

**CITY OF ALBANY HISTORIC RESOURCES COMMISSION**

**52 N Pearl Street**

**June 20, 2018 Submission**



# CITY OF ALBANY



## NEW YORK

DEPARTMENT OF PLANNING AND DEVELOPMENT

**HISTORIC RESOURCES COMMISSION - CERTIFICATE OF APPROPRIATENESS**

PROPERTY ADDRESS: 52-54 North Pearl Street  
 HISTORIC LISTING: Downtown Albany Historic District  
 COA TYPE: Major Certificate of Appropriateness  
 PROJECT NUMBER: 00190 COA NUMBER: 0218  
 PROJECT PROPOSAL: Replace the existing non-original storefronts and entries with new glass and aluminum storefront systems.

ARCHEOLOGY: Excavation in archeological district? Yes  No   
 If yes, measures taken:

DEMOLITION:  No  Yes  Hardship  Non-contributing  
 Building Commissioner's determination

Date received by HRC staff: 5/22/2018 Initials: ES

Date application determined to be complete: 6/7/2018 Initials: ES

RECEIVED  
 2018 JUL -9 PM 4:43  
 OFFICE OF THE CITY CLERK  
 ALBANY, NY

**CERTIFICATE OF APPROPRIATENESS IS HEREBY:**  Partially Approved

Date Of Decision: 6/20/2018 By:  Staff  HRC Vote: 7-0

Motion: Partial Approval

For: 7	Brandow: Y	Kaplan: Y	Pinckney: Y
Against: 0	Geraghty: NIA	McEneny: Y	Rice: Y
Abstain: 0	Hacker: Y	Myers: Y	NIA: Not In Attendance

**SIGNATURE:**   
 (on behalf of Historic Resources Commission)

**CONDITIONS OF APPROVAL / EXPLANATION OF DECISION:**

- Approval for the proposed storefront design at 54 North Pearl Street with the following conditions-
  - the horizontal members in the proposed door transom line up with the horizontal members of the proposed divided lite overhead door; and
  - The proposed storefront system at 54 North Pearl Street must be set behind the existing original cast iron columns.
- The applicant will return to the Historic Resources Commission with a further developed design for the storefront at 52 North Pearl Street.

Any revision to the approved scope of work must be reviewed by Planning staff and may require a new Certificate of Appropriateness.

Date decision sent to Building Department: \_\_\_\_\_

EXPIRATION DATE OF CERTIFICATE OF APPROPRIATENESS: 6/20/2019

# CITY OF ALBANY



## NEW YORK

DEPARTMENT OF PLANNING AND DEVELOPMENT

**HISTORIC RESOURCES COMMISSION**

MAYOR: KATHY M. SHEEHAN  
DIRECTOR: CHRISTOPHER P. SPENCER

(518) 465-6066  
hrc@albanyny.gov

### Historic Resources Commission Meeting

Date: Wednesday, June 20, 2018  
Location: City Hall, 24 Eagle St | Common Council Chambers, 2nd Floor  
Present Members: Brandow, Hacker, Kaplan, McEneny, Myers, Pinckney, Rice Planning Staff: Glenn

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ALBANY, N.Y.

### DISPOSITION OF CASES

#### PROJECT # 00188

Application(s) **COA # 0219**  
Property Address 46 State Street  
Owner Kostantinos Moutopoulos  
Historic District Downtown Albany

After discussing the request to replace the existing storefront with recessed entries with a flush front storefront and entries, the Commission voted to approve the request with the following conditions-

- The applicant must return to the commission with more information about the condition of the transom once the existing awning is removed;
- Once the awning is removed the design for the proposed transom and storefront must be reviewed, specifically the placement of the vertical and horizontal storefront and transom members; and
- The storefront and transom cannot be ordered until the new information is provided and reviewed by the Historic Resources Commission.

**ACTION:** **Approved with Conditions**  
**Motion to ACTION:** Brandow  
**Second:** Pinckney  
**Vote:** 7-0

#### PROJECT # 00190

Application(s) **COA # 0218**  
Property Address 52-54 North Pearl Street  
Owner CPGM, LLC  
Historic District Downtown Albany

After discussing the request to replace the existing non-original storefront with new storefront systems and a divided lite overhead garage door, Commission made the following action-

- Approval for the proposed storefront design at 54 North Pearl Street with the condition that the horizontal members in the proposed door transom line up with the horizontal members of the proposed divided lite overhead door; and
- The proposed storefront system at 54 North Pearl Street must be set behind the existing original cast iron

columns.

