE SUBMITTED TO THE ALBANY WATER DEPARTMENT FOR REVIEW AND APPROVAL. COORDINATE SYSTEM IS TO BE NAD83 HORIZONTAL AND NAVD83 VERTICAL.

ARCHITECTURE, PC  
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**Schematic Design**  
 CONSULTANT  
 DATE: \_\_\_\_\_  
 REVISION DESCRIPTION  
 No. \_\_\_\_\_

**SITE AND WATER DETAILS**  
 New Construction For:  
**Morris Street Apartments**  
 Albany, NY 12208  
 16, 18, 20 Morris Street

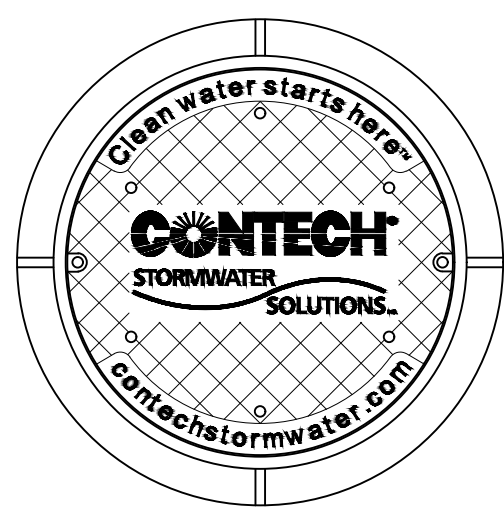
DRAWN BY: Engineering Ventures  
 DATE: 9/10/2021  
 SCALE: AS NOTED  
 JOB No.: EV# 21324  
 SHEET:

**SCHEMATIC DESIGN**  
**NOT FOR CONSTRUCTION**  
 09/10/2021

C3.0

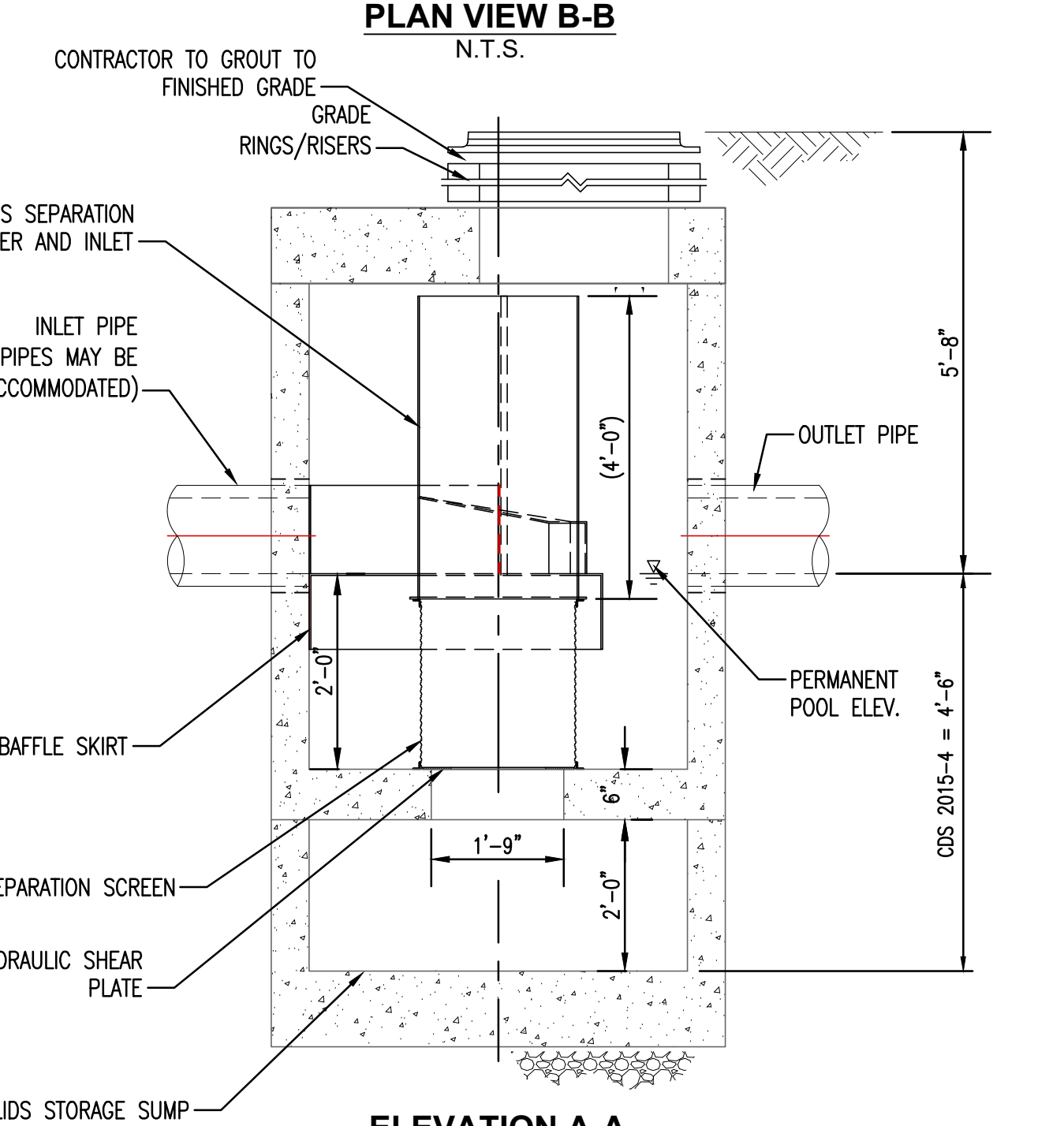
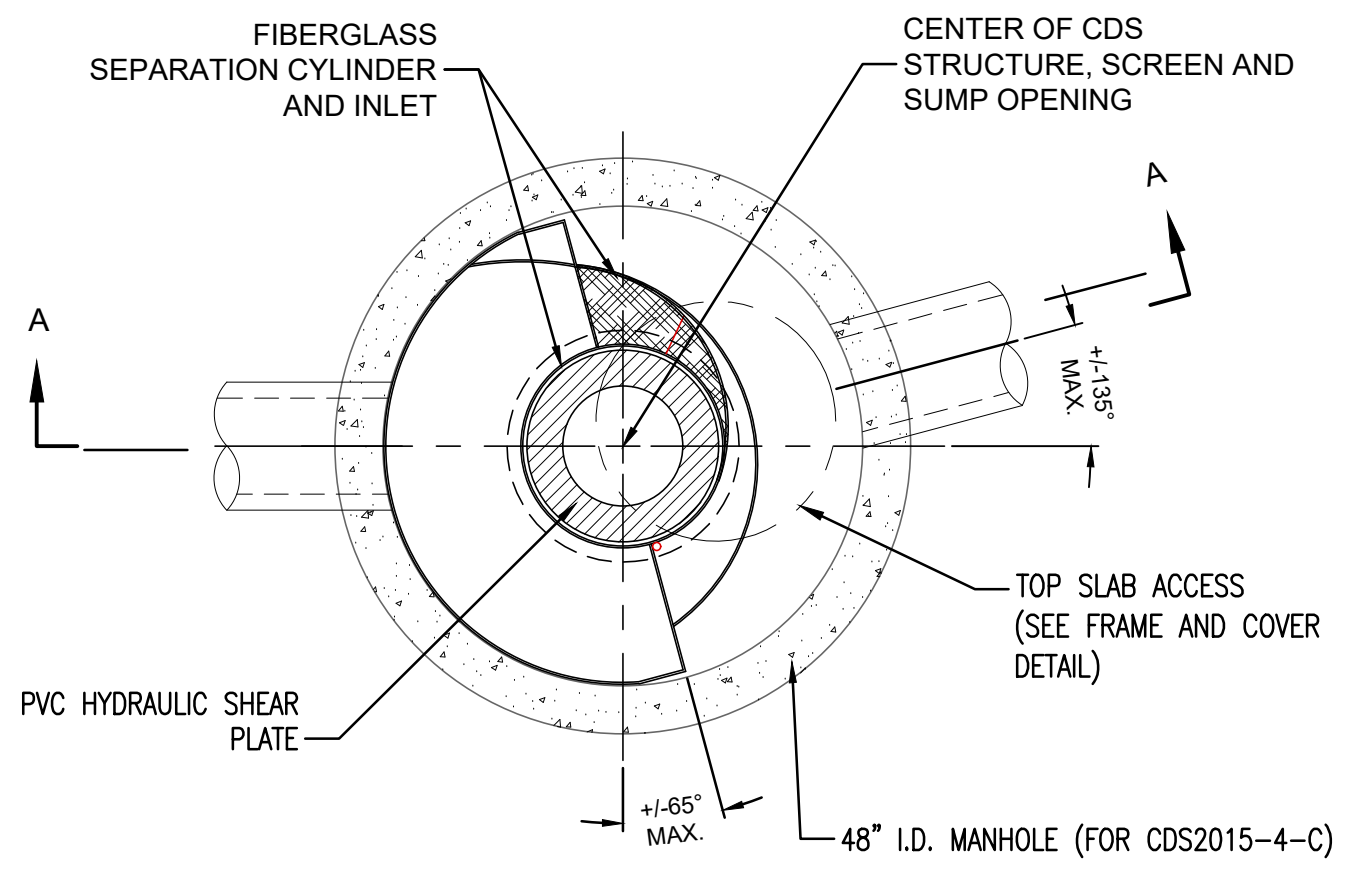






**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS		
STRUCTURE ID	ST-3	
WATER QUALITY FLOW RATE (CFS OR L/s)	0.66 CFS	
PEAK FLOW RATE (CFS OR L/s)	3.73 CFS	
RETURN PERIOD OF PEAK FLOW (YRS)	100-YR	
SCREEN APERTURE (AND OR 4750)	200	
PIPE DATA	TYPE	MATERIAL
INLET PIPE 1	XXXXXX	HDPE
INLET PIPE 2	N/A	N/A
OUTLET PIPE	XXXXX	HDPE
DIAMETER	12"	
ANTI-FLOTATION BALLAST	WIDTH	HEIGHT
	TBD	TBD
NOTES/SPECIAL REQUIREMENTS:		
*PER ENGINEER OF RECORD		



