

**CONSTRUCTION NOTES**

- QUALITY ASSURANCE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PORTIONS OF THE BUILDING, PROPERTY, AND ADJACENT PROPERTIES NOT INVOLVED IN THE SCOPE OF WORK. SUCH DAMAGE SHALL BE CORRECTED AT NO COST TO THE OWNER. THE CONTRACTOR SHALL DEMOLISH AND REMOVE IN A PRECISE MANNER AS PER THE CONSTRUCTION DOCUMENTS. OBSERVE DIMENSIONS WHERE NOTED. VERIFY ALL DIMENSIONS IN THE FIELD. THE CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN (I.E. WINDOWS, ETC.) THROUGHOUT THE COURSE OF THE JOB.
- SPECIAL PRECAUTION:**  
THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION DURING DEMOLITION TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING AND ADJACENT BUILDINGS DURING THE CONSTRUCTION, INCLUDING TEMPORARY SHORING AND BRACING WHERE REQUIRED. ADEQUATE PRECAUTION SHALL ALSO BE TAKEN WHEN DEMOLITION OCCURS IN THE VICINITY OF ALL BUILDING CHASES AND UTILITIES AND WHERE BUILDING SUPERSTRUCTURE ELEMENTS ARE PROTECTED BY FIRE RATED ASSEMBLIES AND/OR FIREPROOFING. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY CONDITIONS UNCOVERED REQUIRING REMEDIAL MEASURES. PROTECT ALL MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AND FIXTURES FOR REUSE WHERE APPLICABLE (TO BE EVALUATED BY THE MEP DESIGNER / CONTRACTOR).
- PARTIAL REMOVAL:**  
SYSTEMS OR ITEMS OF SALVAGEABLE VALUE OR ITEMS DEEMED FOR REUSE SHALL BE STORED IN A SAFE MANNER IN THE EXISTING BUILDING. ALL ITEMS SHALL BE DOCUMENTED TO ALLOW FOR REUSE OR SALE BY OWNER.
- TRAFFIC:**  
CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH RESIDENCES, STREET, WALKS, AND OTHER ADJACENT, OCCUPIED OR USED FACILITIES. SECURE ALL NECESSARY PERMITS.
- ELEMENTS TO BE REUSED OR SALVAGED:**  
ALL ELEMENTS TO BE REUSED OR SALVAGED SHALL BE LEFT CLEAN AND FREE OF FASTENERS, NAILS, SCREWS, AND ROUGH EDGES.
- DISPOSAL OF CONSTRUCTION MATERIALS:**  
TRANSPORT MATERIALS REMOVED FROM DEMOLITION AND LEGALLY DISPOSE OF OFF SITE. LEAVE SITE IN A BROOM CLEAN CONDITION AT THE END OF EACH WORKDAY. IF NEEDED, ALL SANITATION CONTAINERS SHALL BE LOCATED AS DIRECTED BY THE APPROPRIATE OGS AUTHORITY. SECURE ALL NECESSARY PERMITS.
- PROTECTION OF EXISTING ADJACENT SPACES:**  
ALL CONSTRUCTION SHALL BE EXECUTED IN CONTROLLED AREAS. PROVIDE A DUST PROOF "SEAL" AT THE THRESHOLD BETWEEN PROPOSED DEMOLITION AREA AND EXISTING ADJACENT SPACES.
- UTILITIES:**  
THE CONTRACTOR SHALL TAKE CARE TO NOT INTERRUPT UTILITIES TO ANY PORTION OF THE BUILDING WITHOUT REQUIRED NOTICE. REMOVALS AND DISCONNECTS OF UTILITIES AS INDICATED BELOW SHALL ONLY APPLY TO THOSE UTILITIES SERVING THE AREA OF WORK WHOSE OUTLETS ARE LOCATED IN ASSEMBLIES TO BE REMOVED. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF THE EXISTING METER PAN AND MAIN SWITCH, DISCONNECT ALL ELECTRICAL POWER AT THE METER PAN, AND PROVIDE NEW TEMPORARY SERVICE FOR LIGHTING AND POWER. REMOVE ALL OLD WIRING, CONDUIT, TELEPHONE, AND SIGNAL WIRE. DO NOT INTERRUPT SERVICE TO SPACES OUTSIDE THE AREA OF WORK. PROVIDE TEMPORARY POWER AND LIGHTING AS REQUIRED THROUGHOUT THE COURSE OF THE JOB. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF THE SANITARY RISER AND DOMESTIC HOT AND COLD WATER SUPPLY. REMOVE AND GAP ALL EXISTING WASTE AND SUPPLY PIPING BACK TO RISER, AND PROVIDE NEW TEMPORARY COLD WATER SUPPLY PIPING AND SPIGOT FOR DEMOLITION USE. CLEAN UP, ETC. DO NOT INTERRUPT SERVICE TO SPACES OUTSIDE THE AREA OF WORK.
- CLEAN UP:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP CONSTRUCTION "DUST" FROM PENETRATING INTO THE REMAINDER OF THE EXISTING BUILDING. THE INTERIOR AND EXTERIOR (IF REQUIRED) OF THE SITE SHALL BE SWEEPED CLEAN AT THE END OF EACH WORKING DAY. THERE SHALL BE NO VISUAL OBSTRUCTION TO THE NEIGHBORHOOD. THE CONDITION OF THE SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER.
- SECURITY:**  
THE AREA OF WORK SHALL BE SECURELY ENCLOSED AND LOCKED BY LAST CONTRACTOR TO LEAVE THE JOBSITE AT THE END OF EACH WORKDAY.
- MEANS & METHODS:**  
THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. WORK, MATERIALS, EQUIPMENT, MEANS AND METHODS SHALL BE IN STRICT ACCORDANCE WITH ALL CODES, RULES, REGULATIONS, AND ORDINANCES HAVING AUTHORITY. THIS SHALL INCLUDE THE BUILDING CODE OF NEW YORK STATE, THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, THE AMERICAN'S WITH DISABILITIES ACT, ANSI A117.1, OSHA AND REGULATIONS OF THE NEW YORK STATE LABOR DEPARTMENT.
- BUILDING RULES & REGULATIONS:**  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND, OBEY AND ENFORCE THE BUILDING OWNERS RULES & REGULATIONS AS THEY PERTAIN TO THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ADHERENCE TO THE RULES AND REGULATIONS BY ALL SUBCONTRACTORS.