- The applicant will return to the Historic Resources Commission with a further developed design for the storefront at 52 North Pearl Street.

**ACTION:** **Partial Approval**  
**Motion to ACTION:** Brandow  
**Second:** McEneny  
**Vote:** 7-0

**PROJECT # 00179**

**Application(s)** **COA # 0216**  
**Property Address** 203 Lark Street  
**Owner** Lark Center Square, LLC  
**Historic District** Center Square/Hudson Park

After discussing the request to install a canvas covered awning measuring 22'-2" in length, 4'-3" in height and 5' in depth, the Commission voted to approve the request with the proposed awning signage.

**ACTION:** **Approved**  
**Motion to ACTION:** Brandow  
**Second:** Pinckney  
**Vote:** 7-0

**CITY OF ALBANY HISTORIC RESOURCES COMMISSION**

**52 N Pearl Street**

**July 5, 2018 Submission**







# CITY OF ALBANY



NEW YORK

DEPARTMENT OF PLANNING AND DEVELOPMENT

**HISTORIC RESOURCES COMMISSION - CERTIFICATE OF APPROPRIATENESS**

PROJECT NUMBER: 00190 COA NUMBER: 0218  
 PROPERTY ADDRESS: 52-54 North Pearl Street  
 HISTORIC LISTING: Downtown Albany  
 COA TYPE: Major Certificate of Appropriateness  
 PROJECT PROPOSAL: Replace existing storefront

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 ALBANY, N.Y.

ARCHEOLOGY: Excavation in archeological district? Yes  No   
 If yes, measures taken:

DEMOLITION:  No  Yes  Hardship  Non-contributing  
 Building Commissioner's determination

Date received by HRC staff: 5/22/2018 Initials: EJ  
 Date application determined to be complete: 6/23/2018 Initials: EJ

**CERTIFICATE OF APPROPRIATENESS IS HEREBY:**  Approved with Condition  
 Date Of Decision: 7/5/2018 By:  HRC Vote: 5-0  
 Motion: To Approve with Conditions

For: Geraghty: Y McEneny: Y Rice: Y  
 Against: Hacker: NIA Myers: Y  
 Abstain: Kaplan: Y Pinckney: NIA NIA: Not In Attendance

**SIGNATURE:**   
 (on behalf of Historic Resources Commission)

**CONDITIONS OF APPROVAL / EXPLANATION OF DECISION:**  
 Approval to install the following storefront features, entry doors, transom, and metal signboard at 52 North Pearl Street with the condition that the applicant returns to the HRC with a revised design for the material treatment between the approved entry doors.

Any revision to the approved scope of work must be reviewed by Planning staff and may require a new Certificate of Appropriateness.

Date filed with the City Clerk: \_\_\_\_\_  
 EXPIRATION DATE OF CERTIFICATE OF APPROPRIATENESS: 7/5/2019

# CITY OF ALBANY



# NEW YORK

MAYOR: KATHY M. SHEEHAN  
DIRECTOR: CHRISTOPHER P. SPENCER

DEPARTMENT OF PLANNING AND DEVELOPMENT

**HISTORIC RESOURCES COMMISSION**

(518) 465-6066  
hrc@albanyny.gov

## Historic Resources Commission Meeting

Date: Thursday, July 5, 2018

Location: City Hall, 24 Eagle St | Common Council Chambers, 2nd Floor

Present Members: Geraghty, Kaplan, McEneny, Myers, Pinckney, Rice Planning Staff: Glennon, Powell

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## DISPOSITION OF CASES

### PROJECT # 00180

Application(s)	<b>COA # 0202</b>
Property Address	175 Jay Street
Owner	Jay Street Apartments, LLC
Historic District	Center Square/Hudson Park

After discussing the request to replace 157 original wood windows with 1-over-1 aluminum clad sash windows, the Commission voted to defer the application and requested that the applicant conduct a window survey for all the windows documenting the condition to determine if the window can be repaired or must be replaced.

<b>ACTION:</b>	Deferred
<b>Motion:</b>	Kaplan
<b>Second:</b>	Pinckney
<b>Vote:</b>	6-0

### PROJECT # 00197

Application(s)	<b>COA # 0231</b>
Property Address	454 Madison Avenue
Owner	Nay Latt
Historic District	Center Square/Hudson Park

After discussing the request to install a new canvas covered awning and sidewalk partition, the Commission voted to partially approve the application. The awning was approved as designed and the sidewalk partition was deferred to allow the applicant to work with Planning staff and revise the proposal.