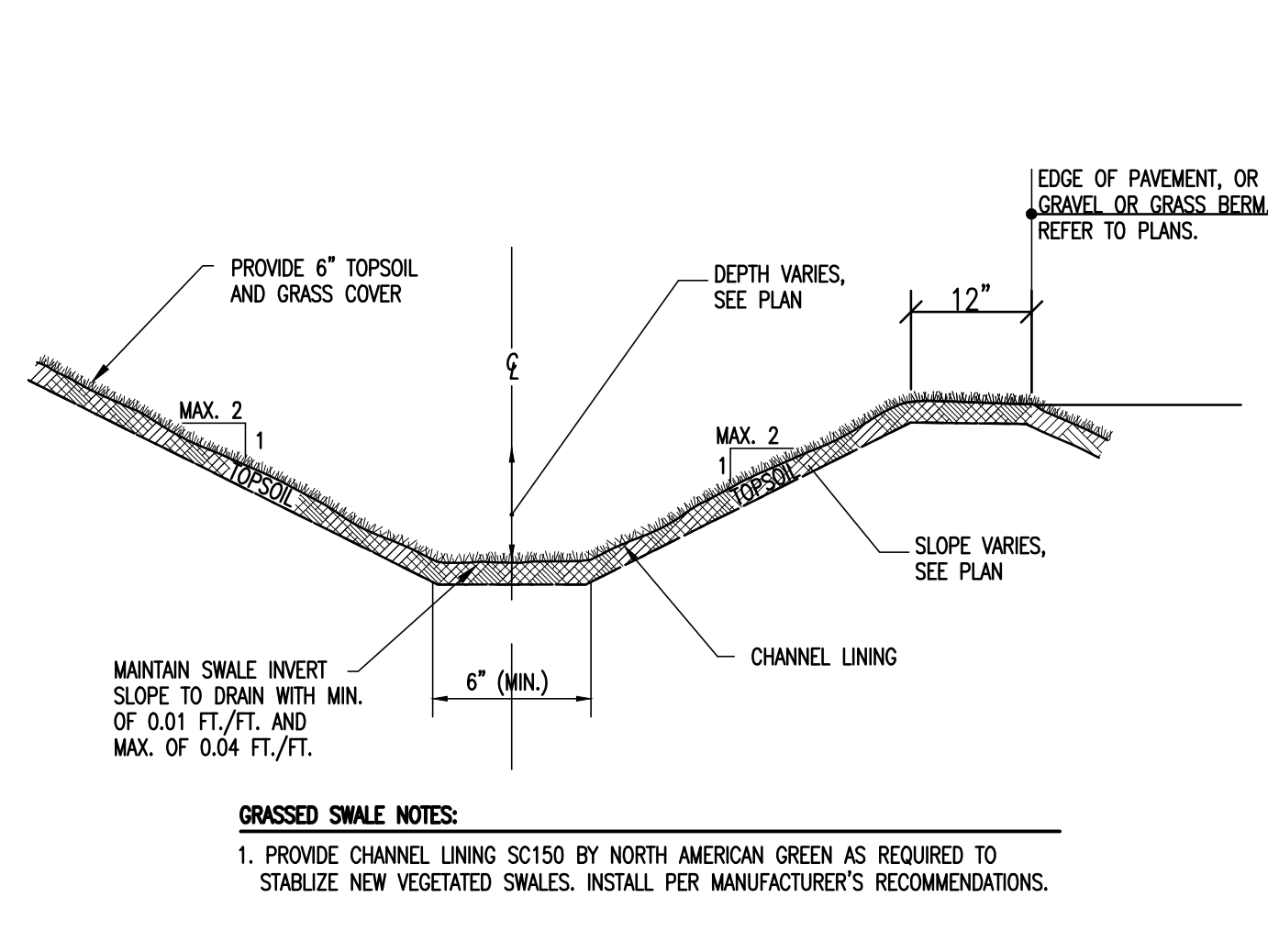
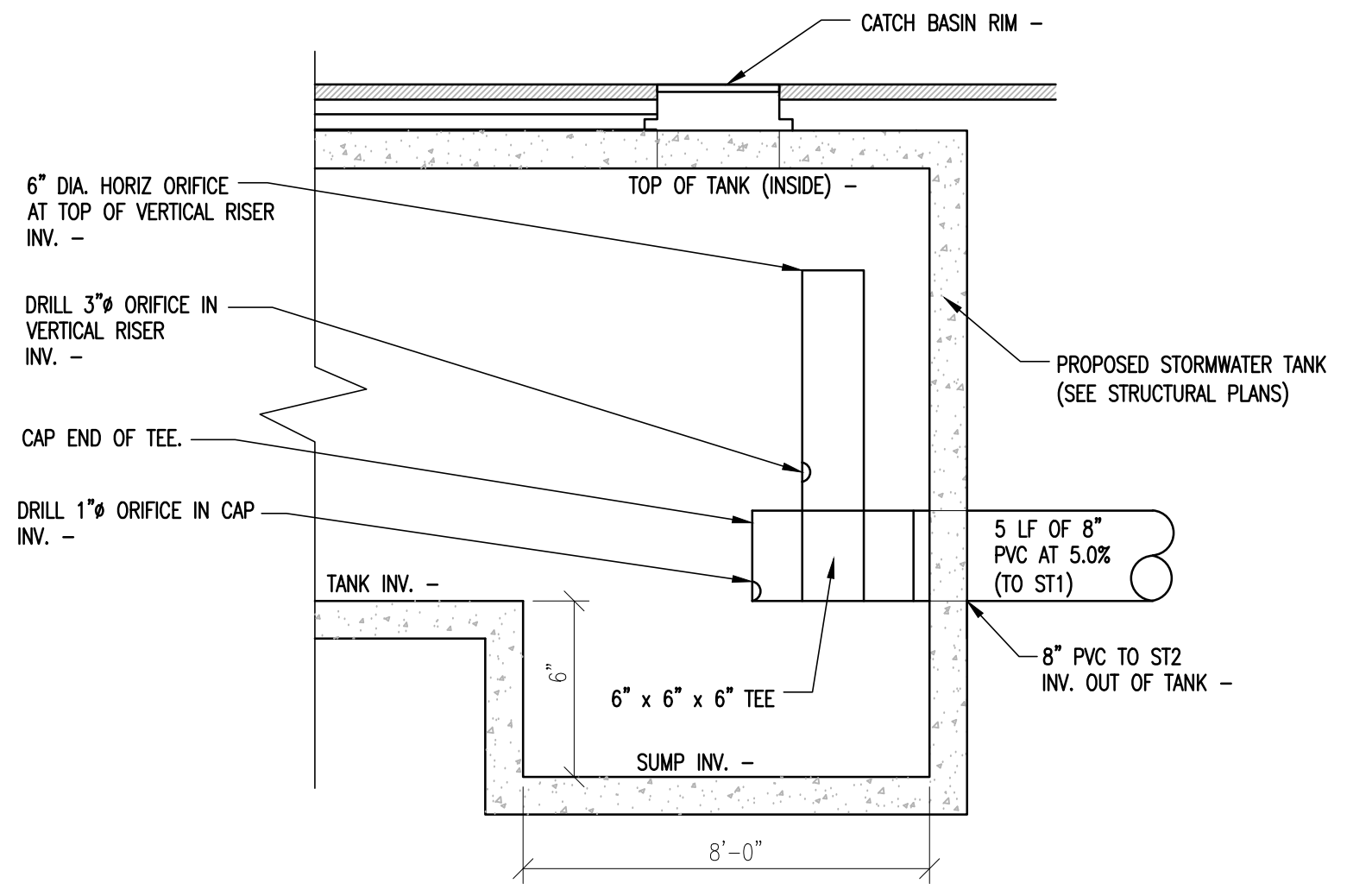
- GENERAL NOTES**
1. DETAIL SHOWN IS FROM CONTECH AND SHOULD ONLY BE USED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO SUBMIT SHOP DRAWINGS WITH CONTECH DESIGN.
  2. ALL CONTECH UNITS SHALL BE COORDINATED WITH A REPRESENTATIVE FROM CONTECH ENGINEERED SOLUTIONS TO VERIFY SIZE AND CONFIGURATION OF CONTECH UNIT.
  3. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  4. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  5. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH STORMWATER SOLUTIONS REPRESENTATIVE. [www.contechstormwater.com](http://www.contechstormwater.com)
  6. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  7. STRUCTURE AND CASTINGS SHALL MEET AASHTO HS20 LOAD RATING.
  8. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES**
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**CDS2015-4 DESIGN NOTES**

CDS2015-4 RATED TREATMENT CAPACITY IS 0.7 CFS, OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY IS 10.0 CFS. IF THE SITE CONDITIONS EXCEED 10.0 CFS, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

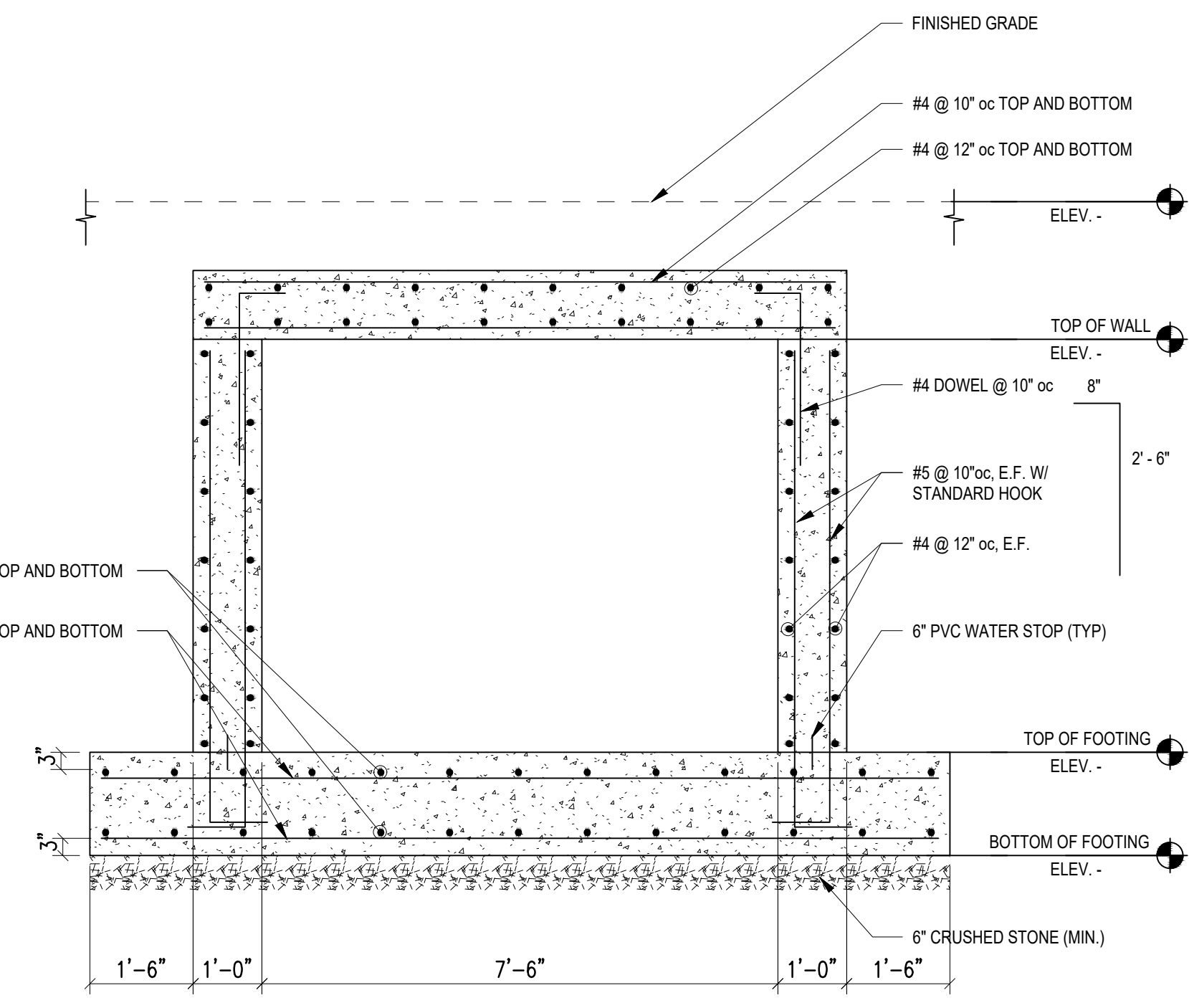
THE STANDARD CDS2015-4 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

