

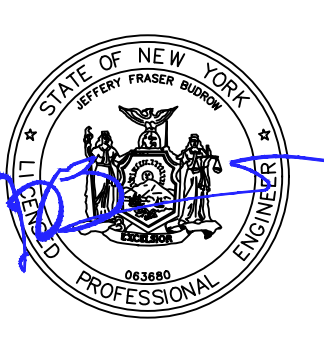
1 PROPOSED SITE PLAN
SCALE: BAR SCALE

SITE NOTES

- COORDINATE CONCRETE EXPANSION JOINTS AND DOWELING INTO ADJACENT CONCRETE SLABS WITH CITY APPROVAL.
- ALL SITE IMPROVEMENTS SHALL PROCEED WITH MINIMAL INTERRUPTED SERVICE TO ROADWAYS AND ADJACENT BUILDINGS/BUSINESSES. IF INTERRUPTION OF ANY SERVICE (ACCESS, UTILITY, ETC...) IS REQUIRED, NOTIFICATION OF THE OWNER AND ARCHITECT SHALL BE REQUIRED IN ADVANCE.
- CONTRACTOR IS STRICTLY PROHIBITED FROM DISTURBING EXISTING GRADES, OPERATING HEAVY MACHINERY, OR STORING MATERIALS WITHIN THE DRIPLINE (CRITICAL ROOT ZONE) OF EXISTING TREES TO REMAIN.
- CONTRACTOR SHALL ENSURE THAT ALL NEW PAVEMENTS MEET EXISTING PAVEMENTS FLUSH TO AVOID TRIP HAZARD AND ALLOW HANDICAP ACCESS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AS DIRECTED OR IMPLIED TO COLLECTION POINTS OR OUTLETS.
- OBTAINING ALL PERMITS REQUIRED FOR WORK OUTLINED IN THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTACT THE U.F.P.O. A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION (1-800-962-7962 OR 811).
- COORDINATE ALL SITE WORK WITH THE CITY OF ALBANY.

ORDINANCE COMPLIANCE CHART				
MU-CU (MIXED-USE COMMUNITY URBAN) ZONING DISTRICT				
	REQUIRED	EXISTING	PROPOSED	COMPLIES
Lot Standards				
Min. lot width	20 ft.	68.5 ft.	68.5 ft.	Yes
Max. impervious lot coverage	90%	0%	18.4%	Yes
Setbacks				
Max. front	10 ft.	N/A	5 ft.	Yes
Min. side	0 ft.	N/A	0 ft.	Yes
Min. rear	0 ft.	N/A	0 ft.	Yes
Parking Lot				
Off-street parking	N/A	N/A	44 parking spaces proposed	N/A
Bike parking	10% of required parking spaces; 44 parking spaces * 10% requires 5 bike parking spaces	N/A	N/A	N/A
Street Trees				
	1 shade tree per 35 lf or 1 ornamental tree per 20 lf; North Pearl St = 460 lf/20 requires 23 ornamental street trees	N/A	23 ornamental street trees along North Pearl St proposed	Yes
Parking Lot Landscape				
Landscape area	Min. 7% landscape area of total parking lot area; 14,626 sf parking lot area requires 1,024 sf landscape area	N/A	1,033 sf landscape area proposed	Yes
Tree island	Min. 1 tree island for every 20 spaces; 44 parking spaces/20 requires 2 tree islands	N/A	2 tree islands proposed	Yes

PLANTING SCHEDULE					
KEY	BOTANIC NAME	COMMON NAME	QUANTITY	SIZE	REMARKS
TREES					
AG	AMELANCHIER x GRANDIFLORA 'ROBIN HILL'	APPLE SERVICEBERRY	23	2" - 2.5"	B&B, SINGLE STEM
UF	LULIUS FRONTIER	FRONTIER ELM	2	2" - 2.5"	B&B
SHRUBS					
IV	ITEA VIRGINICA 'MERLOT'	VIRGINIA SWEETSPICE	17	5 GAL.	CONTAINER
PM	PINUS MUGO PUMILO	MUGO PINE	42	5 GAL.	CONTAINER
ST	SPIRAEA TOMENTOSA	STEEPLEBUSH	12	5 GAL.	CONTAINER
PERENNIALS/ORNAMENTAL GRASS					
HE	HEMEROCALLIS 'HAPPY RETURNS'	DAYLILY	174	1 GAL.	CONTAINER, SPACED 18" O.C.
HE	MUHLENBERGIA CAPILLARIS	PINK MUHLYGRASS	25	2 GAL.	CONTAINER