<b>ACTION:</b>	Partially Approved
<b>Motion:</b>	Pinckney
<b>Second:</b>	McEneny
<b>Vote:</b>	6-0

**PROJECT # 00190**

Application(s)	<b>COA # 0218</b>
Property Address	52-54 North Pearl Street
Owner	CPGM, LLC
Historic District	Downtown Albany

After discussing the revised storefront design for 52 North Pearl Street, the Commission voted to approve the new storefront with the condition that the applicant returns to the HRC with a revised design for the material treatment between the approved entry doors.

<b>ACTION:</b>	Approved with Conditions
<b>Motion:</b>	Myers
<b>Second:</b>	Kaplan
<b>Vote:</b>	5-0

\* Commissioner Pinckney left before action was taken.

**CITY OF ALBANY HISTORIC RESOURCES COMMISSION**

**52 N Pearl Street**

**August 15, 2018 Submission**



# CITY OF ALBANY



## NEW YORK

DEPARTMENT OF PLANNING AND DEVELOPMENT

**HISTORIC RESOURCES COMMISSION - CERTIFICATE OF APPROPRIATENESS**

PROJECT NUMBER: 00190 COA NUMBER: 0218  
 PROPERTY ADDRESS: 8 North Pearl Street, 52-54<sup>EA</sup>  
 HISTORIC LISTING: Downtown Albany Historic District  
 COA TYPE: Major Certificate of Appropriateness  
 PROJECT PROPOSAL: Replace the existing non-original storefront with a new storefront system.

ARCHEOLOGY: Excavation in archeological district? Yes  No   
 If yes, measures taken:

DEMOLITION:  No  Yes  Hardship  Non-contributing  
 Building Commissioner's determination

Date received by HRC staff: 5/22/2018 Initials: ES

Date application determined to be complete: 7/24/2018 Initials: ES

**CERTIFICATE OF APPROPRIATENESS IS HEREBY:**  Approved

Date Of Decision: 8/15/2018 By:  HRC Vote: 6-0

Motion: McEneny

For: 6	Geraghty: NIA	McEneny: Y	Rice: NIA
Against: 0	Hacker: Y	Myers: Y	Tobin: Y
Abstain: 0	Kaplan: Y	Pinckney: Y	NIA: Not In Attendance

**SIGNATURE:** [Signature]  
 (on behalf of Historic Resources Commission)

**CONDITIONS OF APPROVAL / EXPLANATION OF DECISION:**  
 Approval to replace the existing non-original storefront with a tri-part storefront featuring wood paneled bulkheads and gooseneck lights.

Any revision to the approved scope of work must be reviewed by Planning staff and may require a new Certificate of Appropriateness.

Date filed with the City Clerk: 09/12/2018

EXPIRATION DATE OF CERTIFICATE OF APPROPRIATENESS: 8/15/2019

# CITY OF ALBANY



NEW YORK

DEPARTMENT OF PLANNING AND DEVELOPMENT

HISTORIC RESOURCES COMMISSION

MAYOR: KATHY M. SHEEHAN  
DIRECTOR: CHRISTOPHER P. SPENCER

(518) 465-6066  
hrc@albanyny.gov

## Historic Resources Commission Meeting

**Date:** Wednesday, August 15, 2018

**Location:** City Hall, 24 Eagle St | Common Council Chambers, 2nd Floor

**Present** Members: Hacker, Kaplan, McEneny, Myers, Pinckney, Tobin Planning Staff: Glennon

## DISPOSITION OF CASES

### PROJECT # 00190

Application(s)	<b>COA # 0218</b>
Property Address	52-54 North Pearl Street
Owner	CPGM, LLC
Historic District	Downtown Albany

After discussing the proposal to replace the existing non-original storefront with a new tri-part storefront featuring wood paneled bulk heads, the Commission voted to approve the request.

<b>ACTION:</b>	To Approve
<b>Motion to ACTION:</b>	McEneny
<b>Second:</b>	Kaplan
<b>Vote:</b>	6-0

### PROJECT # 00204

Application(s)	<b>COA # 0249</b>
Property Address	364 Madison Avenue
Owner	364 Madison Partners, LLC
Historic District	Center Square/Hudson Park

After discussing the proposal to construct a new three-story multi-unit residential structure, the Commission voted to defer the application and made the following recommendations-

- Provide a new rendering that includes more of the neighboring Madison Avenue streetscape;
- Provide photos of the North side of Madison Avenue;
- Increase the proportions of the proposed corner boards;
- Increase the height of the proposed foundation and add a water table at the foundation that wraps the west corner;
- Increase the scale of the proposed entry stoop;
- Center the proposed entry door in the vestibule; and
- Revise the size and location of the proposed windows.