**GENERAL NOTES**

- ALL WORK AND MATERIALS FURNISHED SHALL COMPLY WITH THE RULES AND REGULATIONS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
- ALL WORK SHALL CONFORM TO THE LATEST REQUIREMENTS (UNLESS OTHERWISE NOTED) OF THE 2010 NEW YORK BUILDING CODE AND WITH THE STRICTEST PROVISIONS GOVERNING IN THE EVENT OF ANY CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND/OR DIFFERENT CODES.
- THE BUILDING PERMIT SHALL BE SECURED AND PAID FOR BY THE GENERAL CONTRACTOR WHO SHALL OBTAIN AND PAY FOR ALL OTHER PERMITS AND APPROVALS AS REQUIRED BY LAW FOR THE COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL FILE INSURANCE CERTIFICATION FOR LIABILITY, PROPERTY DAMAGE, DISABILITY AND WORKMAN'S COMPENSATION INSURANCE PRIOR TO COMMENCING CONSTRUCTION. COPIES OF SUCH POLICIES SHALL BE FILED WITH THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS AND THE FULL EXTENT OF THE PROJECT. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS IN THE FIELD AND NOTIFY THE ARCHITECTS OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK ON ALL CONTRACT DOCUMENTS.
- WORK SHALL INCLUDE ALL CHARGES AND EXPENSES FOR FURNISHING ALL ITEMS SHOWN, SPECIFIED OR REQUIRED TO COMPLETE THE WORK, WHETHER OR NOT SPECIFICALLY MENTIONED OR SHOWN, BUT WHICH ARE NECESSARILY REQUIRED TO OBTAIN AND CONSTRUCT THE INDICATED DESIGN.
- ALL WORK SHALL BE OF THE BEST CALIBER AND WORKMANSHIP. WORK NOT CONFORMING TO THE HIGHEST STANDARDS OR TO THE INTENT OF THE DESIGN SHALL BE REINSTALLED AT NO EXTRA CHARGE, IF SO DEEMED BY THE ARCHITECT.
- NO SPECIFIED ITEM MAY BE SUBSTITUTED UNLESS AN EQUAL IS SUBMITTED FOR APPROVAL TO THE ARCHITECT. BURDEN OF PRICE AND QUALITY IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE SUPPLIED AND INSTALLED AS DIRECTED BY THE MANUFACTURER UNLESS NOTED OTHERWISE.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. WARRANTY AND GUARANTEES OF EQUIPMENT SHALL BE THOSE OF MANUFACTURER FOR PERIOD SO STATED.
- ANY WORK OR MATERIAL NOT ACCEPTABLE OR NOT CONFORMING TO LAW AND REGULATIONS BY ALL BODIES HAVING JURISDICTION SHALL BE REMOVED AT THE REQUEST OF THE ARCHITECT AND/OR GENERAL CONTRACTOR. REJECTION OF CONTRACTOR'S WORK SHALL BE IN ACCORDANCE WITH BUT NOT LIMITED TO:  
- DEVIATION FROM PLANS AND SPECIFICATIONS.  
- ANY EQUIPMENT OR MATERIALS NOT INSTALLED IN A WORKMANLIKE MANNER.  
- ANY EQUIPMENT OR MATERIAL THAT IS NOT INSTALLED PROPERLY ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR APPLICABLE BUILDING CODES.
- CONSTRUCTION PERSONNEL MUST CARRY PROPER IDENTIFICATION AT ALL TIMES (SECURITY BADGES). COORDINATE WITH APPROPRIATE FACILITY SECURITY DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE PROTECTION OF ADJACENT PROPERTY AND PEDESTRIANS.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SCAFFOLD, STAGING AND SAFETY DEVICES FOR PROTECTION OF THE PUBLIC AND WORKPERSONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES. FIRE EXTINGUISHERS MUST BE KEPT ON THE JOB SITE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP OF THE PREMISES AND PROMPT REMOVAL OF ALL WASTE MATERIALS AS GENERATED BY CONSTRUCTION, DEMOLITION, AND/OR DELIVERY AND INSTALLATION OF ANY PRODUCTS, MATERIALS, OR EQUIPMENT WHICH IS PART OF THE CONTRACT.

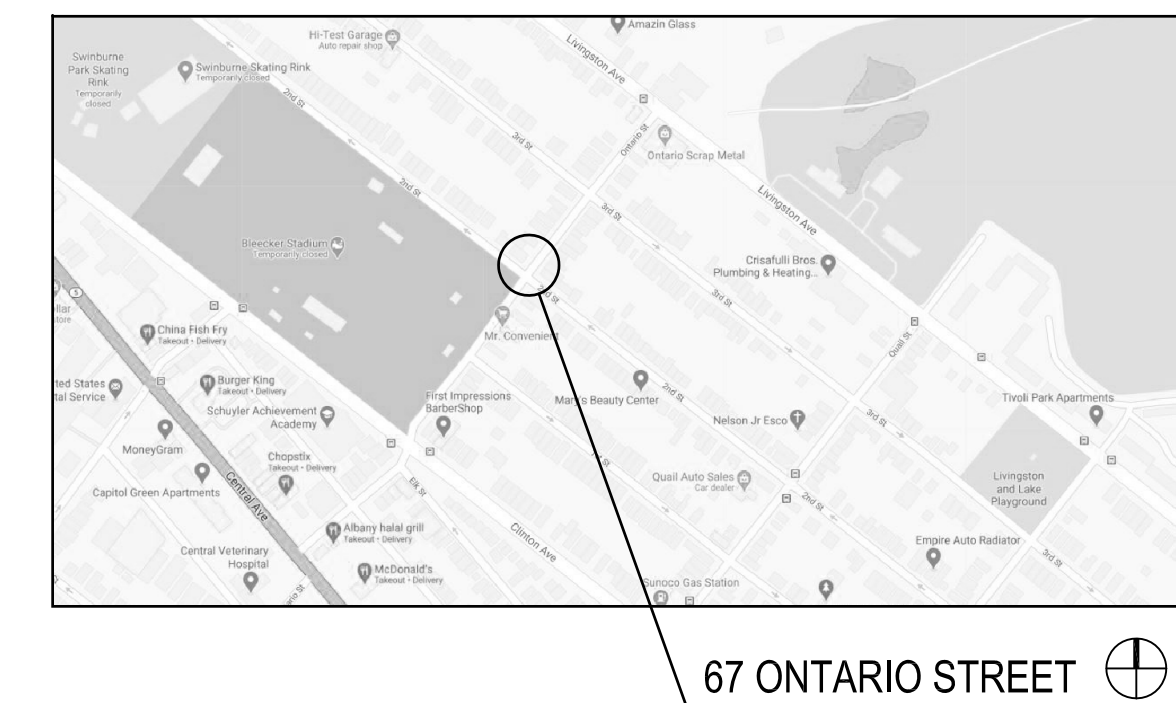
**ABBREVIATIONS**

AFF	ABOVE FINISHED FLOOR	MFGR	MANUFACTURE/ MANUFACTURER
ADJ	ADJUSTABLE	MO	MASONRY OPENING
AHU	AIR HANDLING UNIT	MAX	MAXIMUM
AL	ALUMINUM	MDF	MEDIUM DENSITY FIBERBOARD
AN	CLEAR ANODIZED ALUMINUM	MIN	MINIMUM
APPROX	APPROXIMATELY	ML	MICROLAM
BOC/NYS	BUILDING CODE OF NEW YORK STATE	NA	NOT APPLICABLE
BO	BOTTOM OR	NIC	NOT IN CONTRACT
BOT	BOTTOM (OF)	NTS	NOT TO SCALE
BW	BEARING WALL	OC	ON CENTER
CB	CERAMIC TILE BASE	OPP	OPPOSITE
CPT	CARPET		
CT	CERAMIC TILE	PT	PAINT
CONC	CONCRETE	PL	PLATE
CONT	CONTINUOUS	PL	PLASTIC LAMINATE
DIA	DIAMETER	REQD	REQUIRED
ELEV.	ELEVATION	SIM	SIMILAR
EX	EXISTING	SCW	SOLID CORE WOOD
EXST	EXISTING	SQ	SQUARE
EQ	EQUAL	SQ FT	SQUARE FEET
FT	FEET	STL	STEEL
FRP	FIBERGLASS REINFORCED PLASTIC	STN	STAIN
FL	FLOOR	T&G	TONGUE AND GROOVE
FD	FLOOR DRAIN	TIO	TOP OF
FND	FOUNDATION	TYP	TYPICAL
GAL	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GT	GIRDER TRUSS		
GWB	GYP SUM WALL BOARD	VB	VINYL BASE
HC	HANDICAPED ACCESSIBLE	VERT	VERTICAL
HVAC	HEATING VENTILATION/AIR CONDITIONING	VIF	VERIFY IN FIELD
HM	HOLLOW METAL	VF	VINYL FLOORING
HOR	HORIZONTAL	WD	WOOD
LW	LAMINATED WOOD		
LAV	LAVATORY		