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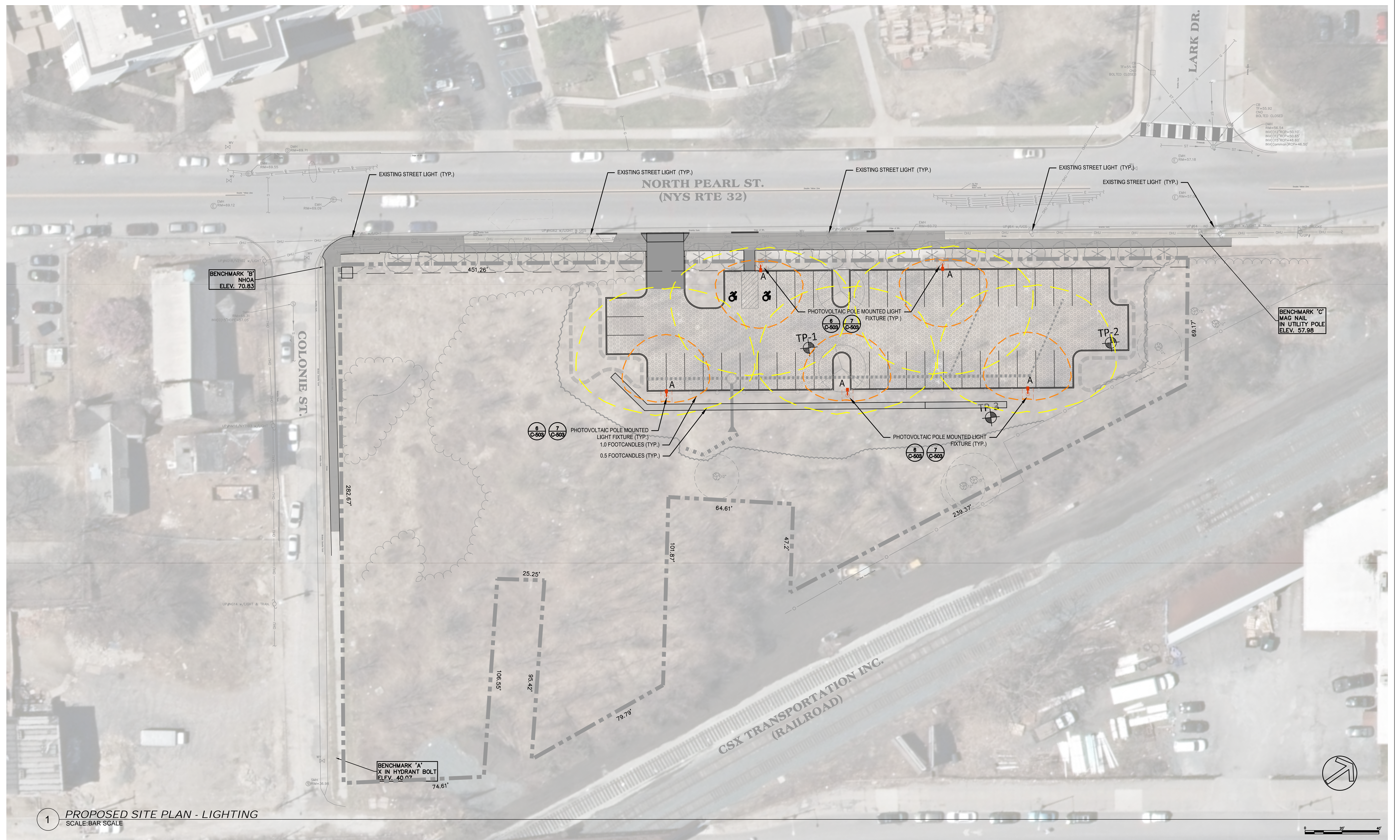
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SITE LAYOUT AND LANDSCAPE PLAN

Sheet No.

C-101

CONCEPT DEVELOPMENT



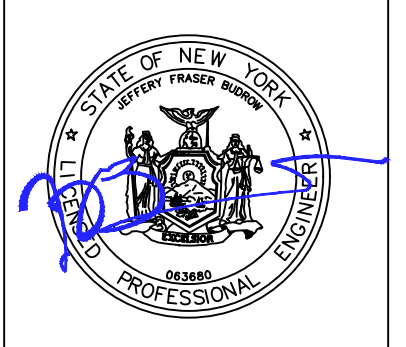
1 PROPOSED SITE PLAN - LIGHTING
SCALE: BAR SCALE