<b>ACTION:</b>	To Defer
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**Motion to ACTION:** Pinckney  
**Second:** Tobin  
**Vote:** 6-0

## OTHER BUSINESS

### PROJECT # 00092

**Property Address** 191 North Pearl Street  
**Owner** 191 North Pearl Street, LLC  
**Historic District** Clinton Ave/N Pearl St/ Clinton Sq

After discussing the proposed extension of approval time, the Commission voted to approve the request.

**ACTION:** To Approve  
**Motion to ACTION:** Kaplan  
**Second:** Tobin  
**Vote:** 6-0



**Black Gooseneck Barn Light with 14" Shade**

**Sale Price: \$93.42**

**Regular Price: \$109.90**



**Product Number:** 623721  
**Manufacturer:** Recesso Lighting by Dolan Designs  
**Model Number:** BL-ARMQ-BLK/BL-SH14-BLK  
**Collection:** Barn Light  
**Manufacturer Finish:** Black  
**Manufacturer Shade Color:** Black  
**Shade Shape:** Warehouse  
**Total Wattage:** 200 w.  
**Voltage Type:** Line Voltage  
**Height:** 14.38 in.  
**Width:** 14 in.  
**Depth:** 30 in.  
**Wattage:** 200  
**Bulb Type:** Incandescent  
**Bulb Shape:** A-Type  
**Base Type:** Medium  
**Number Of Bulbs:** 1  
**Bulb Included:** No  
**Bulb Color:** Frosted  
**Dark Sky:** Yes

**EnergyStar Compliant:** No  
**Shade Material:** Metal  
**Material:** Aluminum  
**Shipping:** UPS Regular  
**Certification Agencies:** ETL  
**Backplate Dimension:** 4.62  
**Wet Location:** Yes  
**Damp Location:** Yes  
**Harsh Environ/Coastal:** No  
**Weight:** 2.51 lbs  
**Made In America:** No  
**Dusk To Dawn:** No  
**Motion Sensor:** No  
**Title 24:** No

OOD

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GREAT T

**FIRST TIME CUSTOMERS ONLY**  
**COME PARK WITH US**  
**AT THE VIEW PARKING**  
(To avoid confusion with the name of our other location)

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**Don't Wait... Sign up Today... Spaces are filling up fast! Be the first to find out how to get one year's FREE PARKING.**

518-426-5730





3058 New Williamsburg Drive  
Schenectady NY 12303

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## 52-54 North Pearl Street

CPGM, LLC is under contract to purchase and close on 52-54 North Pearl Street in Albany NY on or around the end of March, 2018. CPGM, LLC owners, Christopher Pratt and George Mahoney, are seeking a grant from the City of Albany Small Business Façade Improvement program to bring these once proud and historic retail locations back to life in downtown Albany. CPGM, LLC has two retail tenants that will occupy the first floor spaces. One will be an organic market/deli and the other a small plate/wine bar.

### History

54 North Pearl Street better known as the "Emery Building" housed the John Emery shoe store. The building has a distinct white façade with ornate cornice work, medallions and very large windows compared to other buildings of similar size. During the 1920-30's the upstairs was occupied by Ball George and Co, Inc. an accounting and auditing firm for businesses. (see attached photo circa 1925)

52 North Pearl was once the home of R.F. Clapp Stationary store with a La Coquette beauty salon and men's tailor on the second and third floor respectively.

The two buildings have been vacant for more than two decades. They were last purchased by a group that was looking to open a restaurant bar. In 2008 drawings were submitted to the City for site work to begin which included pouring new concrete floor, adding new floor joists and staircases and the replacement of the two buildings roofs and dormers. The buildings were also connected on the first and second floors with pass-through openings supported by steel beams. Work ceased and the buildings have remained gutted to the bare walls.

### The Current Façade

The facades on both of these buildings are in desperate need of repair and or replacement for retail business to return to the site. 52 North Pearl is currently boarded up with plywood to the second floor. 54 North Pearl has a glass and aluminum retail store front dating back over 35 years. 54 North Pearl also has plywood enclosing what was once a tin façade above the store front. (see attached photo).