# LAUNDROMAT EXISTING RENOVATION

67 ONTARIO STREET, ALBANY

**LOCATION PLAN (NTS)**



**PROJECT NARRATIVE**

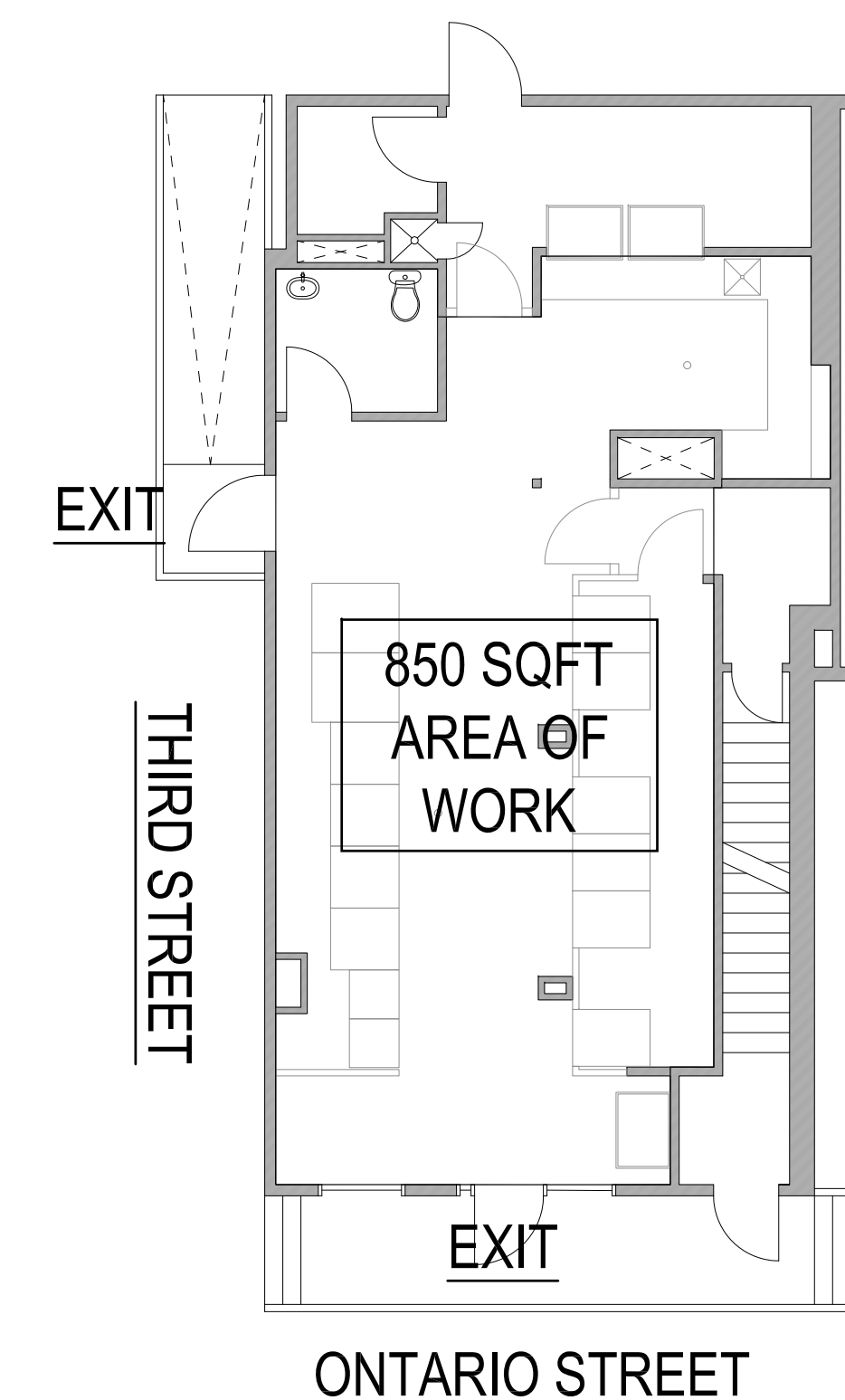
THIS PROJECT ENTAILS INSTALLING A SELF SERVICE LAUNDROMAT FACILITY ON THE FIRST FLOOR OF A RECENTLY RENOVATED 2 STORY BUILDING. THE FIRST FLOOR IS 1300 SQFT. THE LAUNDROMAT TENANT SPACE IS 850 SQFT.

THERE ARE EXISTING FIRE SEPARATIONS IN PLACE AT THE FLOOR/CEILING AND THE STAIRWELL.

THERE IS AN EXISTING ADA BATHROOM TO REMAIN.

**CODE REVIEW**

1. THE GOVERNING CODE IS THE 2020 INTERNATIONAL BUILDING CODE W/ NYS SUPPLEMENT.	
2. THIS PROJECT HAS BEEN DESIGNED TO THE BEST OF MY BELIEF, KNOWLEDGE and PROFESSIONAL JUDGMENT TO BE IN COMPLIANCE WITH CHAPTER 11 ACCESSIBILITY OF THE BUILDING CODE OF NEW YORK STATE.	
3. USE CLASSIFICATION:	BUSINESS (B)
4. OCCUPANCY CLASSIFICATION:	BUSINESS (B)
5. CLASSIFICATION OF WORK:	ALTERATION LEVEL 3
6. CONSTRUCTION CLASSIFICATION:	TYPE 5B, NON SPRINKLERED
7. ALLOWABLE HEIGHTS AND AREAS BASED ON TABLE 503: ASSEMBLY (B): ALLOWABLE AREA W/O SPRINKLERS: ALLOWABLE HEIGHT W/O SPRINKLERS:	9,000 SQFT 40 FEET, 2 STORIES
8. ACTUAL HEIGHTS AND FIRE AREAS: ACTUAL AREA: ACTUAL HEIGHT:	2,600 SQFT 30 FEET, 2 STORIES
9. FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS: STRUCTURAL FRAME: EXTERIOR BEARING WALLS: INTERIOR BEARING WALLS: ROOF CONSTRUCTION:	0 HOURS 0 HOURS 0 HOURS 0 HOURS



**LOCAL DESIGN STUDIO**

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SUITE 104  
TROY, NY 12180  
DESIGNISLOCAL.COM  
518.326.0536