**STRUCTURE ST3: CONTECH CDS DETAIL**  
SCALE: NONE



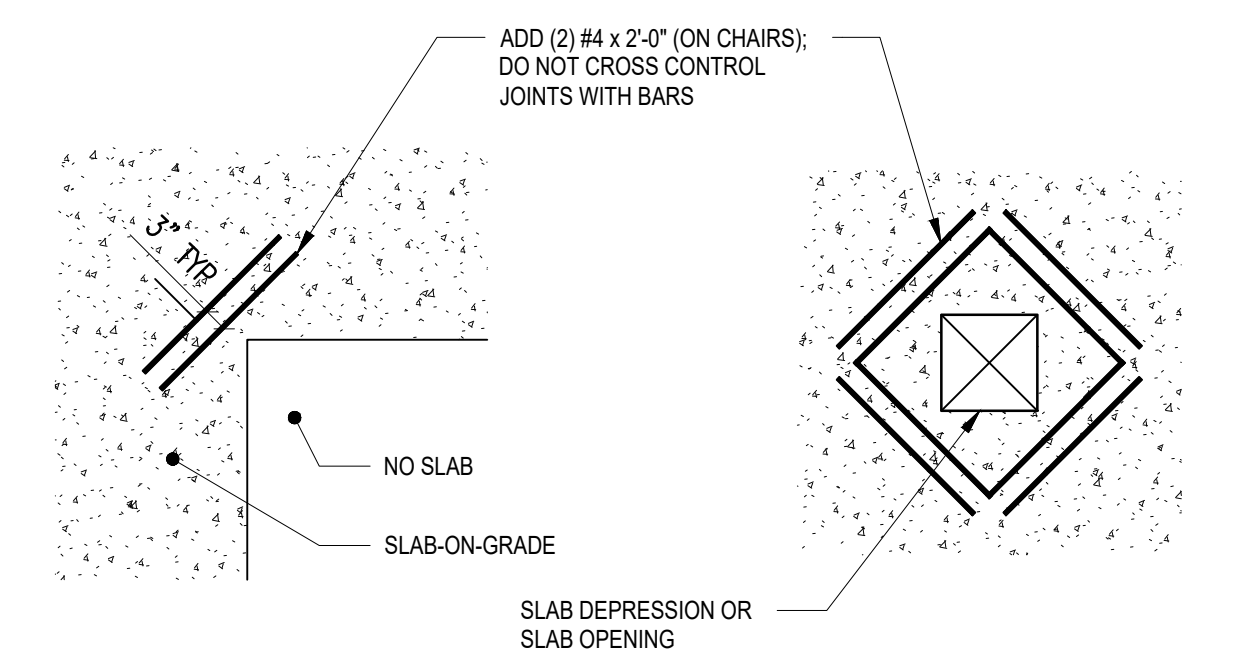
**STORMWATER TANK OUTLET STRUCTURE DETAIL**  
SCALE: NONE

**GRASSED DRAINAGE SWALE DETAIL**  
SCALE: NONE

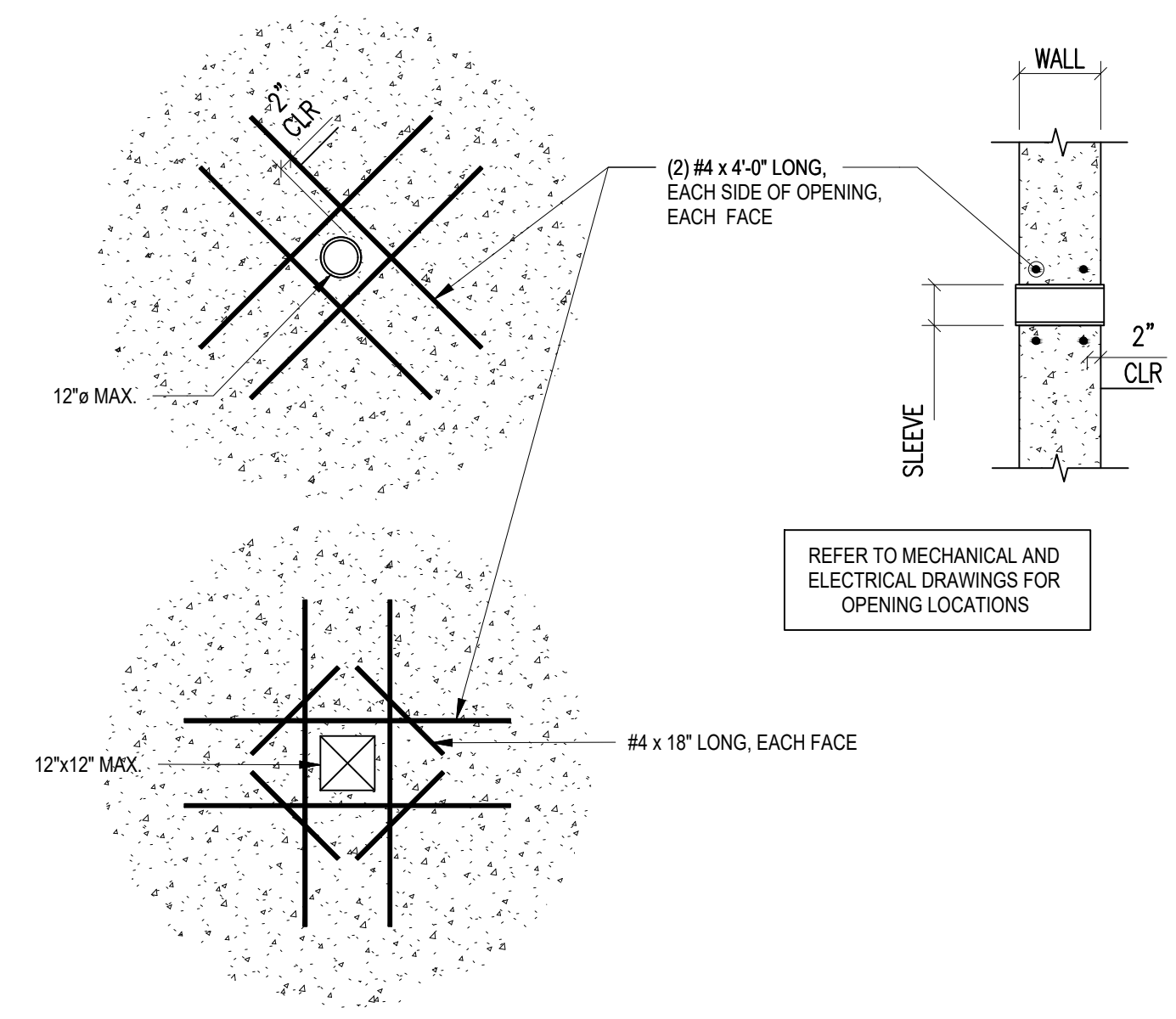


**NOTES:**  
1. CONCRETE TO BE MIX USED FOR "EXTERIOR SLABS-ON-GRADE, GARAGE SLAB-ON-GRADE". SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.

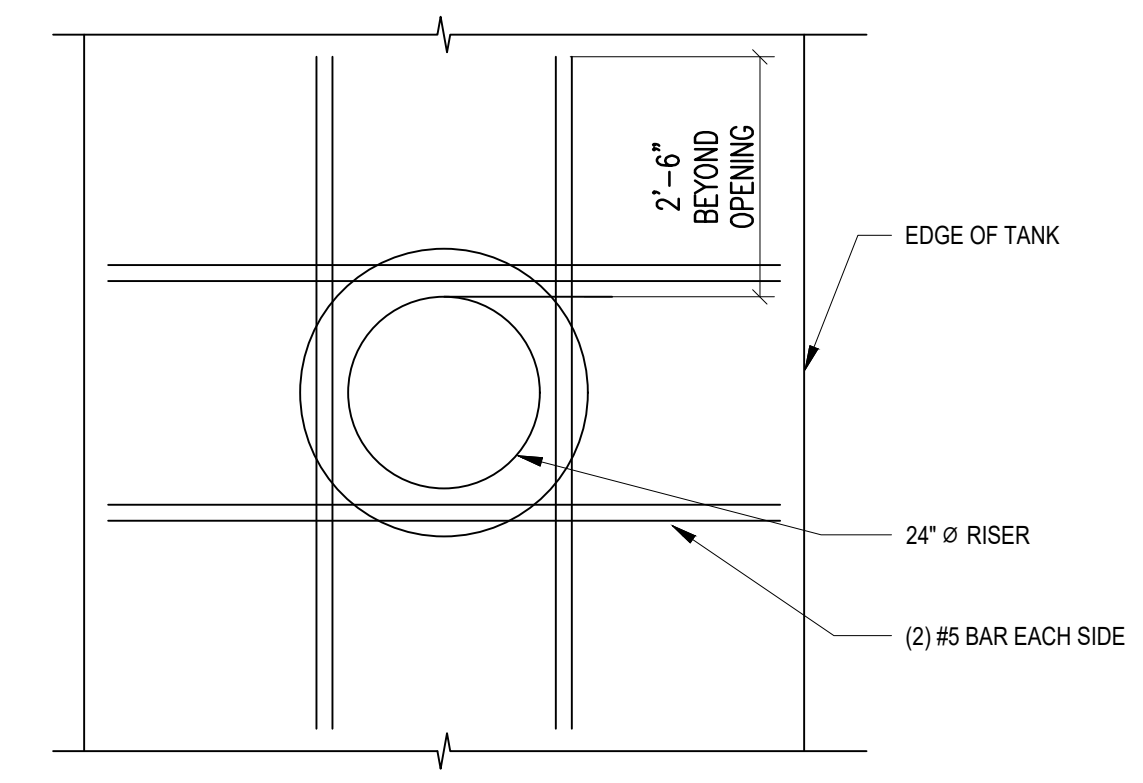
**STORMWATER TANK SECTION (TYP.)**  
SCALE: NONE