### Proposed Façade Changes

#### 2 Retail Tenants

CPGM, LLC intends to lease the retail space of 54 North Pearl Street to the Steuben Street Market which is in need of a larger space. The market is currently located next door and is unable to expand its current retail footprint. They recently were awarded a contract as a food purveyor at a site located in the New York State Museum and will require additional kitchen and prep area to services this new location. The Steuben Street Market sells healthy and organically grown products as well as Made in New York food and beverages.



3058 New Williamsburg Drive  
Schenectady NY 12303

The first floor retail space at 52 North Pearl Street will be leased to a new wine bar and small plate restaurant owned by Chris Pratt and George Mahoney. Mr. Pratt has an extensive background in not only in the restaurant business as a current owner, but also in redeveloping the downtown buildings in which they operate. Other locations include the old Jillian's building located at 59 North Pearl Street, which was left vacant for several years. He and his partners also purchased and opened an Irish Pub at 42 Eagle Street repainting the façade and fixing the exterior woodwork. Both properties are thriving and house multiple retail and residential spaces.

### **54 North Pearl**

We intend to remove existing plywood and glass store front. The plywood was used to enclose the building while vacant. This area (approx. 12 ft high) will be replaced with like kind and quality masonry material to match/compliment the buildings current façade.

The existing glass store front will be replaced with a new aluminum 42 inch door and side light and a rollup door that with glass panels. The roll up door concept is very popular in larger cities allowing for it to be open during warmer months creating an off-sidewalk eating and gathering area for the Steuben Street Market. (See attached Drawings)

The second and third floor windows will be repaired. Existing counter weights will be removed and new ones installed. Broken glass will be replaced. Windows will be sanded and painted to original look and replaced back on the existing brass tracks.

### **52 North Pearl**

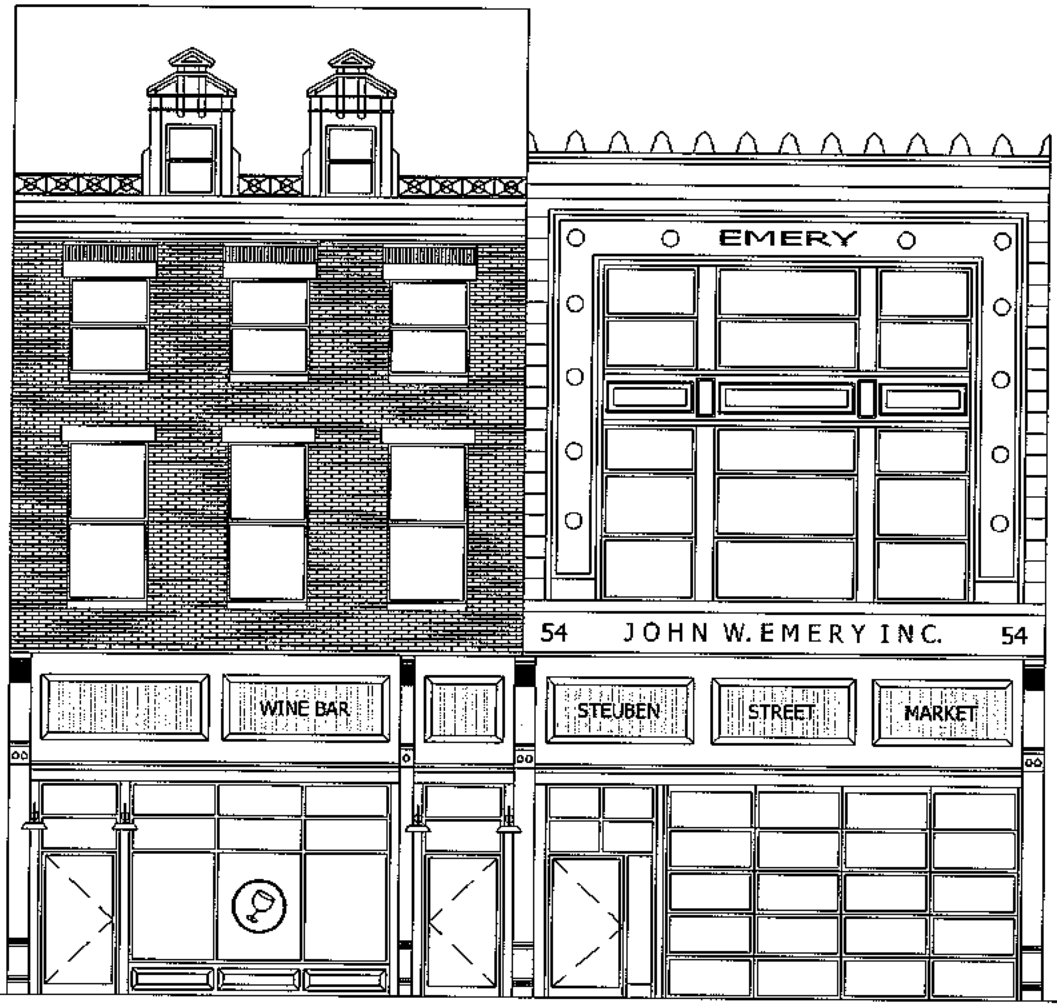
We intend to remove the plywood exterior boards that have been in place to secure the building. We will install a bronze and aluminum glass storefront (16 x 12) and two 36" commercial aluminum doors with 1" clear tempered safety glass. (See attached Drawings)