SEA1



**CONSULTANTS:**

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**PROJECT:**

**RESTAURANT EXPANSION  
THE SHAKER AND VINE  
221 HARBORSIDE DRIVE  
MOHAWK HARBOR  
SCHENECTADY, NY**

**OWNER:**

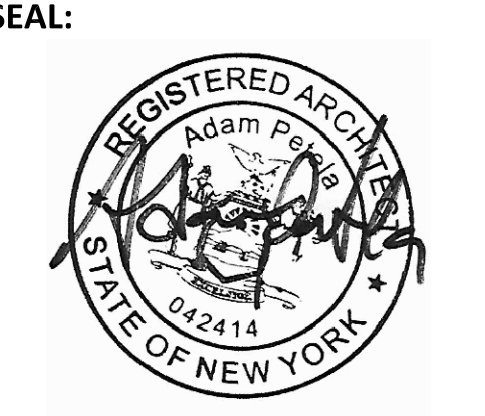
**PROJECT NO.** 20036

**DATE:** 9/17/2020

**CONSTRUCTION  
PLAN**

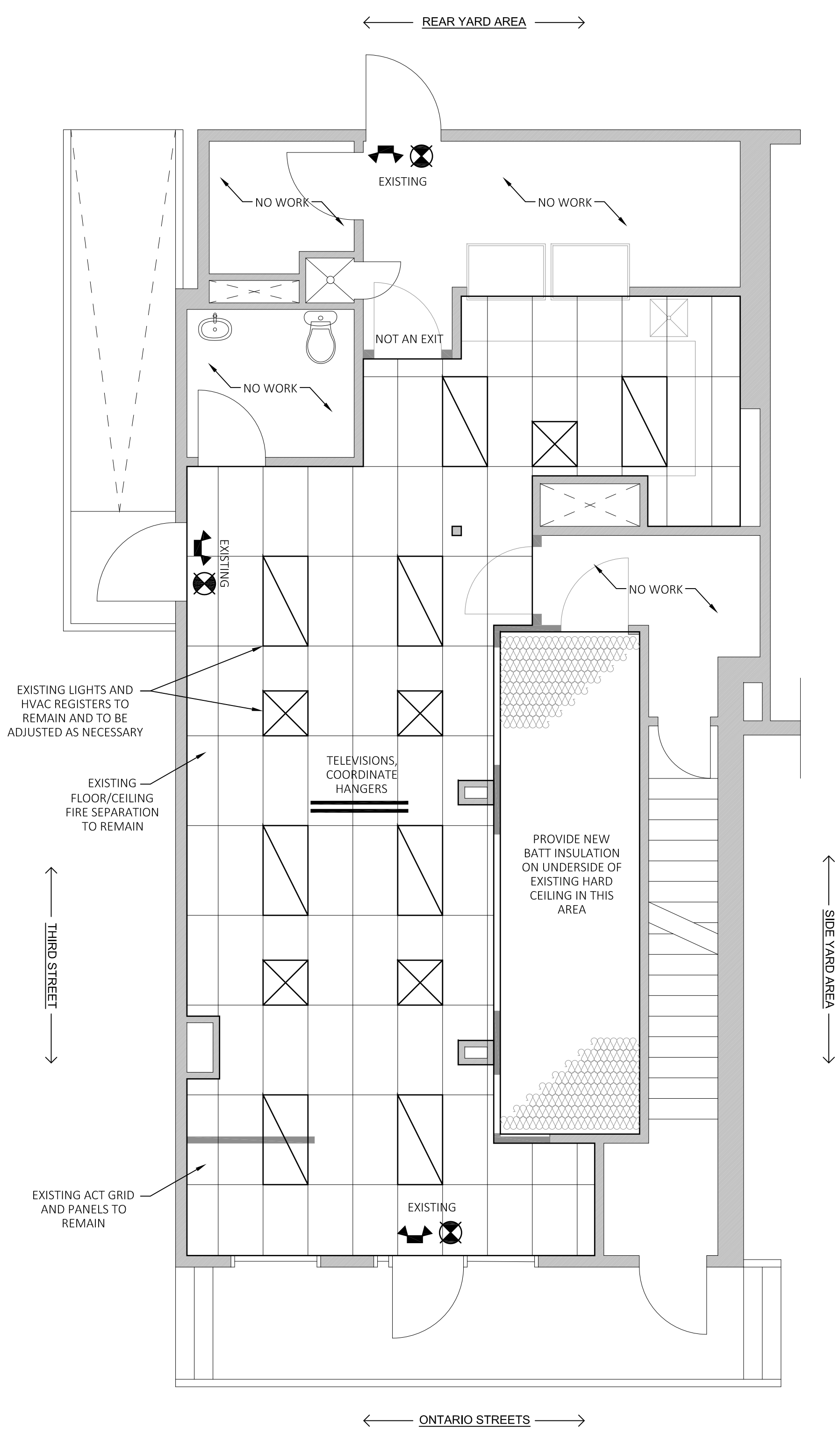
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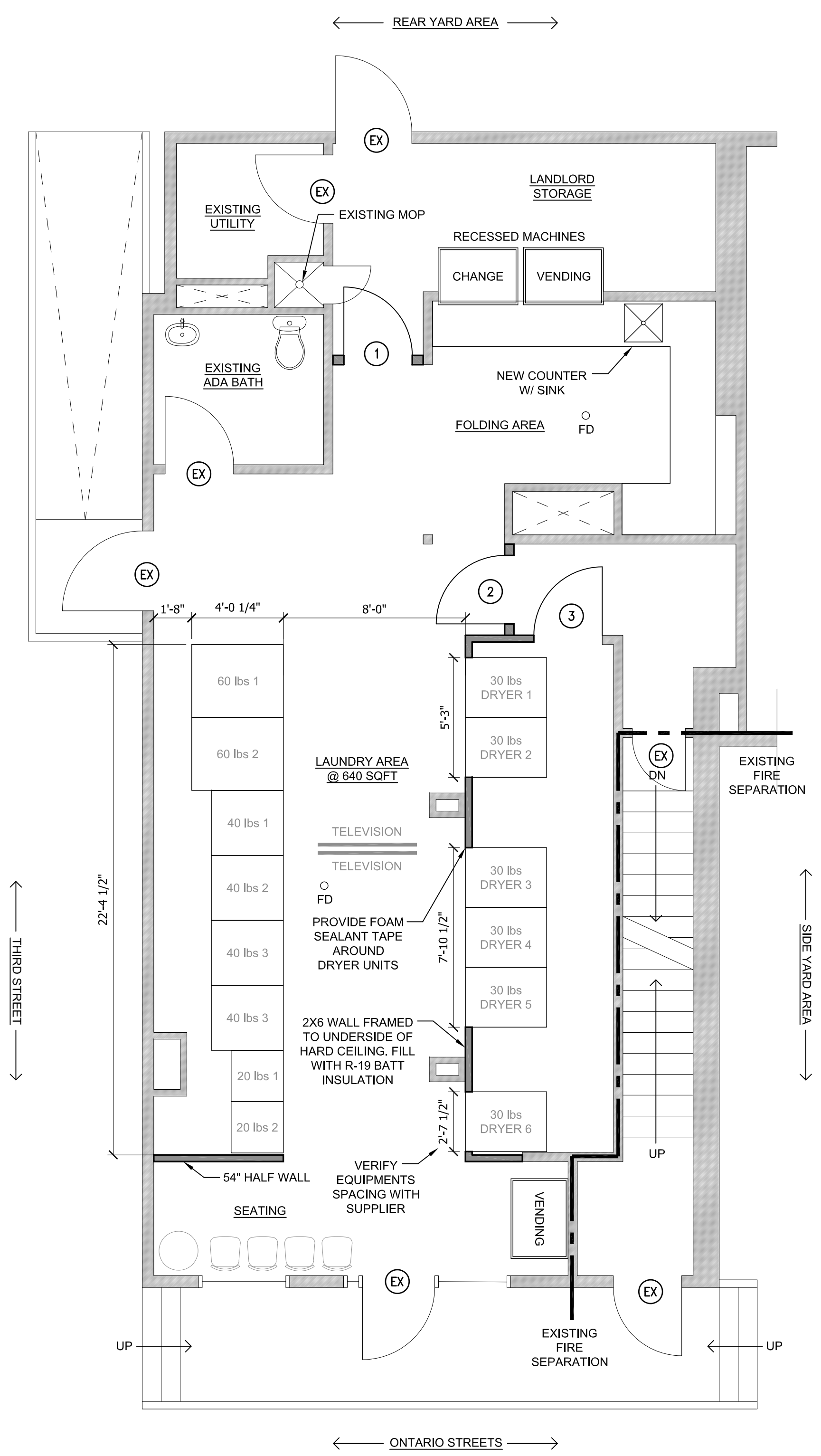