LIGHTING STATISTICS					
DESCRIPTION	AVG.	MAX	MIN.	AVG./MIN.	MAX./MIN.
PARKING LOT	0.74 FC	1.21 FC	0.22 FC	3.36	5.50

LIGHTING NOTE(S)

1. PHOTOMETRIC PLAN PROVIDED BY FONROCHE LIGHTING.
2. SEE DETAILS / MORE INFORMATION ON SHEET C-503.

LIGHTING SCHEDULE											
SYMBOL	KEY	MANUFACTURER	DESCRIPTION	MODEL NO.	DISTRIBUTION	LFF	LUMENS	MOUNTING HEIGHT	POLE MANUFACTURER	POLE DESCRIPTION	POLE MODEL NO.
⚡	A	LUMEC/ FONROCHE LIGHTING	ROADFOCUS LED LOW-PROFILE LUMINAIRE WITH SOLAR PANEL ATTACHMENT COLOR: BLACK COLOR TEMP: 4K	RFS-35W16LE D-4K-T4 / P260F-3P-HW- MC	TYPE 4	0.90	---	25'-9"	FONROCHE LIGHTING	ROUND TAPERED ALUMINUM POLE WITH TENON TOP COLOR: BLACK	RTA-25F-9B4-1S2C-BK

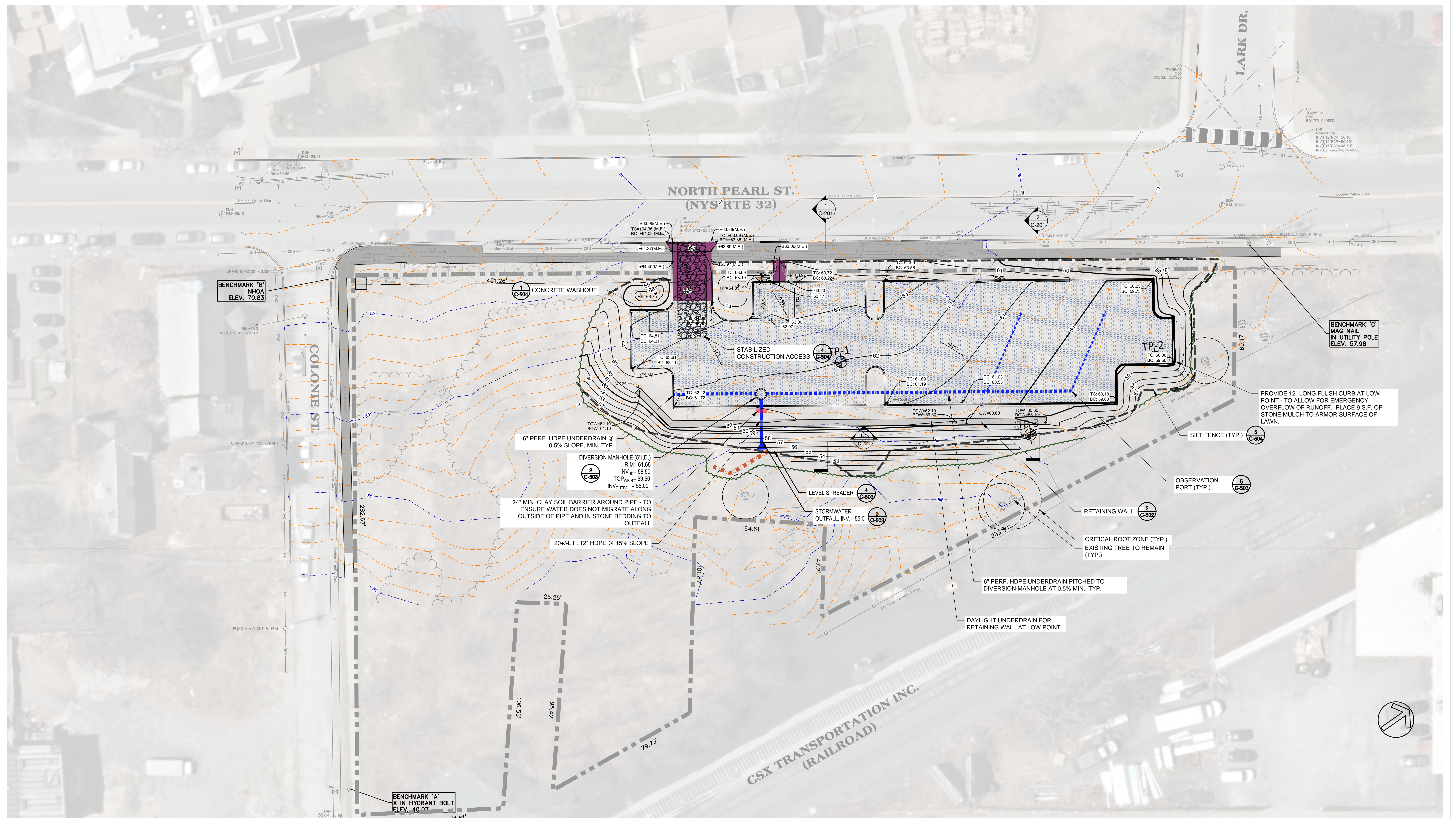


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Sheet Title
**SITE LIGHTING
PLAN**