The second and third floor and dormer windows are about 10 years old and will not be replaced.

Additional pointing and replacement of masonry will also be done to strengthen the existing façade.

### **Conclusion**

Downtown Albany has seen both sides of North Pearl Street sit vacant for many years. The Kenmore Hotel and Steuben Athletic Club, 67 and 69 North Pearl are all vacant retail store fronts. We are asking the City to approve this grant for façade replacements to help aid in this revitalization of these two buildings and make the downtown an area that people will want to visit.



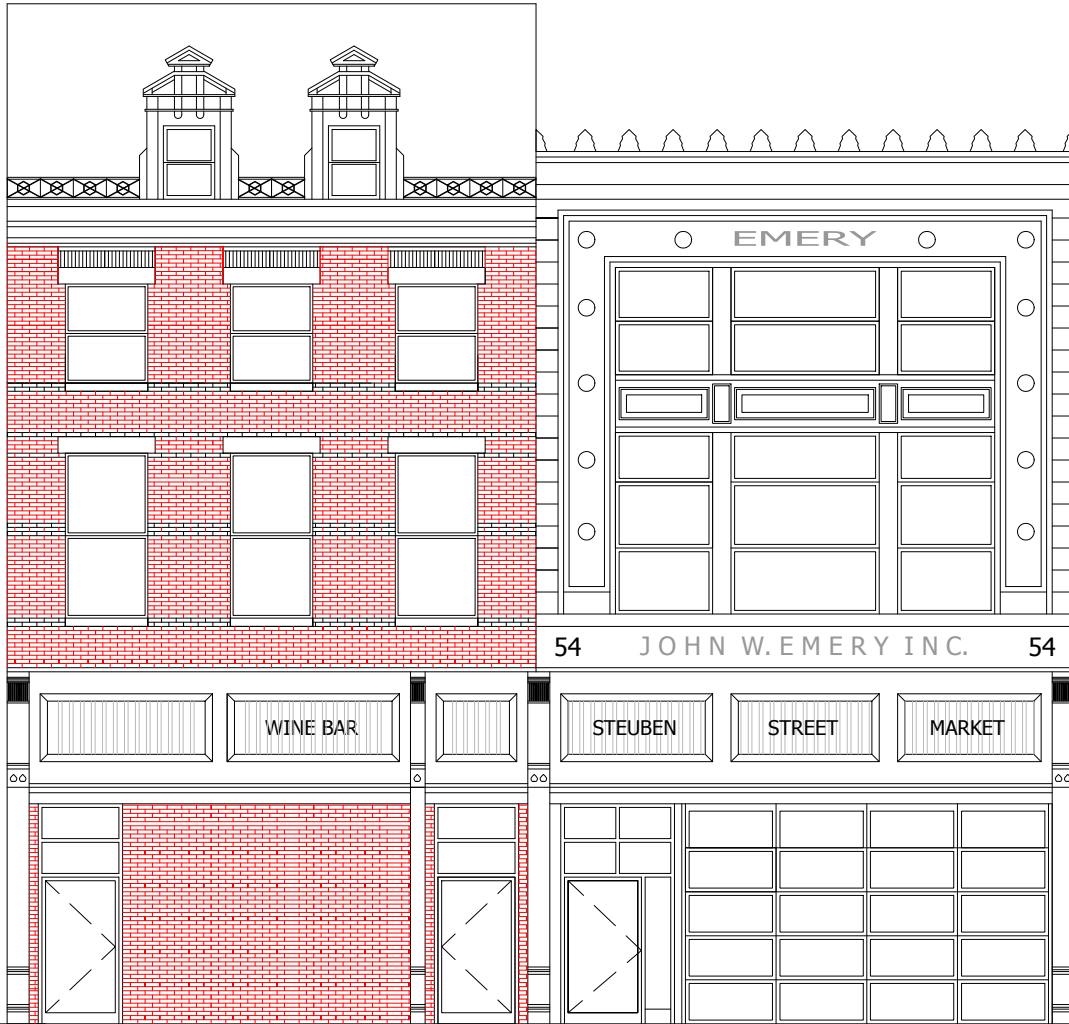
A PROPOSED ELEVATION PLAN  
 A1 SCALE: 3/8" = 1'-0"