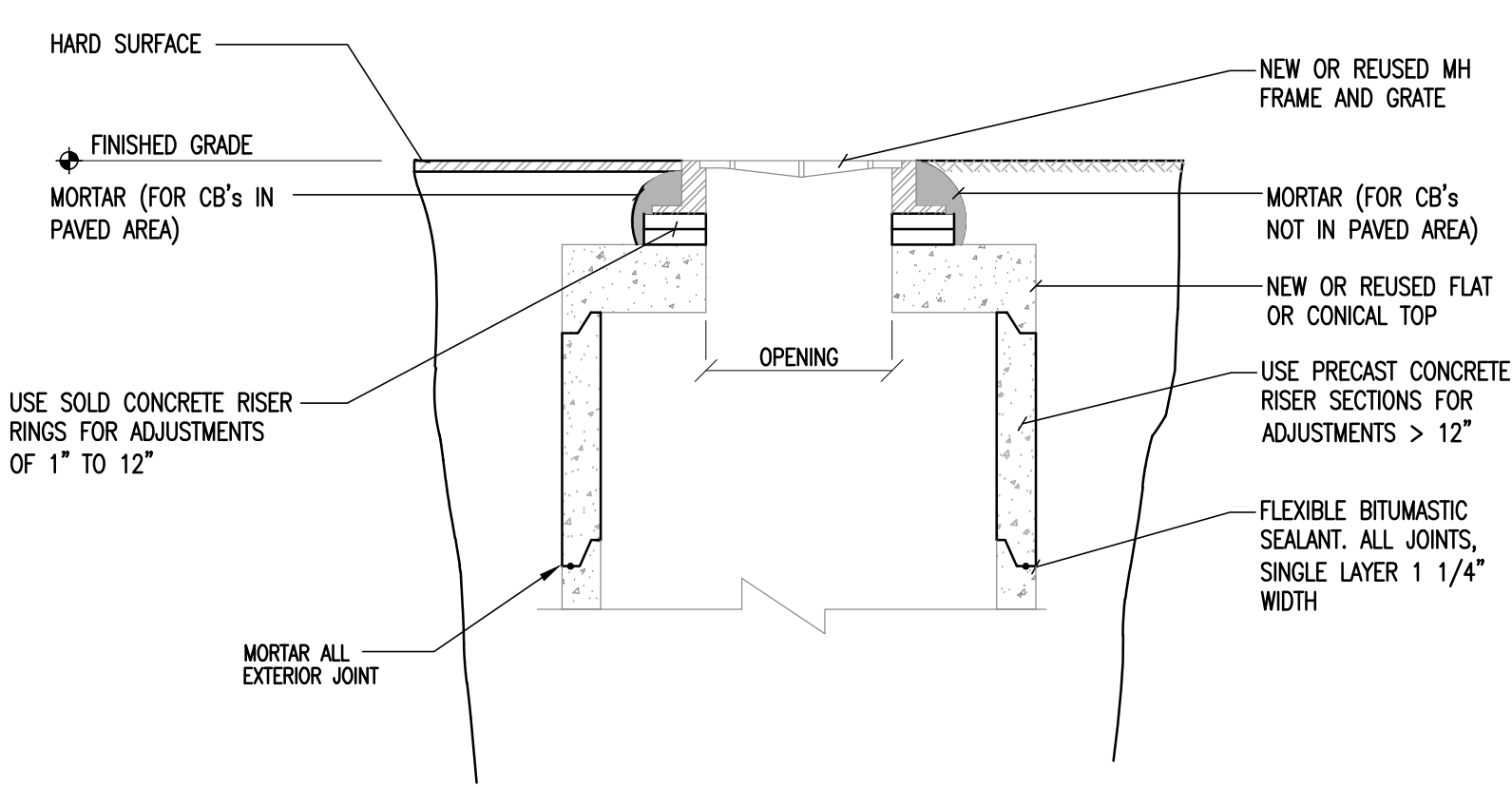
**TYPICAL RE-ENTRANT CORNERS TANK OPENINGS**  
SCALE: NONE



**TYPICAL CONCRETE WALL OPENINGS**  
SCALE: NONE



**PLAN VIEW OF ACCESS STRUCTURE**  
SCALE: NONE



**MANHOLE RIM ADJUSTMENT DETAIL**  
SCALE: NONE

**SCHEMATIC DESIGN**  
NOT FOR CONSTRUCTION  
09/10/2021

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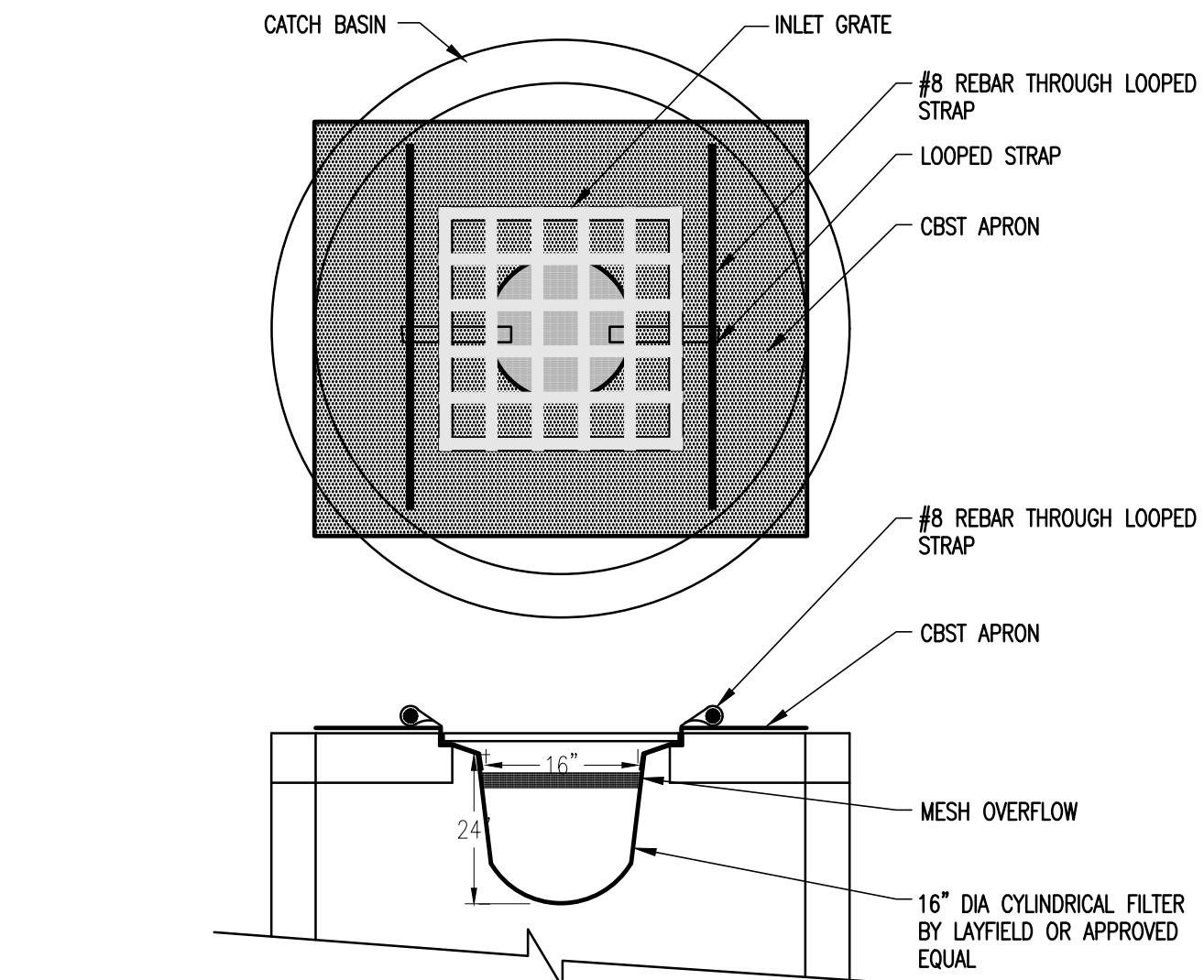
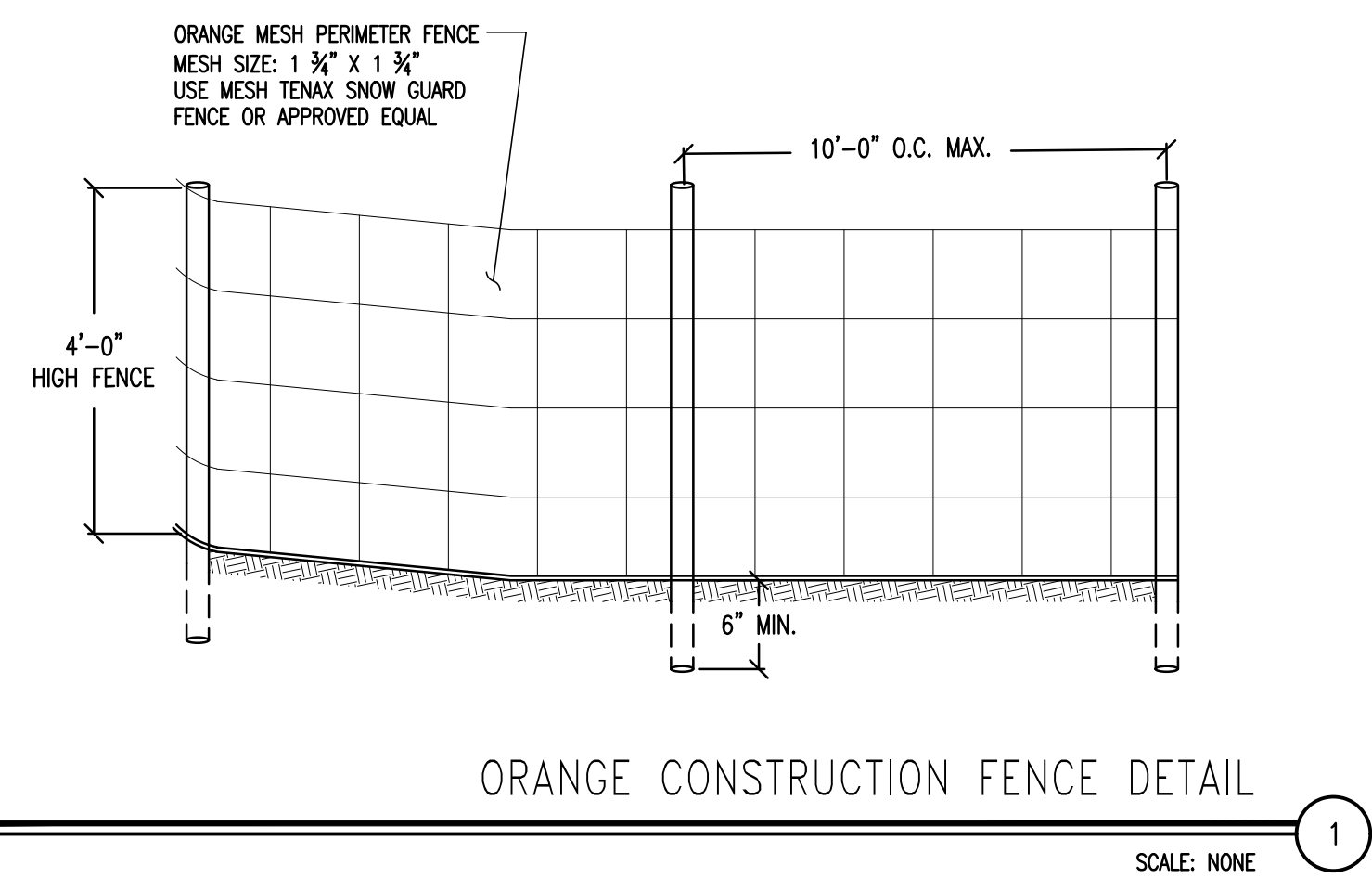
**Schematic Design**

REVISION/DESCRIPTION	DATE	CONSULTANT

**STORMWATER DETAILS (2 OF 2)**

New Construction For:  
**Morris Street Apartments**  
Albany, NY 12208

DRAWN BY: Engineering Ventures  
DATE: 9/10/2021  
SCALE: AS NOTED  
JOB No.: EV# 21324  
SHEET: C3.2

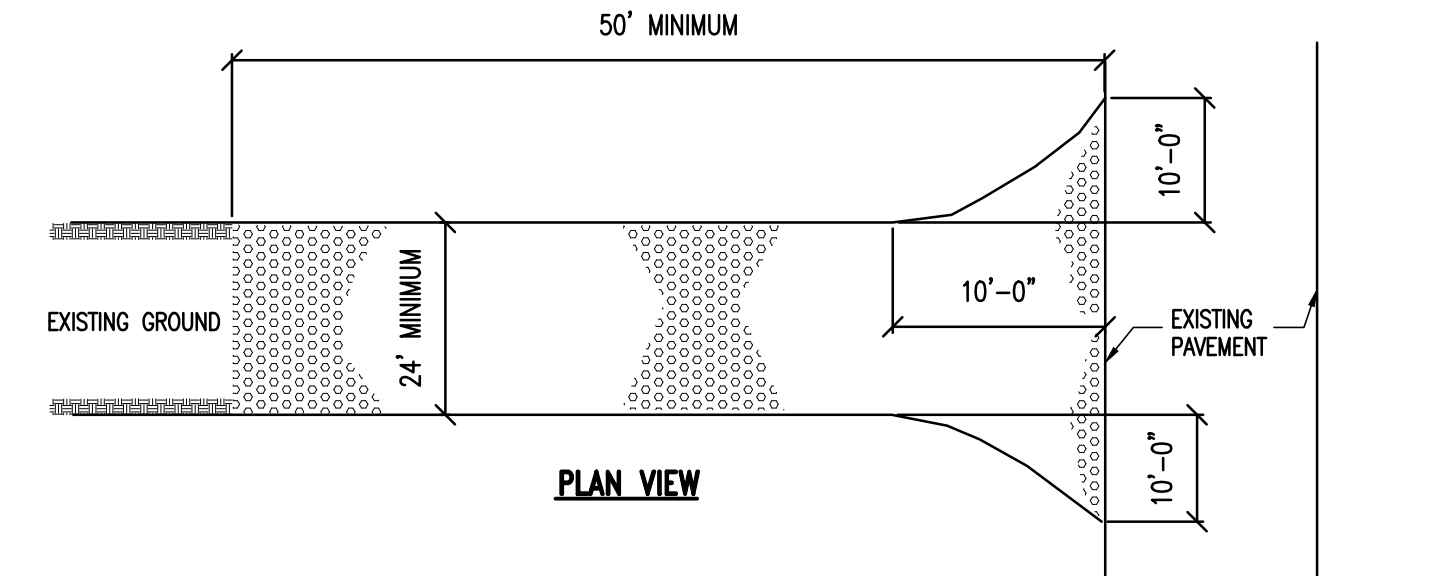
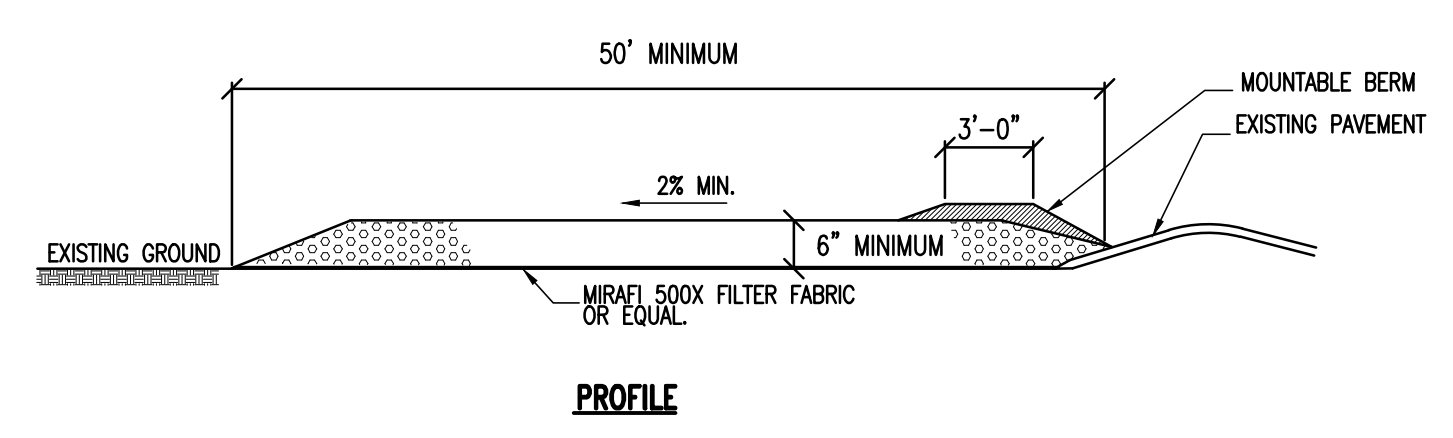
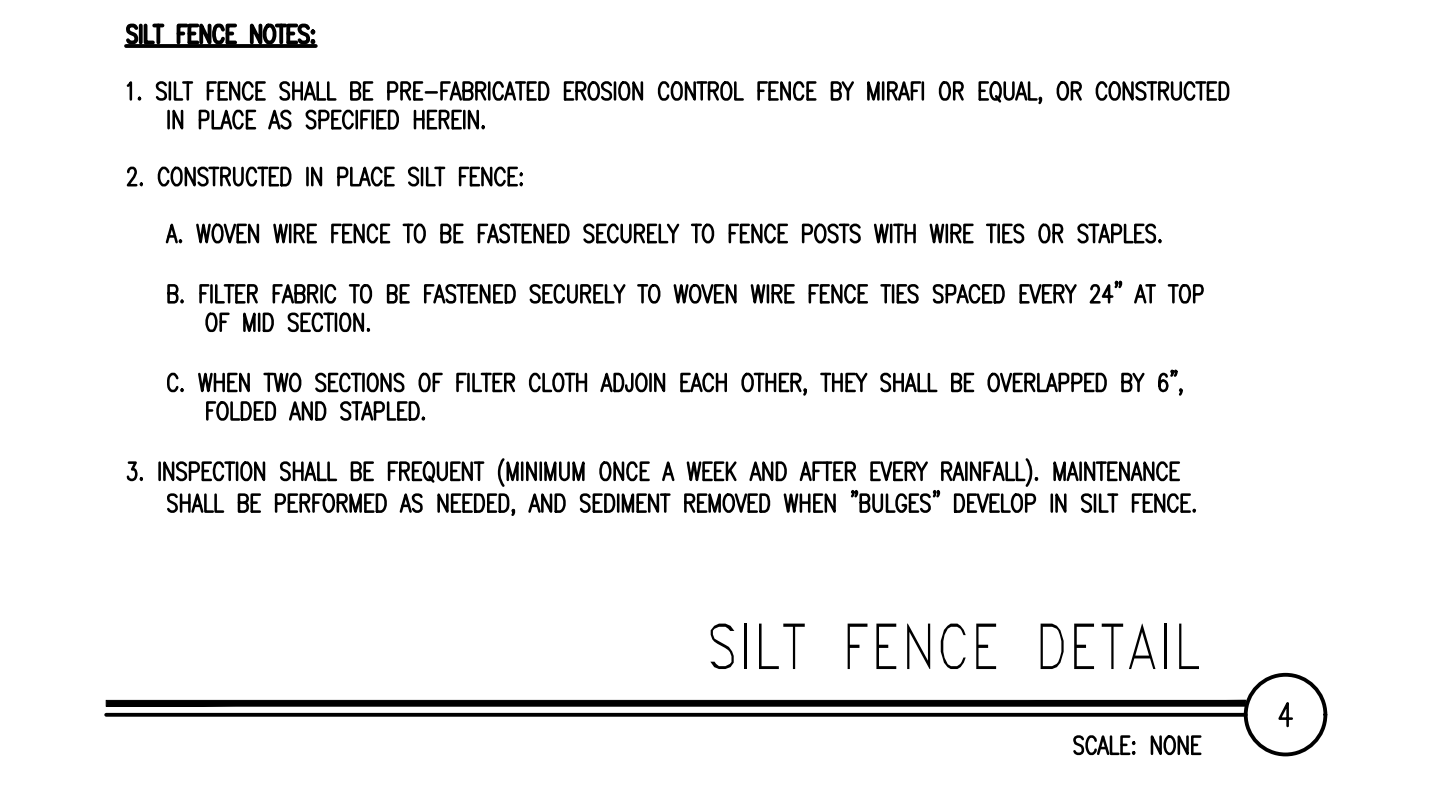
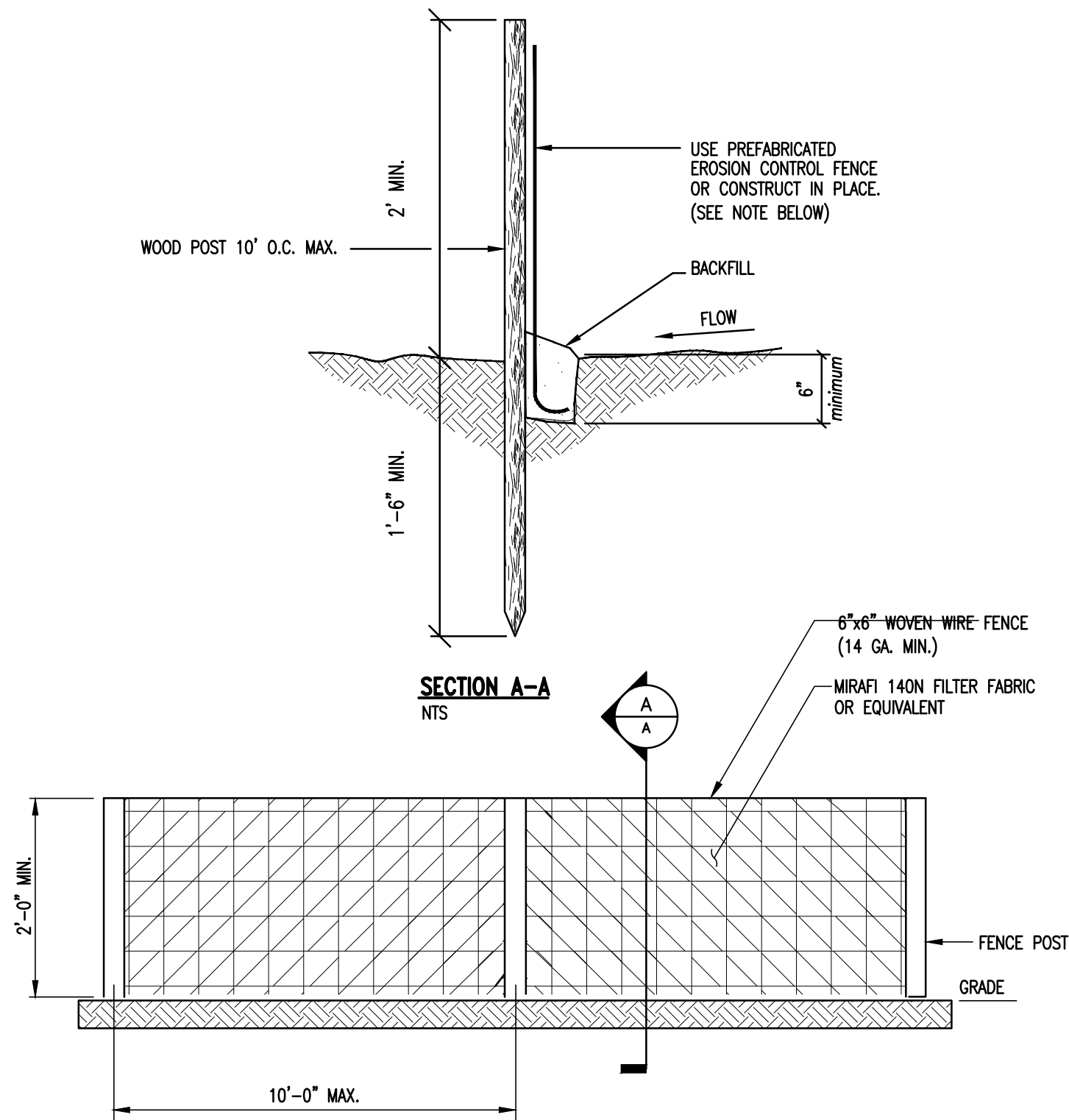