Sheet No.
C-103
CONCEPT DEVELOPMENT



1 PROPOSED SITE PLAN - GRADING & UTILITIES
SCALE: BAR SCALE

CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION AND COORDINATE WITH OTHERS AS REQUIRED.
2. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE FOR INFORMATION ONLY, AND ALL UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL CONTACT U.F.P.O. (1-800-962-7962) AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANY HAVING JURISDICTION TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CARE SHOULD BE TAKEN IN ALL SOIL DISTURBANCE DUE TO THE POSSIBLE EXISTENCE OF UNRECORDED UTILITIES. ANY COSTS INCURRED BY THE CONTRACTOR DUE TO FAILURE TO CONTACT THE PROPER AUTHORITIES SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING INFORMATION ON SITE. ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS SHALL BE IMMEDIATELY COMMUNICATED TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING GRADES IN THE FIELD PRIOR TO THE COMMENCEMENT OF ANY WORK. FIELD VERIFICATIONS SHALL BE PERFORMED THROUGHOUT ALL AREAS OF NEW CONSTRUCTION. THIS FIELD VERIFICATION IS IMPERATIVE TO ENSURE THAT THERE ARE NO DISCREPANCIES BETWEEN THE SITE SURVEY AND WHAT HAS BEEN VERIFIED. IF DISCREPANCIES DO EXIST, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT/OWNER'S REPRESENTATIVE, IMMEDIATELY, AND PRIOR TO ANY CONSTRUCTION, SO NECESSARY ADJUSTMENTS AND/OR MODIFICATIONS CAN BE MADE TO ACCOMMODATE THESE DISCREPANCIES. ANY FAILURE TO VERIFY THE GRADES PRIOR TO CONSTRUCTION SHALL BE AT THE RISK AND COST OF THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROVIDE STAKED LAYOUT OF PROPOSED IMPROVEMENTS FOR THE ARCHITECT/OWNER'S REPRESENTATIVE REVIEW AND APPROVAL BEFORE COMMENCING WITH ANY GROUND DISTURBANCE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS FOR THE WORK FROM ANY UTILITY COMPANIES OR OTHER GOVERNING BODIES HAVING JURISDICTION OVER THE WORK OUTLINED IN THESE DRAWINGS.
6. THE CONTRACTOR SHALL ESTABLISH PERMANENT SECONDARY BENCHMARKS PRIOR TO THE START OF CONSTRUCTION, IF NEEDED, TO ENSURE THAT THEY WILL NOT BE DISTURBED BY CONSTRUCTION.
7. THE CONTRACTOR SHALL MAINTAIN ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT TRACKING OR MOVEMENT OF SEDIMENT OR DEBRIS ONTO PUBLIC ROADS.
8. THE CONTRACTOR SHALL PROVIDE DUST AND EROSION/SEDIMENT CONTROL AS PER SPECIFICATIONS AND/OR AS APPROVED BY THE ARCHITECT/OWNER'S REPRESENTATIVE.
9. THE CONTRACTOR SHALL INSTALL SILT FENCE(S) PRIOR TO ANY SOIL DISTURBANCE. THE CONTRACTOR SHALL INSTALL AND REGULARLY MAINTAIN, AS REQUIRED, ANY AND ALL SILTATION CONTROL MEASURES AND MONITOR THE CONTROL DEVICES AT LEAST ONCE A WEEK TO ENSURE THEIR EFFECTIVENESS.
10. ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED FROM THE EXISTING SOIL SURFACE. DO NOT REMOVE TREE ROOTS OR DISTURB BELOW FINISHED GRADE. ITEMS NOT SPECIFICALLY IDENTIFIED THAT INTERFERE WITH NEW CONSTRUCTION MUST ALSO BE REMOVED. ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
11. CONTRACTOR SHALL CUT AT GROUND SURFACE, ALL VEGETATION TO BE REMOVED FOR PROJECT - WITHIN CLEARING LIMITS. ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED THROUGHOUT THE TIME OF CONSTRUCTION, AS SPECIFIED AND/OR DIRECTED BY THE OWNER'S REPRESENTATIVE. SEE CONSTRUCTION DETAIL SHEETS FOR MORE INFORMATION.
12. ALL FILL SLOPES 3:1 OR GREATER SHALL RECEIVE BIODEGRADABLE FABRIC OR APPROVED EQUIVALENT FOR EROSION CONTROL, UNLESS OTHERWISE SHOWN OR DIRECTED BY THE ARCHITECT/OWNER'S REPRESENTATIVE.
13. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL AREAS DISTURBED AND/OR DAMAGED FROM CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, LAWNS, WALKS, PAVEMENTS, ETC.. IT IS EXPECTED THAT THE CONTRACTOR SHALL MAKE PHOTO LOGS OF ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION FOR HIS/HER RECORDS.
15. CONSTRUCTION AND/OR DISTURBANCE SHALL NOT EXTEND BEYOND OWNER'S PROPERTY WITHOUT WRITTEN PERMISSION/PERMIT(S)/FROM ADJACENT LANDOWNERS.
16. DIGITAL CAD DOCUMENTS ARE AVAILABLE TO THE CONTRACTOR IN DWG FORMAT UPON REQUEST FOR USE IN SITE LAYOUT.