REG. NO. 17-112-44	SHEET 5 OF 5	DATE 3/27/18	JOB NUMBER 17-123	DRAWN BY K.H.B.	CHECKED BY R.H.	SCALE 1/4" = 1'-0"	DATE 3/27/18
TDR Designs 1 MacSherry Court Troy, NY 12180 Phone: (518) 774-1737							
Proposed Elevation Plan Multi-Use Property 54-54 North Pearl Street Albany, NY 12208							
I hereby certify that the above is a true and correct copy of the original drawing as submitted to the City of Albany, New York, for the purpose of recording the same.							

# **CITY OF ALBANY HISTORIC RESOURCES COMMISSION**

**52 N Pearl Street**

**Existing Condition**



A PROPOSED ELEVATION PLAN  
A1 SCALE: 3/8" = 1'-0"

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NO.	DATE	BY

JOB NUMBER: 17-1213  
 DRAWN BY: K.H.B.  
 CHECKED: R.H.  
 SCALE: 1/4"=1'-0"  
 DATE: 3/27/18

**TDR Designs**  
 1 MacSherry Court  
 Troy, NY 12180  
 Phone: (518) 274-1737

DRAWING: Proposed Elevation Plan  
 PROJECT: Multi-Use Property  
 52-54 North Pearl Street  
 Albany, NY 12206

FILE NO. 17-1213-A4  
 SHEET 5 OF 5  
 DWG. NO. A 5  
 REV. NO. 3



s Union Center

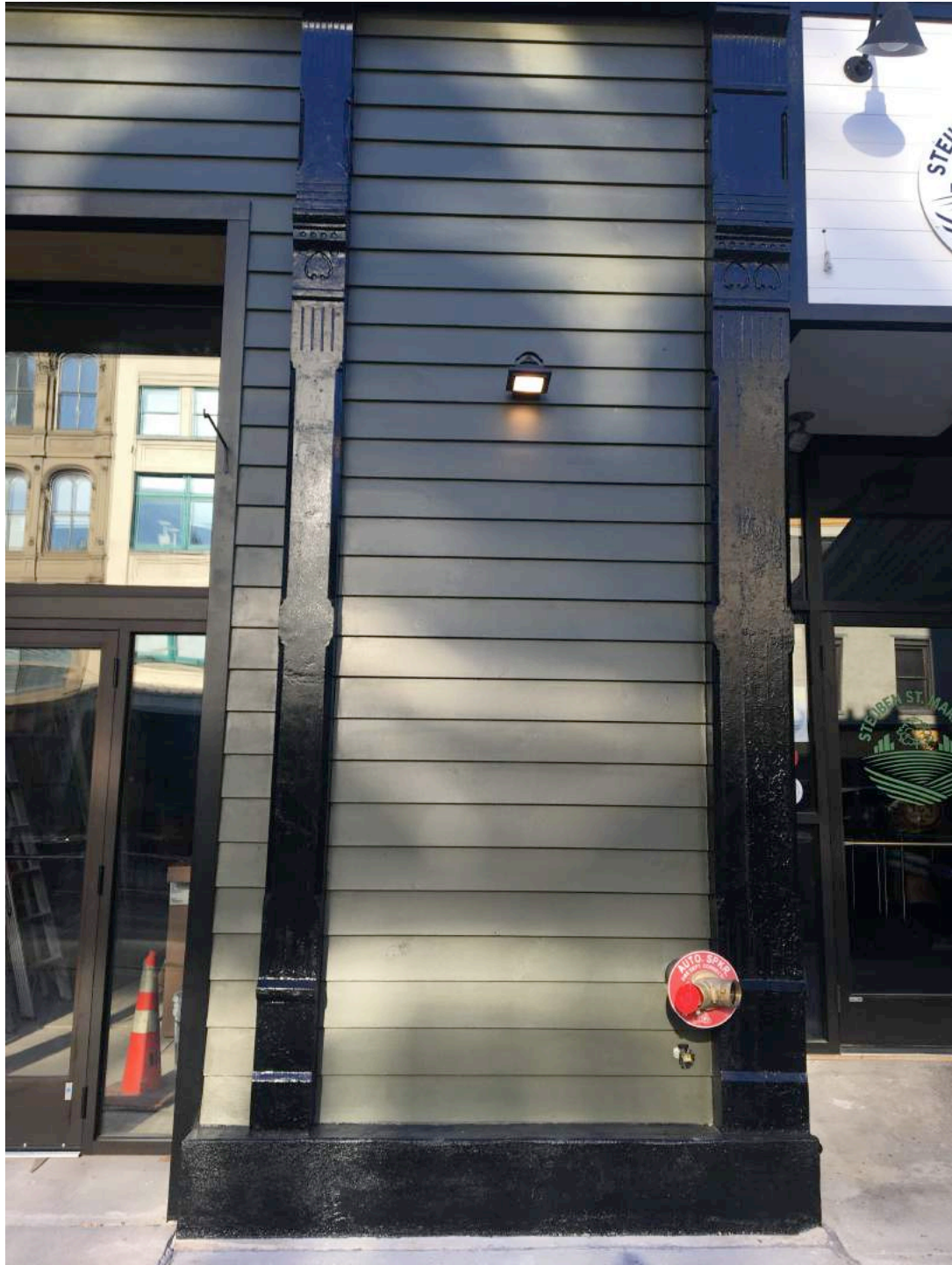
54 JOHN W.