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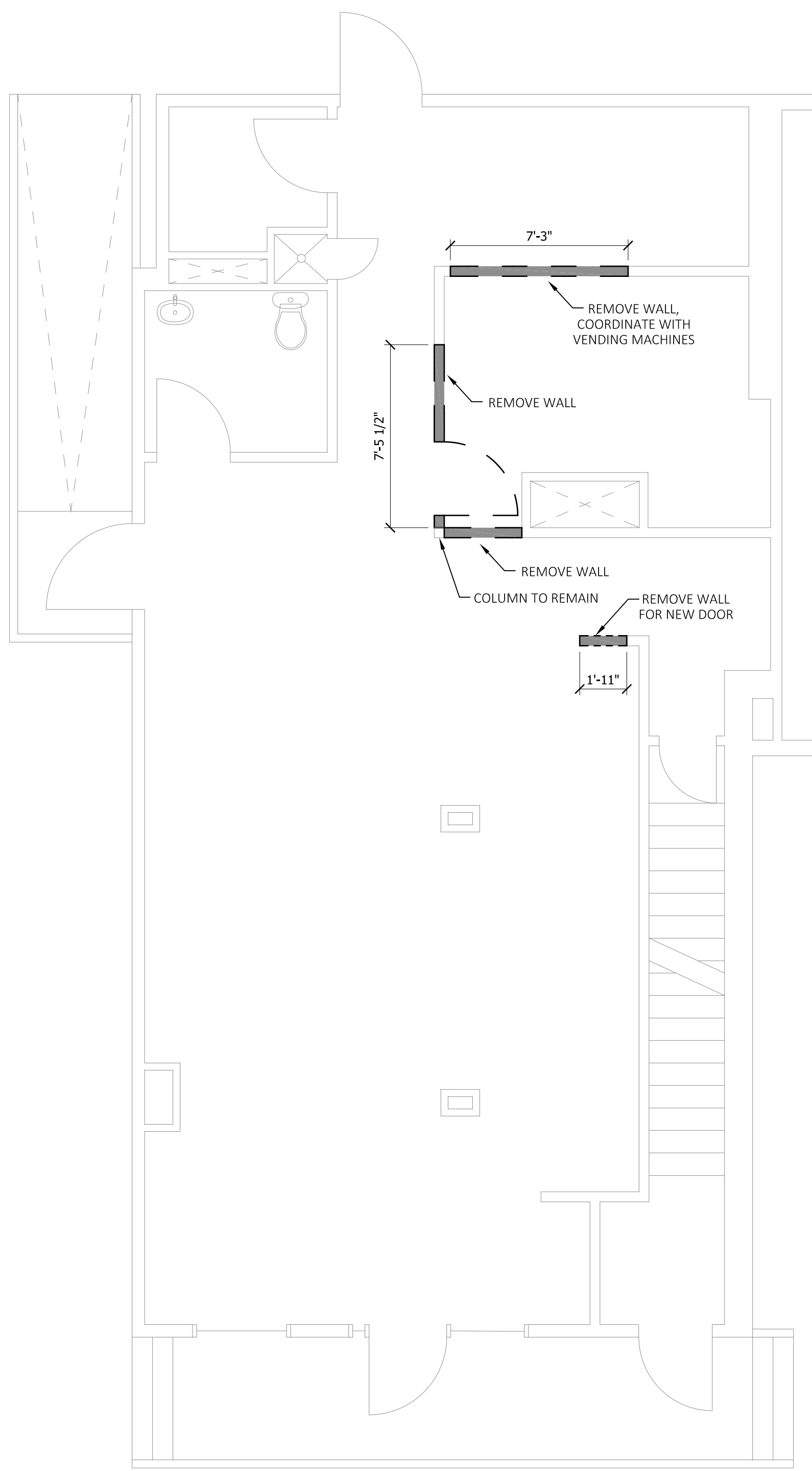
DOOR SCHEDULE									ELEVATIONS
NUMBER	TYPE	MATERIAL	FINISH	SIZE			HARDWARE GROUP	NOTES	DOOR TYPE 1
				WIDTH	HEIGHT	THICKNESS			
1	1	METAL	FFP	3'-0"	6'-8"	1 1/4"	STORAGE	FRONT DOOR	
2	1	METAL	FFS	3'-0"	6'-8"	1 1/4"	STORAGE	CLOSET DOOR	
3	1	METAL	FFS	3'-0"	6'-8"	1 1/4"	STORAGE	BEDROOM DOOR	



**3 CEILING PLAN**  
 A101 SCALE : 1/4" = 1'-0"



**2 FLOOR PLAN**  
 A101 SCALE : 1/4" = 1'-0"



**1 DEMOLITION PLAN**  
 A101 SCALE : 1/4" = 1'-0"

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PROJECT:  
**LAUNDROMAT FIT UP**  
 67 ONTARIO STREET  
 ALBANY, NY

OWNER:

PROJECT NO. 20025  
 DATE: 10/7/2020

**CONSTRUCTION DRAWINGS**

SHEET NUMBER:  
**A101**

SEAL:

CONSULTANTS:

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PROJECT:  
**LAUNDROMAT FIT UP**

67 ONTARIO STREET  
 ALBANY, NY

OWNER:

PROJECT NO. 20025

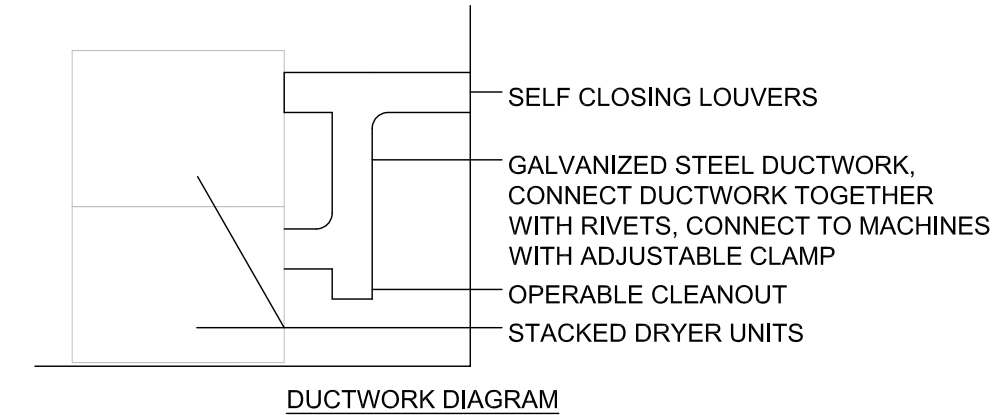
DATE: 10/7/2020

**CONSTRUCTION DRAWINGS**

SHEET NUMBER:

**A102**

- PLUMBING GENERAL NOTES:**
1. ALL PLUMBING SHALL COMPLY WITH LOCAL, STATE AND HEALTH DEPARTMENT REQUIREMENTS.
  2. PLUMBING WASTE AND VENT LINES SHALL BE PVC SCHEDULE 40.
  3. ALL INDIRECT WASTE LINES SHALL BE TRAPPED.
  4. PROVIDE CLEAN OUTS AT THE BASE OF ALL STACKS AND 90° CHANGE OF DIRECTIONS
  5. ANY MATERIALS USED IN PLENUM SPACE SHALL BE RATED FOR SUCH USE.
  6. PROVIDE FIXTURE STOPS BEFORE ALL FIXTURE FLEX LINES.
  7. PROVIDE 1/2 TURN SHUT OFF AT THE EARLIEST POINT OF EACH SEPARATE SUPPLY LINE.
  8. HOT WATER SUPPLIED TO LAVATORY SHALL NOT EXCEED 120° MAXIMUM
  9. ALL HANDICAP FIXTURES SHALL MEET NYS ANSI REQUIREMENTS



**NOTES:**

TUMBLE DRYERS TO BE VENTED INDIVIDUALLY THROUGH THE ROOF.

SUGGESTED DRYER VENTING ARRANGEMENT. CONSULT DRYER TECHNICAL MANUALS FOR DETAILED INFORMATION. PROVIDE AT LEAST 12.2 SQ. FT. UNRESTRICTED AREA FOR DRYER MAKE-UP AIR SUPPLY.

MAKE-UP AIR OPENINGS WITH LOUVERS WILL RESTRICT AIRFLOW. THE OPENING MUST BE INCREASED BY 40% TO COMPENSATE FOR AREA TAKEN UP BY LOUVERS.

NOTE: ALL MAKE-UP AIR VENTING IS TO BE SUPPLIED BY THE GENERAL CONTRACTOR

DO NOT INSTALL WIRE MESH OR SCREEN IN EXHAUST DUCT OPENING TO AVOID LINT BUILD-UP OR IMPACTING PROPER DISCHARGE OF AIR FROM TUMBLER.

AT NO POINT MAY THE CROSS SECTION AREA OF THE INSTALLED VENTING BE LESS THAN THE CROSS SECTION AREA OF THE EXHAUST OUTLET OF THE TUMBLER.

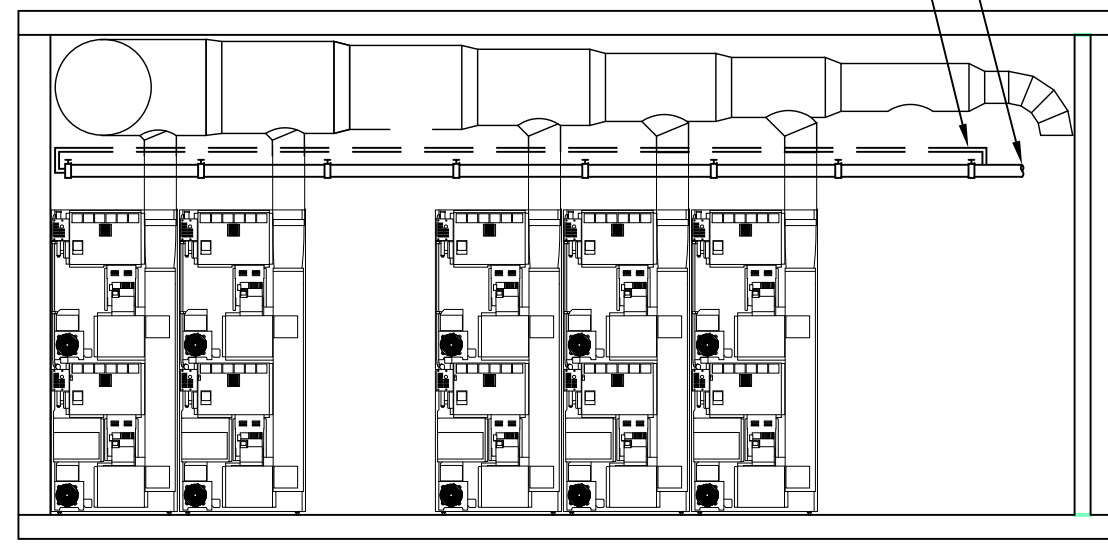
ALL DRYER EXHAUST VENTING IS TO BE SUPPLIED BY THE GENERAL CONTRACTOR.

FOR MAIN GAS LINE SIZE TO SUPPLY ALL MACHINES, CONSULT LOCAL GAS COMPANY.

1 1/2" MAIN GAS LINE TO SUPPLY ALL MACHINES. LINE SIZED BASED ON RUN OF LESS THAN 100' (30.48m) AND USING A 1/2b. SUPPLY SYSTEM OF PRESSURE. INSTALL 24" ABOVE FLOOR

AN IN-LINE PRESSURE REGULATOR MAY BE REQUIRED IF THE LINE PRESSURE EXCEEDS 10.5 W.C.I. (26.1mbar, 2.61kPa) WITH ALL GAS APPLIANCES RUNNING.

INSTALL A 1" PIPE GAS LOOP TO MAINTAIN EQUAL PRESSURE AT ALL TUMBLE DRYER GAS CONNECTIONS.

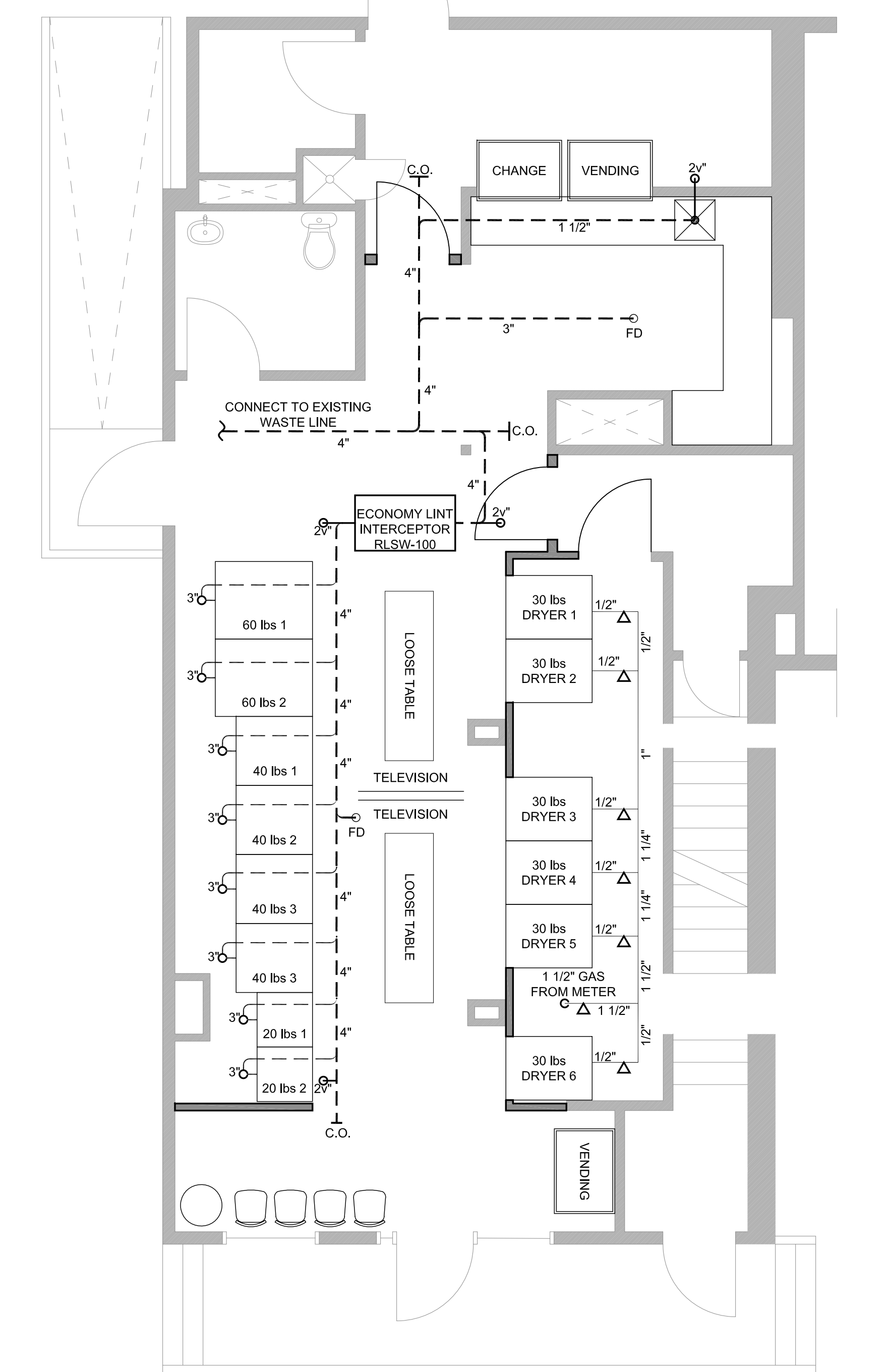
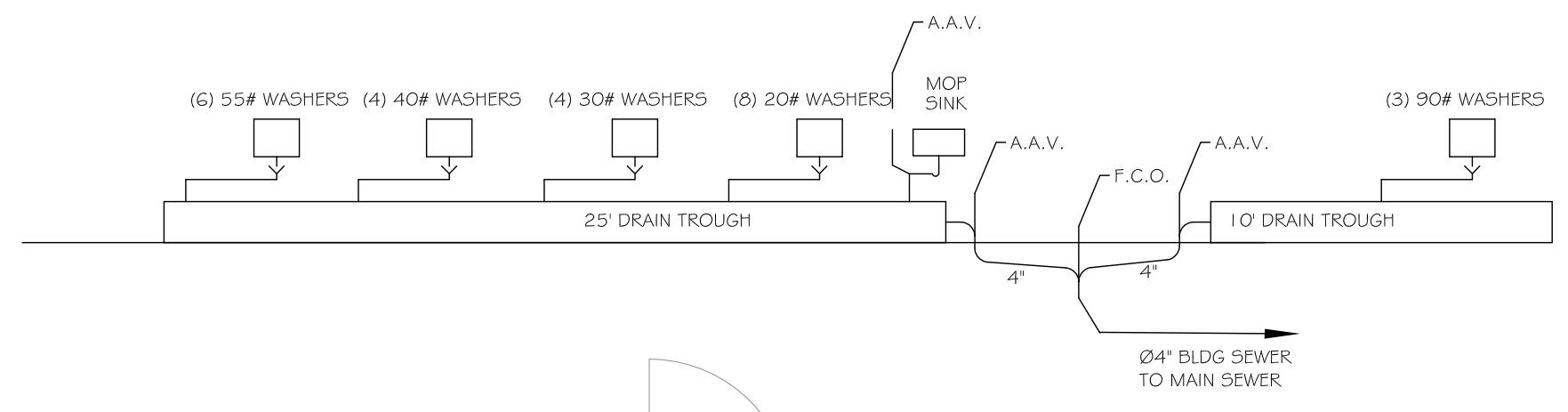


PANEL "A" 208 - 240/ 60/ 1 - 200 AMP

NO. DEM. V.A.	TRIP POLE	WIRE	DESCRIPTION	C K T	C K T	DESCRIPTION	WIRE	TRIP POLE	NO. DEM. V.A.
375	20/1		WASHER	1	2	WASHER	12 20/1	375	
375	20/1		WASHER	3	4	WASHER	12 20/1	375	
375	20/1		WASHER	5	6	WASHER	12 20/1	375	
375	20/1		DRYER	7	8	DRYER	12 20/1	375	
375	20/1		DRYER	9	10	DRYER	12 20/1	375	
375	20/1		DRYER	11	12	DRYER	12 20/1	375	

PANEL "B" 120/ 60/ 1 - 200 AMP

NO. DEM. V.A.	TRIP POLE	WIRE	DESCRIPTION	C K T	C K T	DESCRIPTION	WIRE	TRIP POLE	NO. DEM. V.A.
375	15/1		WASHER	1	2	WASHER	15/1	375	
375	15/1		WASHER	3	4	WASHER	15/1	375	
375	15/1		VENDING	5	6	TV	15/1	375	
375	15/1		VENDING	7	8		15/1	375	
									31 32
									33 34
									35 36
									37 38
									39 40
									41 42



**3 PLUMBING PLAN**  
 SCALE : 1/4" = 1'-0"

**NOTES:**

TUMBLE DRYERS TO BE VENTED INDIVIDUALLY THROUGH THE ROOF.

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MAKE-UP AIR OPENINGS WITH LOUVERS WILL RESTRICT AIRFLOW. THE OPENING MUST BE INCREASED BY 40% TO COMPENSATE FOR AREA TAKEN UP BY LOUVERS.

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FOR MAIN GAS LINE SIZE TO SUPPLY ALL MACHINES, CONSULT LOCAL GAS COMPANY.

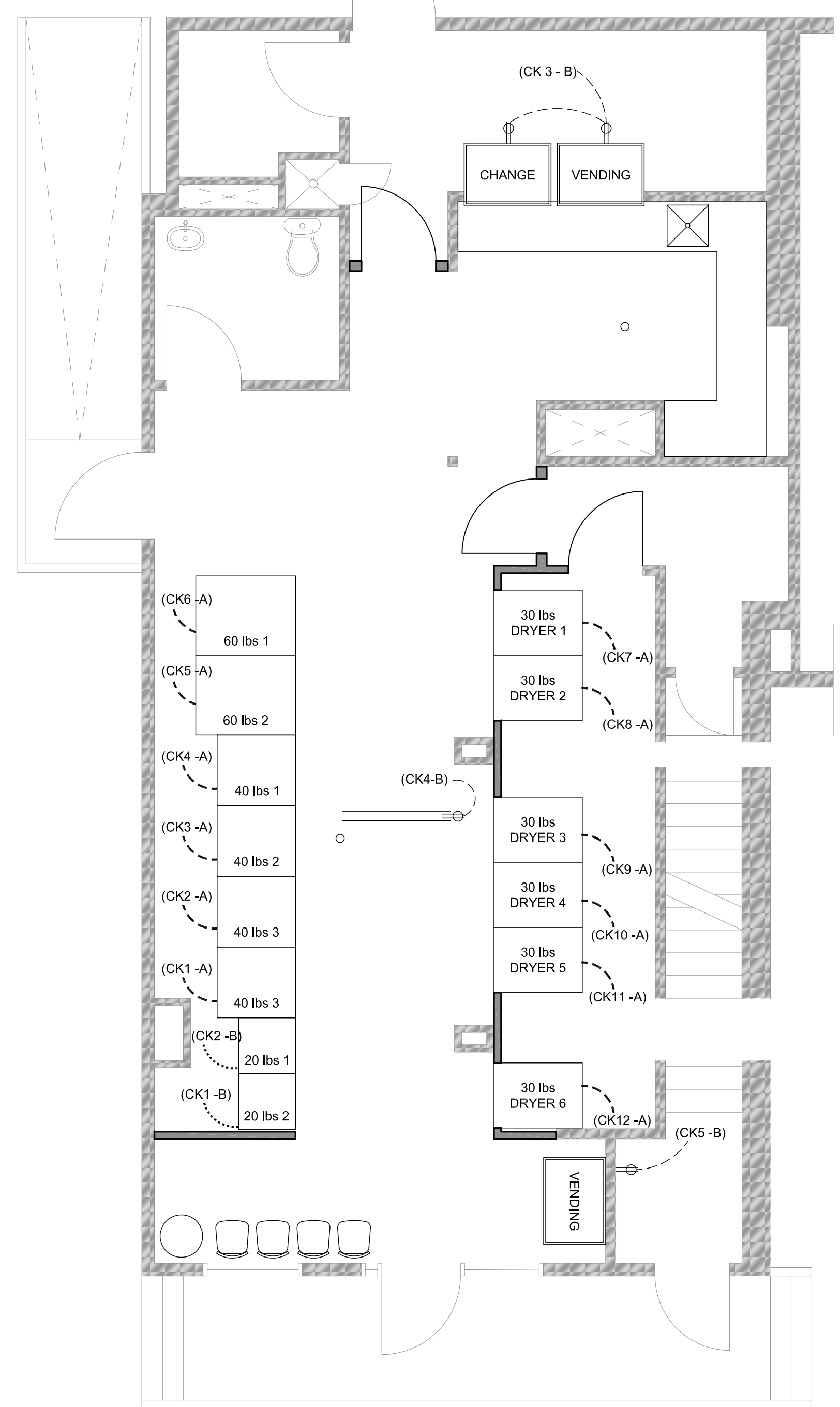
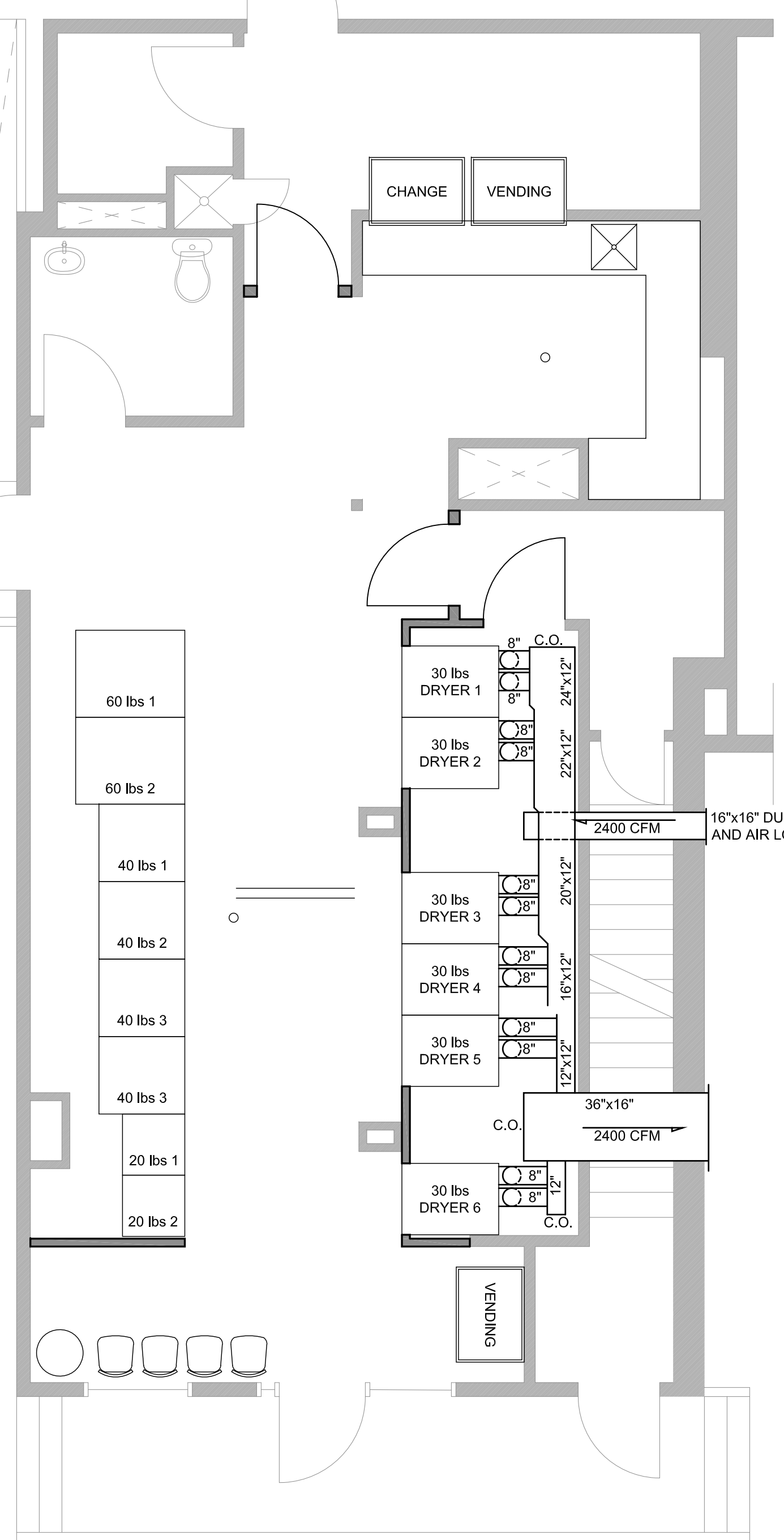
COMBUSTIBLE AIR CALCULATIONS

EH OGO DRYERS	73,000 BTU
EH OGO DRYERS	73,000 BTU
EH OGO DRYERS	73,000 BTU
EH OGO DRYERS	73,000 BTU
EH OGO DRYERS	73,000 BTU
EH OGO DRYERS	73,000 BTU
TOTAL BTUs	438,000 BTU
438 BTU/ 3,000 BTU/ 1 SQ IN =	
146 SQ. IN/ 144 = 1.01 5.F.	

**DUCTWORK NOTES:**

1. ALL DUCTWORK SHALL BE CONNECTED WITH RIVETS AND SEALED WITH DUCT SEAL
2. ALL DUCTWORK SHALL BE 20 GA. MINIMUM.
3. ALL DRYER MACHINES SHALL BE SEALED TIGHT TO INSULATED WALLS TO CREATE UNTEMPERED AREAS BEHIND MACHINES
4. ALL DUCTWORK SHALL BE SUPPORTED HORIZONTALLY IF ARMS ARE LONGER THAN 48"

**2 MECHANICAL PLAN**  
 SCALE : 1/4" = 1'-0"



**1 ELECTRICAL PLAN**  
 SCALE : 1/4" = 1'-0"