CAPITAL REPERTORY THEATRE OVERFLOW PARKING LOT
- NINE DRAGONS SITE -
329 N. Pearl Street, Albany, NY 12207



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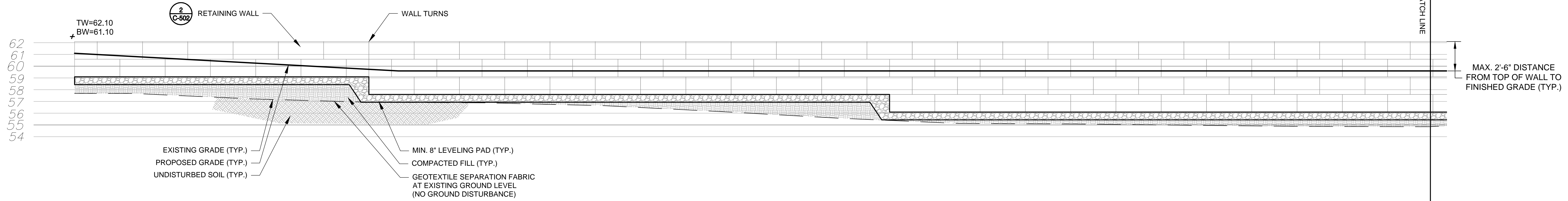
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GRADING,
UTILITIES AND
SOIL EROSION
SEDIMENT
CONTROL
PLAN

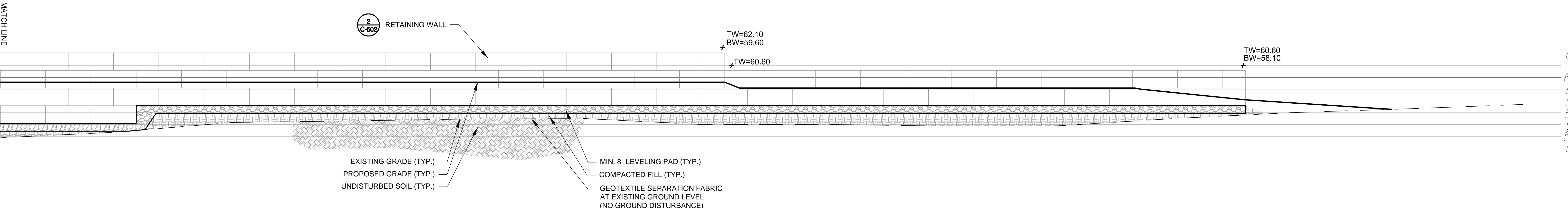
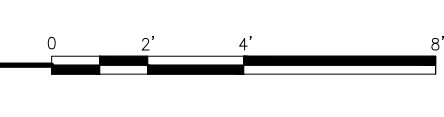
Sheet No.

C-102

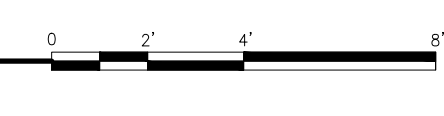
CONCEPT DEVELOPMENT



1 WALL ELEVATION (SOUTH)
SCALE: 1'-0" = 1/4"



2 WALL ELEVATION (NORTH)
SCALE: 1'-0" = 1/4"



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SECTION-
ELEVATIONS

Sheet No.
C-202
CONCEPT DEVELOPMENT