URBAN MIX GRASS SEED - FOR USE IN GRASSSED LAWN AREAS AROUND BUILDING AND PARKING		
% BY WEIGHT	LBS. LIVE SEED BY ACRE	TYPE OF SEED
37.5	45.0	CREeping RED FESCUE
31.25	37.5	KENTUCKY BLUEGRASS
31.25	37.5	WINTER HARDY, PERENNIAL RYE
100	120.0 # LIVE SEED / ACRE	

CONSERVATION MIX GRASS SEED - FOR USE IN ALL OTHER AREAS		
% BY WEIGHT	LBS. LIVE SEED PER ACRE	TYPE OF SEED
35	77.0	CREeping RED FESCUE
20	44.0	KENTUCKY BLUEGRASS
15	33.0	CUTLER PERENNIAL RYE GRASS
15	33.0	ANNUAL RYE GRASS
10	22.0	TALL FESCUE
5	11.0	WHITE CLOVER
100	220.0 # LIVE SEED / ACRE	

SEED SPECIFICATION	
FERTILIZER	TOP SOIL
10 LBS. PER 1000S.F. SPRING SEEDING	6" MINIMUM APPROVED TOPSOIL
90 LBS. PER 1000S.F. FALL SEEDING	2 BALES PER 1000S.F. APPLY BINDER OR NETTING AS NEEDED

SCALE: NONE



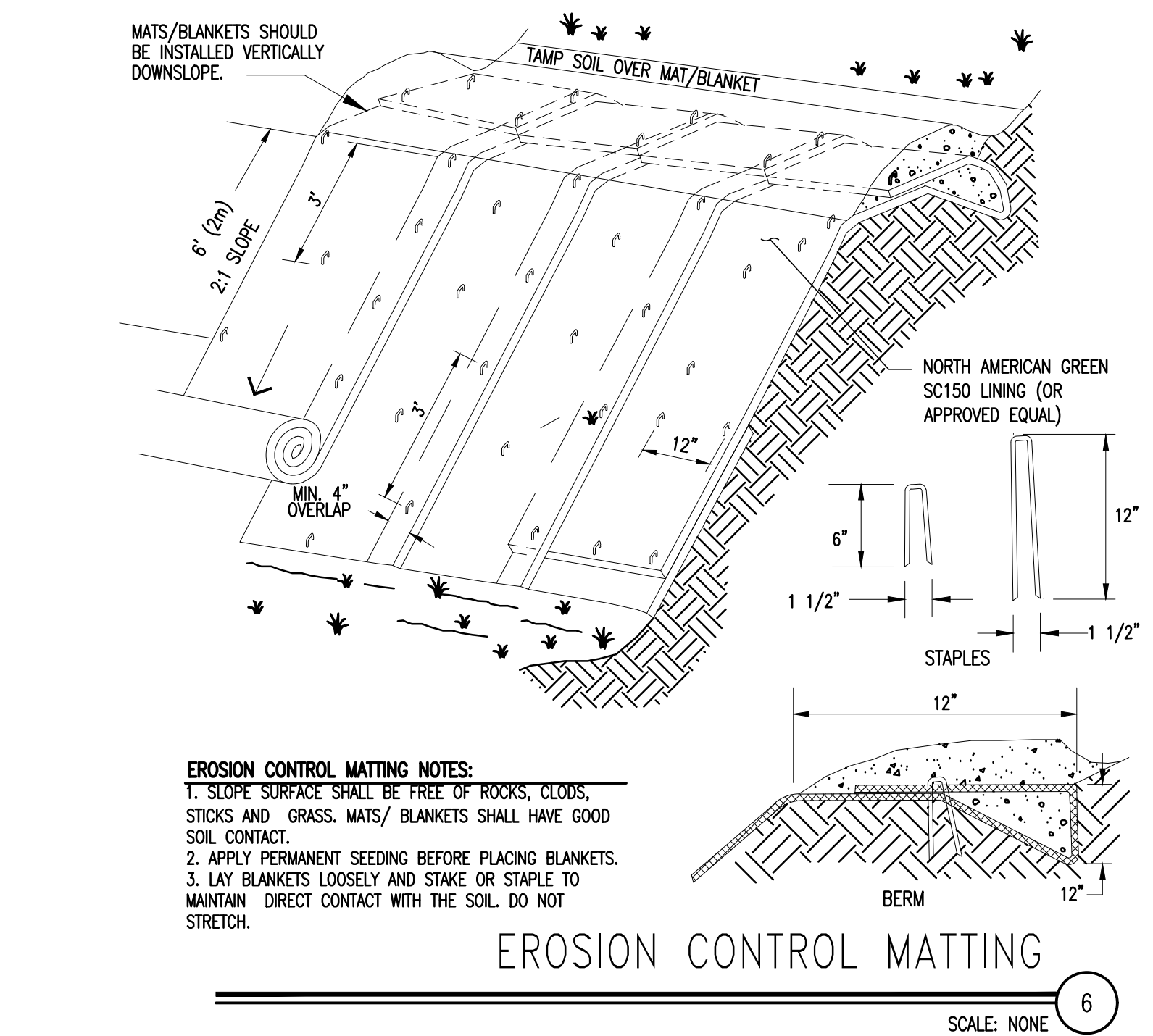
- STABILIZED CONSTRUCTION ENTRANCE NOTES:**
- STONE SIZE: USE 1-1/2" CRUSHED STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED ACROSS THE ENTRANCE.
  - MAINTENANCE - THE CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
  - WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.



## CONSTRUCTION SEQUENCING

**\*THIS SEQUENCE SHOWN IS FOR PERMITTING PURPOSES ONLY AND SHALL ONLY BE USED AS A GENERAL GUIDELINE FOR CONSTRUCTION ACTIVITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A DETAILED CONSTRUCTION SEQUENCE DETAILING THE WORK THAT WILL BE PERFORMED.**

- CONTRACTOR TO ENSURE THAT NO MORE THAN 5 ACRES IS DISTURBED AT ANY ONE TIME WITHOUT AREAS BEING FULLY STABILIZED.**
- OBTAIN ALL NECESSARY APPROVALS AND PERMITS FROM THE APPROPRIATE AGENCIES INCLUDING THE NYSDEC AND THE CITY OF ALBANY.
  - HOLD PRE-CONSTRUCTION MEETING WITH ALL NECESSARY PARTICIPANTS AT LEAST ONE WEEK PRIOR TO STARTING CONSTRUCTION.
  - INSTALL STABILIZED CONSTRUCTION ACCESS. MARK LIMITS OF DISTURBANCE WITH FLAGGING/TAPING OR APPROPRIATE MEASURES. INSTALL SILT FENCING DOWNSLOPE OF WORK AREAS AS SHOWN ON THE PLAN. INSTALL ORANGE CONSTRUCTION FENCING/TREE PROTECTION FENCING IN THE AREAS SHOWN.
  - CLEAR AND GRUBB EXISTING TREES TO LIMITS SHOWN ON THE PLAN. REMOVE EXISTING STRUCTURES AND PAVE AS SHOWN ON THE PLAN. STRIP TOPSOIL IN AREAS SHOWN TO BE DISTURBED AND PLACE IN STOCKPILE AREA.
  - ROUGH GRADE AREAS AS NECESSARY.
  - CONSTRUCT ALL WATER AND SEWER SERVICES.
  - INSTALL ALL STORM SEWER UTILITIES. SEDIMENT SHALL BE PREVENTED FROM ENTERING PROPOSED STORMWATER TANK. PROVIDE INLET PROTECTION ON ALL PROPOSED CATCH BASINS.
  - INSTALL REMAINING UNDERGROUND UTILITIES.
  - BEGIN CONSTRUCTION OF BUILDING AND CONTINUE UNTIL COMPLETION.
  - FINAL GRADE OTHER LAWN/PAVEMENT AREAS. INSTALL PAVEMENT BASE AND SUBBASE COURSES.
  - INSTALL SIDEWALK AND LANDSCAPING IN FRONT OF BUILDING.
  - ONCE ALL DISTURBED AREAS HAVE ACHIEVED FINAL STABILIZATION, THE REMAINING EROSION CONTROL FEATURES SHALL BE REMOVED. STABILIZE ANY AREAS DISTURBED DURING THE REMOVAL OF TEMPORARY EAS MEASURES. INSTALL PERMANENT SEED AND MULCH ON ANY AREAS NOT ALREADY STABILIZED.



## NOTES FOR SEEDED AND MULCHED AREAS

- MULCH: HAY OR STRAW MAY BE UTILIZED AND SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.
- SEED: SHALL BE OF THE FOLLOWING MIXTURE:  
KENTUCKY BLUE GRASS -----20 POUNDS / ACRE  
CREeping RED FESCUE -----20 POUNDS / ACRE  
RYE GRASS -----5 POUNDS / ACRE
- COVER SEED WITH 1/4 INCH SOIL UNLESS A HYDROSEEDER IS USED.
- MULCH ANCHORING: SHALL BE ACCOMPLISHED BY DEGRADABLE MULCH NETTING. USE WHEN SLOPES ARE GREATER THAN 10%.
- TOPSOIL AND MULCHING NOT TO BE APPLIED IN AREAS OF TRAVEL WAYS.
- SEEDING AND MULCHING OF DISTURBED AREAS SHALL TAKE PLACE WITHIN 48 HOURS OF FINAL GRADING.



## EROSION CONTROL NOTES

- GENERAL NOTES**
- THE "ON-SITE EROSION CONTROL PLAN COORDINATOR" SHALL BE PRESENT ON-SITE FROM DAY-TO-DAY, AND SHALL BE RESPONSIBLE FOR ENSURING THAT THE EROSION CONTROL MEASURES REQUIRED BY THE EROSION CONTROL PLAN, DETAILS AND NOTES, ARE PROPERLY INSTALLED AND MAINTAINED. THE ON-SITE EROSION CONTROL PLAN COORDINATOR SHALL KEEP A WRITTEN RECORD OF INSPECTIONS AND MAINTENANCE OF EROSION CONTROL FEATURES. A COPY OF THESE PLANS AND INSPECTION/MAINTENANCE RECORDS SHALL BE KEPT ON-SITE AT ALL TIMES.
  - EROSION CONTROL MEASURES SHALL BE CONDUCTED IN ACCORDANCE WITH THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS", DATED NOVEMBER 2016.
  - DISTURBANCE LIMITS ARE TO BE MARKED, AND THE FOLLOWING MANAGEMENT PRACTICES INSTALLED. PRIOR TO BEGINNING EARTH WORK IN ANY GIVEN AREA: SILT FENCE, CONSTRUCTION ENTRANCE AND TREE PROTECTION FENCING.
  - THE PERIOD BETWEEN OCTOBER 15TH AND APRIL 15TH IS CONSIDERED THE "WINTER CONSTRUCTION PERIOD". A PLAN FOR WINTER CONSTRUCTION MUST BE DEVELOPED BY THE CONTRACTOR, AND SUBMITTED TO THE ENGINEER AT LEAST 30 DAYS IN ADVANCE OF PROPOSED EARTH DISTURBANCE DURING THIS PERIOD.
  - ALL DISTURBED AREAS ARE TO BE STABILIZED (TEMPORARY OR FINAL) WITHIN 7 DAYS OF INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE WITHIN THIS WORK AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
    - STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN 24 HOURS AND NO PRECIPITATION IS FORECAST DURING THAT PERIOD.
    - WORK IS OCCURRING WITHIN A SELF-CONTAINED EXCAVATION, 2 FEET OR MORE IN DEPTH. IN NO CASE SHALL SOIL BE EXPOSED FOR MORE THAN 14 DAYS WITHOUT BEING STABILIZED.
  - THE CONTRACTOR IS RESPONSIBLE FOR DAILY INSPECTION OF THE ADJACENT ROADWAYS FOR OFF-SITE TRACKING OF SOIL MATERIALS. SOIL, STONE, AND DEBRIS FOUND LEAVING THE SITE ARE TO BE REMOVED (WHEN FOUND) BY SWEEPING AT THE END OF EACH CONSTRUCTION DAY, OR MORE FREQUENTLY WHEN NEEDED TO PREVENT IMPACTS TO ADJACENT ROADS AND SIDEWALKS.
  - IF DEWATERING IS REQUIRED FOR CONSTRUCTION, THE CONTRACTOR MUST UTILIZE SEDIMENT FILTER BAGS (OR ALTERNATE APPROVED BY THE ENGINEER) TO PREVENT DISCHARGE OF SEDIMENT-LADEN WATER OFF SITE.
- TEMPORARY/CONSTRUCTION EROSION CONTROL MEASURES**
- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE DISTURBED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS DISTURBED, THE DISTURBANCE SHALL BE KEPT TO THE SHORTEST PRACTICAL DURATION AS CALCUATED BY THE ENGINEER.
  - DUST SHALL BE CONTROLLED WITH WATER DISTRIBUTED BY A TRUCK-MOUNTED SPRAY BAR. PROCEUM CHLORIDE (ASHTO M 144) OR SODIUM CHLORIDE (ASHTO M 143) SHALL BE USED AS DIRECTED BY THE ENGINEER.
  - SILT FENCES SHALL BE INSTALLED GENERALLY 10 FEET FROM THE BASE OF THE FILL SLOPES, OR AS SHOWN ON THE PLANS. THESE SHALL REMAIN IN PLACE UNTIL THE PROJECT SITE HAS BEEN STABILIZED. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES 6 INCHES DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A PROPER SEDIMENT BARRIER.
  - EXCAVATED MATERIAL FROM EARTH EXCAVATION AND DITCH DIGGING SHALL BE PLACED ON-SITE IN A LOCATION TO BE APPROVED OF BY THE OWNER AND/OR THE ENGINEER OR USED FOR PROJECT FILL MATERIAL IF DETERMINED SUITABLE BY THE OWNER'S REPRESENTATIVE.
  - STOCKPILED MATERIAL (TOPSOIL, BORROW, ETC) SHALL HAVE SILT FENCE CONSTRUCTED AROUND THE PERIMETER. THE STOCKPILED MATERIAL SHALL BE SEEDED AND MULCHED AS SOON AS POSSIBLE TO PREVENT SOIL EROSION AND SEDIMENTATION OFF SITE. LOCATE STOCKPILES ON THE UPHILL SIDE OF DISTURBED AREAS, IF POSSIBLE. DURING WINDY CONDITIONS, STOCKPILED MATERIAL SHALL BE COVERED OR WATERED APPROPRIATELY TO PREVENT WIND EROSION.
  - SLOPES GREATER THAN 3:1 SHALL HAVE EROSION CONTROL NETTING INSTALLED TO STABILIZE THE SLOPE AND REDUCE THE EROSION POTENTIAL. NETTING SHALL BE BIODEGRADABLE WITH A 12 MONTH LONGEVITY, S150BN AS MANUFACTURED OR APPROVED EQUIVALENT. INSTALL NETTING OVER MULCHED SLOPES SO THAT ALL PARTS ARE IN CONTACT WITH THE SOIL AND MULCH. PIN NETTING WITH WIRE STAPLES 3 FEET O.C. TO ENSURE FULL BONDING WITH SOIL SURFACE. THE SLOPE SURFACES SHOULD BE LEFT SLIGHTLY ROUGHENED AND NOT SMOOTH. IF LARGE AMOUNTS OF OFFSITE WATER WILL DRAIN OVER THESE SLOPES, TEMPORARY DIVERSION SWALES SHALL BE INSTALLED UP SLOPE UNTIL THE SLOPE VEGETATION STABILIZES.
- PERMANENT EROSION CONTROL MEASURES**
- WHEN FINAL GRADES ARE REACHED IN AN AREA, IT SHALL BE SEEDED AND MULCHED WITHIN 48 HOURS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE OF ALL DISTURBED AREAS, INCLUDING WATERING UNTIL THE AREA IS INSPECTED AND ACCEPTED BY THE OWNER OR ENGINEER.
  - AFTER THE SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND INSTALL PERMANENT VEGETATION ON THE DISTURBED AREAS.
  - RE-SEEDING SHALL BE DONE UNTIL ALL AREAS ARE COMPLETELY COVERED WITH A MATURE STRAND OF GRASS. AN AREA SHALL BE CONSIDERED COVERED WHEN THE ENTIRE SURFACE CONTAINS A VERDUROUS STAND OF GRASS. AREAS THAT, IN THE OPINION OF THE ENGINEER, ARE PREDOMINATELY WEEDS SHALL BE PLOWED UP, FINE GRADED, FERTILIZED AND RE-SEEDING IN THE MANNER SPECIFIED. PREVIOUSLY, EXERCISING CAUTION NOT TO CAUSE DAMAGE TO NEW OR EXISTING PLANT MATERIAL.
  - ALL STABILIZATION INVOLVING SEEDING IS TO BE COMPLETED BY SEPTEMBER 15TH.
- WINTER CONSTRUCTION PROCEDURES**
- DURING WINTER CONSTRUCTION, INSPECTIONS BY THE ON-SITE PLAN COORDINATOR SHALL OCCUR DAILY WHEN AREAS ARE UN-STABLE, AND WEEKLY PRIOR TO ANY FORECASTED RAIN, THAW OR SPRING MELT WHEN TEMPORARY STABILIZATION IS IN PLACE.
  - IN AREAS TO BE STABILIZED BY VEGETATION, ALL SEEDING MUST BE COMPLETED BY SEPTEMBER 15 TO ALLOW GROWTH TO OCCUR PRIOR TO THE GROUND FREEZING. STABILIZATION OF ALL OTHER DISTURBED AREAS SHALL BE COMPLETED BY OCTOBER 15.
  - ENLARGED ACCESS POINTS, STABILIZED TO PROVIDE FOR SNOW STOCKPILING SHALL BE INSTALLED.
  - LIMITS OF DISTURBANCE SHALL BE MOVED OR REPLACED TO REFLECT BOUNDARY OF WINTER WORK.
  - SNOW WILL NOT BE PILED WITHIN 25 FEET OF PERIMETER CONTROLS (SUCH AS SILT FENCE) TO ALLOW FOR CLEARING AND MAINTENANCE. SNOW IS TO BE REMOVED FROM ALL STRUCTURAL EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES FOLLOWING EACH SIGNIFICANT SNOWFALL. NO SNOW STORAGE UP-GRADE OF DISTURBANCE. NO SNOW DISPOSAL IN SEDIMENT POND/BASINS. IF NECESSARY, SNOW/ICE MUST BE REMOVED PRIOR TO STABILIZATION OF DISTURBED AREAS. ACCESS POINTS SHALL BE ENLARGED AND STABILIZED TO ALLOW FOR SNOW STOCKPILING.
  - IN AREAS OF DISTURBANCE WITHIN 100 FT OF A RECEIVING WATER, SILT FENCE SHALL BE REINFORCED OR ELSE REPLACED WITH PERIMETER DIKES, SWALES OR OTHER PRACTICES RESISTANT TO THE FORCES OF SNOW LOADS.
  - DRAINAGE STRUCTURES SHALL BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS.
  - ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE BY OCTOBER 15, OR IF NOT POSSIBLE, THEN PRIOR TO GROUND FREEZE.
  - MULCH IS TO BE APPLIED AT THE END OF EACH WORKDAY TO ALL EXPOSED AREAS THAT HAVE NOT YET REACHED FINAL GRADE AT TWICE THE RATE INDICATED IN THE SEEDING AND MULCHING DETAIL FOR THE REGULAR CONSTRUCTION SEASON. MULCH SHALL BE TRACKED IN OR STABILIZED WITH NETTING.
  - TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
    - IF NO PRECIPITATION WITHIN 24 HOURS IS FORECAST AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
    - DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN UTILITY TRENCHES.
  - SNOW AND ICE SHALL BE REMOVED TO LESS THAN 1" THICKNESS PRIOR TO STABILIZATION.
  - STONE STABILIZATION, 10 TO 20 FT WIDE IN AREAS SUCH AS THE PERIMETER OF BUILDINGS UNDER CONSTRUCTION WHERE CONSTRUCTION VEHICLE TRAFFIC IS ANTICIPATED SHALL BE INSTALLED.
  - SOIL STOCKPILES MUST BE PROTECTED BY THE USE OF ESTABLISHED VEGETATION, ANCHORED STRAW MULCH, ROLLED STABILIZATION MATTING, OR OTHER DURABLE COVERING. A BARRIER MUST BE INSTALLED AT LEAST 15 FEET FROM THE TOE OF THE STOCKPILE TO PREVENT SOIL MIGRATION AND TO CAPTURE LOOSE SOIL.

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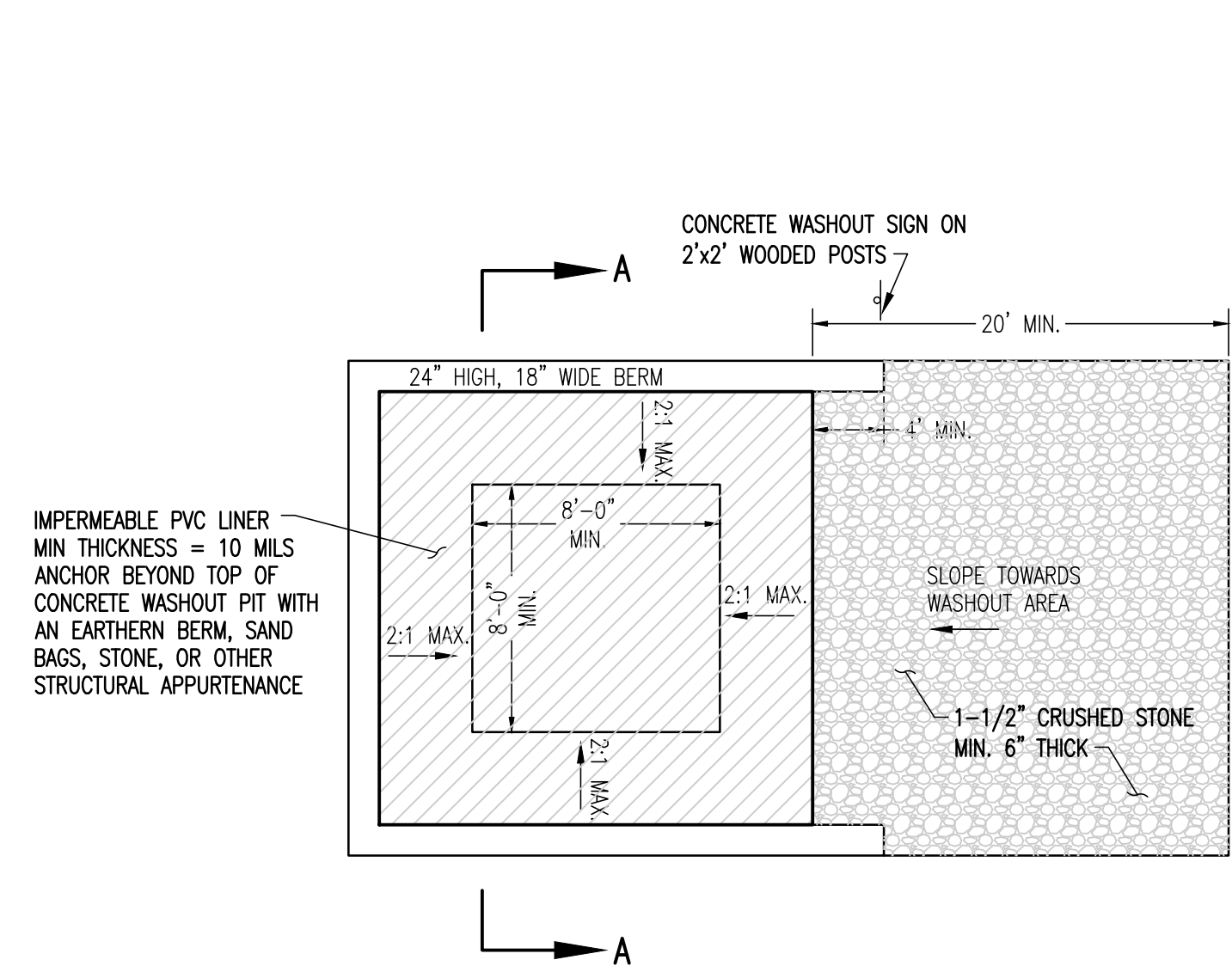
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Schematic Design  
CONSULTANT  
DATE: \_\_\_\_\_  
REVISION DESCRIPTION  
NO. \_\_\_\_\_

Erosion & Sediment Control Details (1 of 2)  
New Construction For:  
**Morris Street Apartments**  
Albany, NY 12208  
16, 18, 20 Morris Street

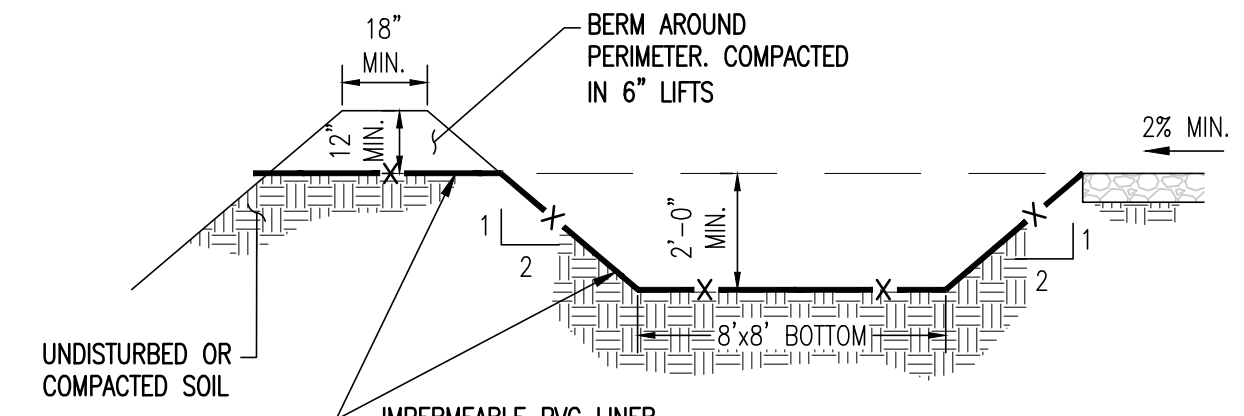
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SCALE: AS NOTED  
JOB No.: EV# 21324  
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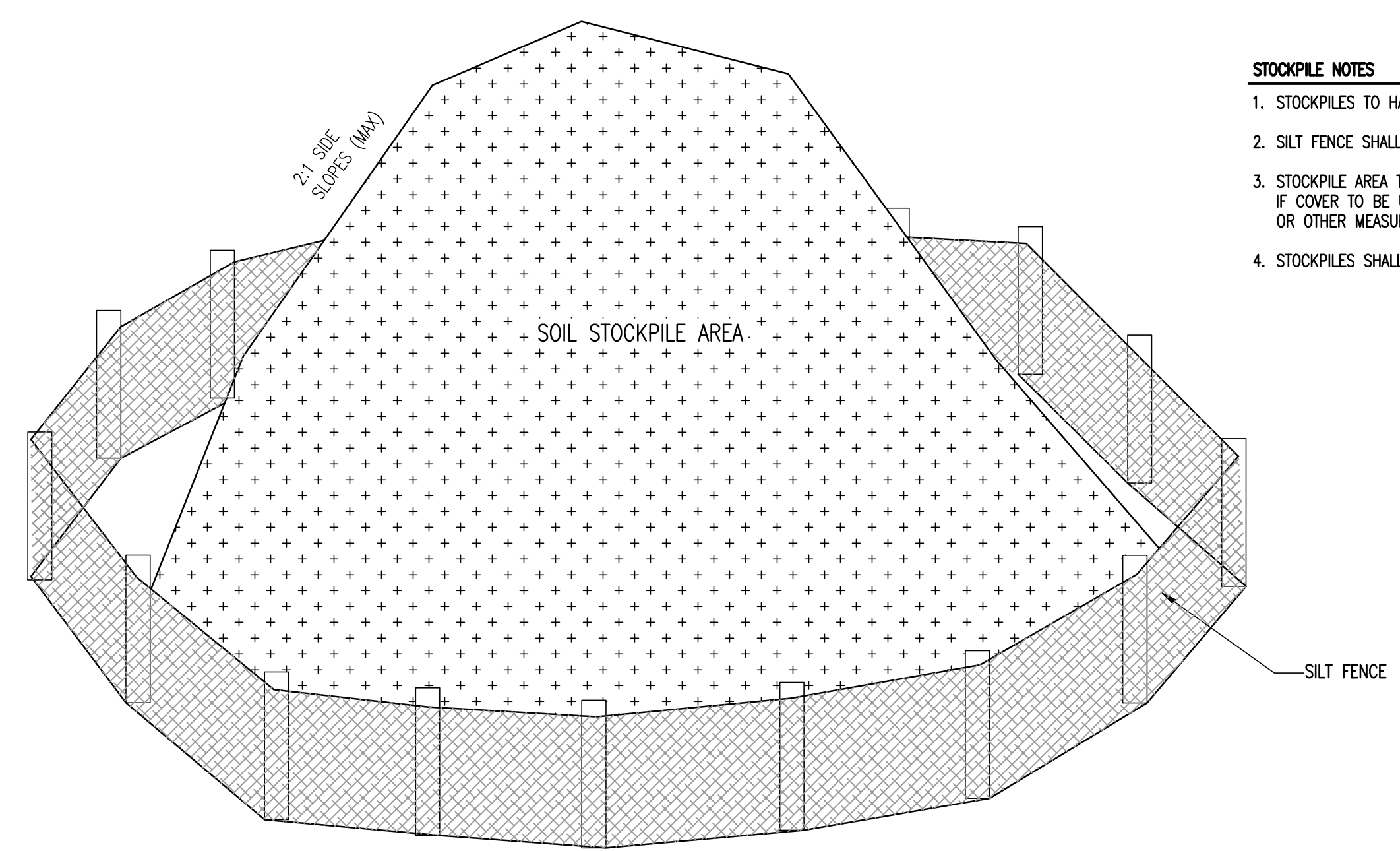


CONCRETE TRUCK WASHOUT AREA

SCALE: NONE 1



- CONCRETE WASHOUT AREA NOTES**
1. ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED/REPLACED IMMEDIATELY. EXCESS RAINWATER THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHOULD BE PUMPED TO A STABILIZED AREA, SUCH AS A GRASS FILTER STRIP.
  2. ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF-SITE.
  3. DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN AN APPROPRIATE FACILITY. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECTS SWPPP. IN THAT CASE, THE MATERIAL SHALL BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTHILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
  4. THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
  5. INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.
  6. IN LIEU OF CONCRETE WASHOUT AREA, A PRE-FABRICATED WASHOUT MAY BE USED. CONTRACTOR SHALL SUBMIT SHOP DRAWING OF SUCH PRE-FABRICATED WASHOUT AREA TO DESIGN ENGINEER FOR REVIEW AND APPROVAL.



TEMPORARY SOIL STOCKPILE AREA DETAIL

SCALE: NONE 2

- STOCKPILE NOTES**
1. STOCKPILES TO HAVE MAXIMUM 2:1 SIDE SLOPES.
  2. SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF STOCKPILE AREA.
  3. STOCKPILE AREA TO BE STABILIZED WITH VEGETATION, GEOTEXTILE, OR COVER. IF COVER TO BE USED, COVER SHALL BE SECURED WITH USE OF SAND BAGS OR OTHER MEASURES TO PREVENT COVER FROM BLOWING OFF STOCKPILE.
  4. STOCKPILES SHALL BE PLACED ON DRY AND STABLE AREAS.

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**Schematic Design**

REVISION DESCRIPTION	DATE	CONSULTANT

**EROSION & SEDIMENT CONTROL DETAILS (2 OF 2)**

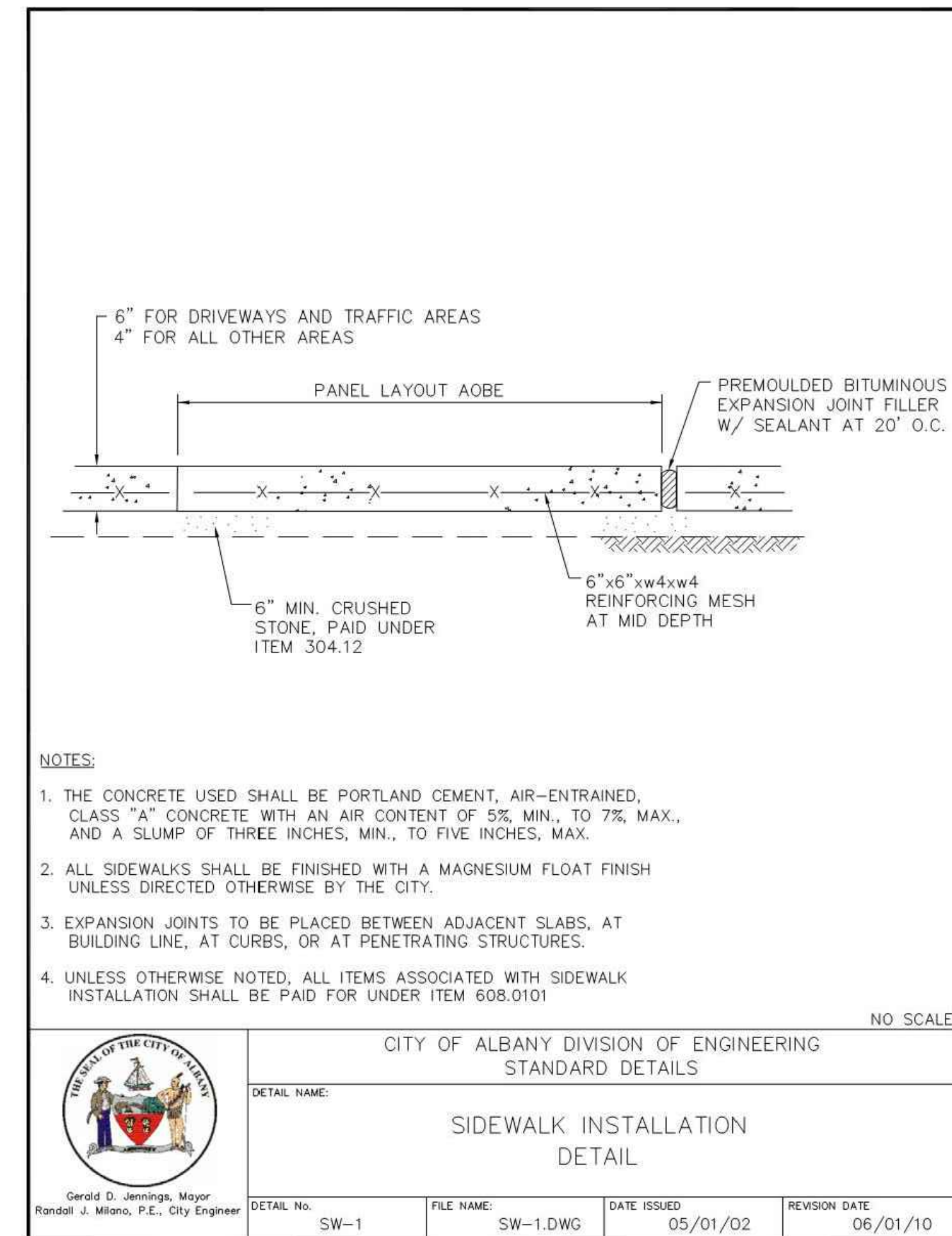
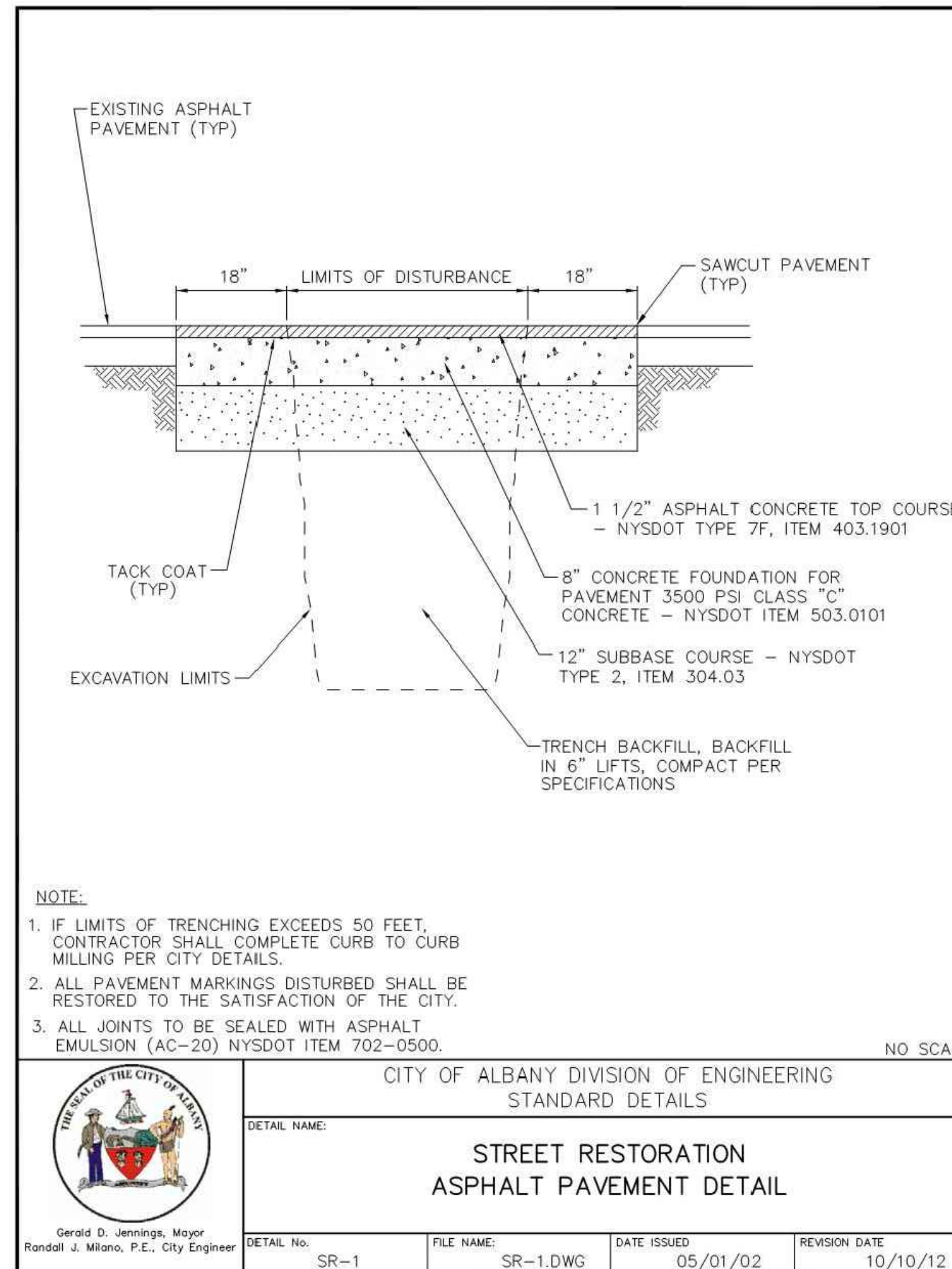
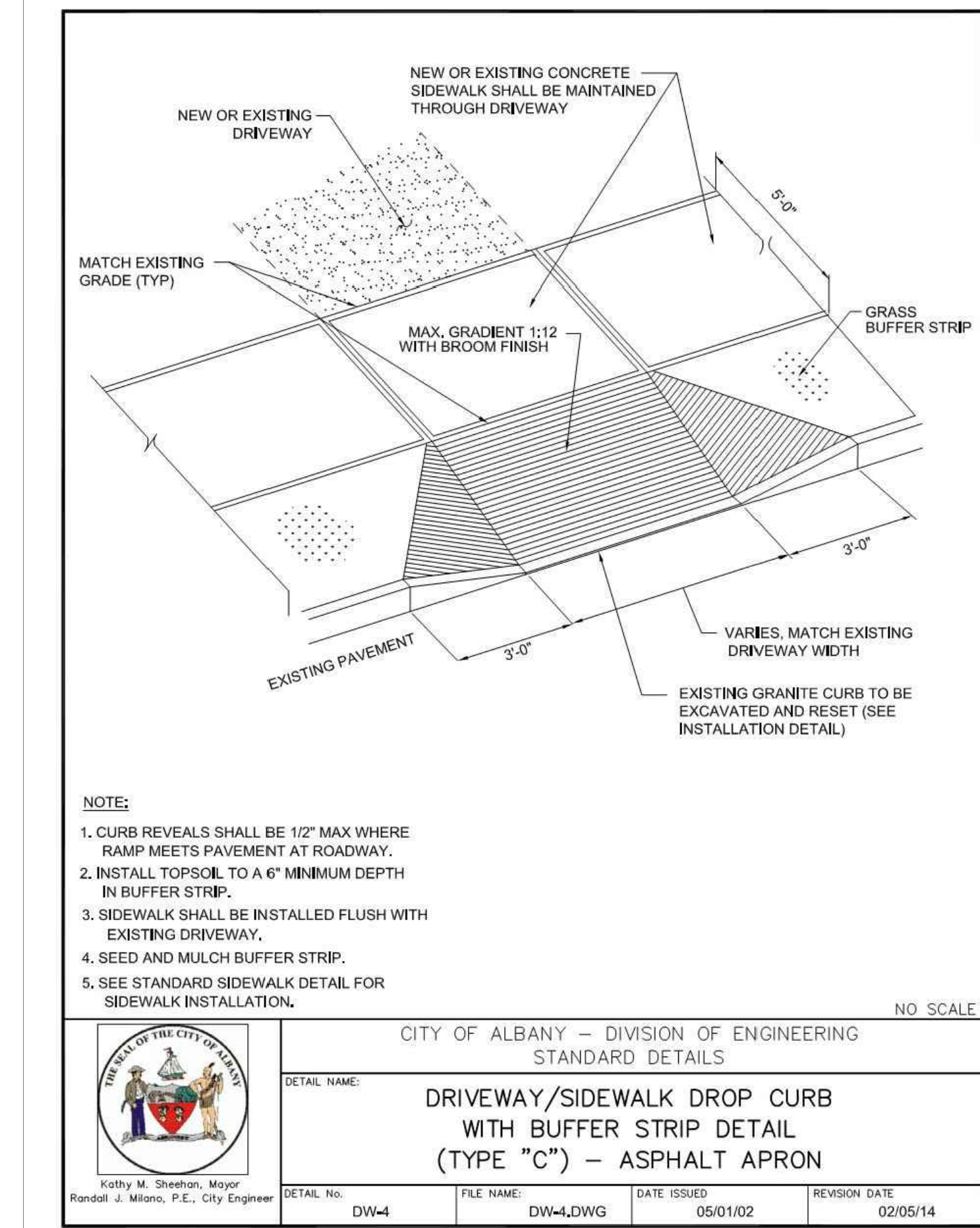
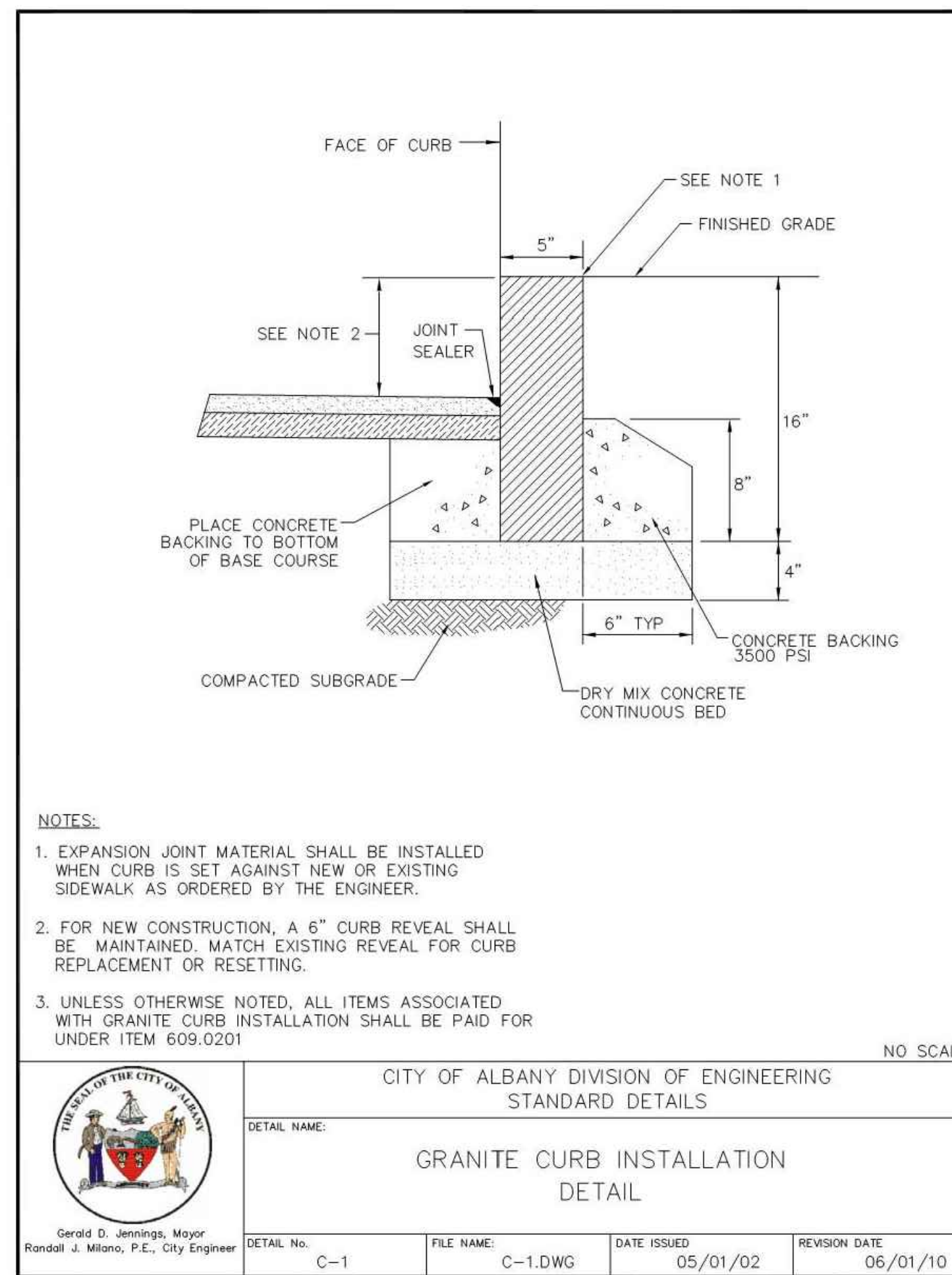
New Construction For:  
**Morris Street Apartments**  
Albany, NY 12208  
16, 18, 20 Morris Street

DRAWN BY: Engineering Ventures  
DATE: 9/10/2021  
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**SHEETS**

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SHEET TITLE: CITY OF ALBANY STANDARD SITE DETAILS  
 PROJECT: New Construction For: Morris Street Apartments  
 Albany, NY 12208  
 16, 18, 20 Morris Street

DRAWN BY: Engineering Ventures  
 DATE: 9/10/2021  
 SCALE: AS NOTED  
 JOB No.: EV# 21324  
 SHEET: C3.5

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