STUBEN ST MARKET  
STEUB

101











NO  
225

EMERY

ACCOUNTANTS

BALL, GEORGE & CO. INC.

AUDITORS

TAILORS

COMMERCIAL

INDUSTRIAL FINANCIAL

TAX SERVICES

BALL, GEORGE & CO. INC.

AUDITS SYSTEMS  
INVESTIGATIONS

BEAUTY & SALON  
PERMANENT  
WAVING  
SWIRL BOBBING  
HAIR CUTTING  
MAKEUP FACIALS  
FINESSE WAVING  
DONE BY EXPERTS  
PHONE 3-3576

54 JOHN W. EMERY INC. 54

BOOKS  
DISCRIMINATING  
READERS

PARKING  
ONE HOUR  
FOR RENT

54  
BALL, GEORGE & CO.  
INCORPORATED  
AUDITORS  
TAX SERVICE  
ACCOUNTANTS

BUILDING-STRUCTURE INVENTORY FORM

DIVISION FOR HISTORIC PRESERVATION  
NEW YORK STATE PARKS AND RECREATION  
ALBANY, NEW YORK (518) 474-0479

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UNIQUE SITE NO. 001-40-1910-D08  
QUAD \_\_\_\_\_  
SERIES \_\_\_\_\_  
NEG. NO. \_\_\_\_\_

YOUR NAME: \_\_\_\_\_ DATE: 8-77

NOV 14 1978

YOUR ADDRESS: 545 Broadway TELEPHONE: 472-6643

ORGANIZATION (if any): Bureau of Cultural Affairs, Albany, N.Y.

\*\*\*\*\*

IDENTIFICATION

- 1. BUILDING NAME(S): \_\_\_\_\_
- 2. COUNTY: Albany TOWN/CITY: Albany VILLAGE: \_\_\_\_\_
- 3. STREET LOCATION: 52 N. PEARL ST.
- 4. OWNERSHIP: a. public  b. private
- 5. PRESENT OWNER: Chapel Management ADDRESS: \_\_\_\_\_
- 6. USE: Original: dwelling Present: commercial store
- 7. ACCESSIBILITY TO PUBLIC: Exterior visible from public road: Yes  No   
Interior accessible: Explain \_\_\_\_\_

DESCRIPTION

- 8. BUILDING MATERIAL: a. clapboard  b. stone  c. brick  d. board and batten   
e. cobblestone  f. shingles  g. stucco  other: \_\_\_\_\_
- 9. STRUCTURAL SYSTEM: (if known) a. wood frame with interlocking joints   
b. wood frame with light members   
c. masonry load bearing walls   
d. metal (explain) \_\_\_\_\_  
e. other \_\_\_\_\_
- 10. CONDITION: a. excellent  b. good  c. fair  d. deteriorated
- 11. INTEGRITY: a. original site  b. moved  if so, when? \_\_\_\_\_  
c. list major alterations and dates (if known): \_\_\_\_\_

12. PHOTO:



13. MAP:

