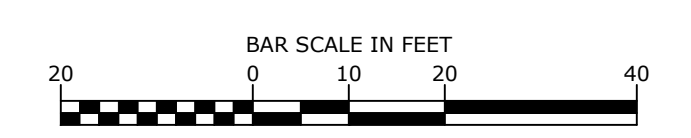


SITE LOCATION MAP
N.T.S.

LEGEND

- AIR CONDITIONING UNIT
- CAPPED IRON ROD FOUND
- CATCH BASIN
- CATCH BASIN/CURB INLET
- ELECTRIC HANDHOLE
- ELECTRIC METER
- GAS METER
- GAS VALVE
- GATE POST
- GUY WIRE
- HYDRANT
- IRON ROD FOUND
- LIGHT POLE
- SANITARY MANHOLE
- SIGN
- UNKNOWN UTILITY MANHOLE
- UTILITY POLE
- UTILITY POLE W/LIGHT
- WATER SHUT-OFF
- WATER VALVE



DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.
6/22/20	PER TOWN COMMENTS	MJB	DFA	DFA

EXISTING CONDITIONS PLAN

**20 CENTER STREET
BONACQUISTI HOLDINGS, LLC**

CITY OF ALBANY ALBANY COUNTY, NEW YORK

ENGINEERS
LAND PLANNERS
& CONSULTANTS

1407 Bldg 2, Route 9 Suite 6, Clifton Park, New York 12065
518.573.6989 aricoassociates@gmail.com

C-101

SHEET 1 OF 3

DWG. NO: 20.14

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DESIGNED:

DRAFTED : DFA

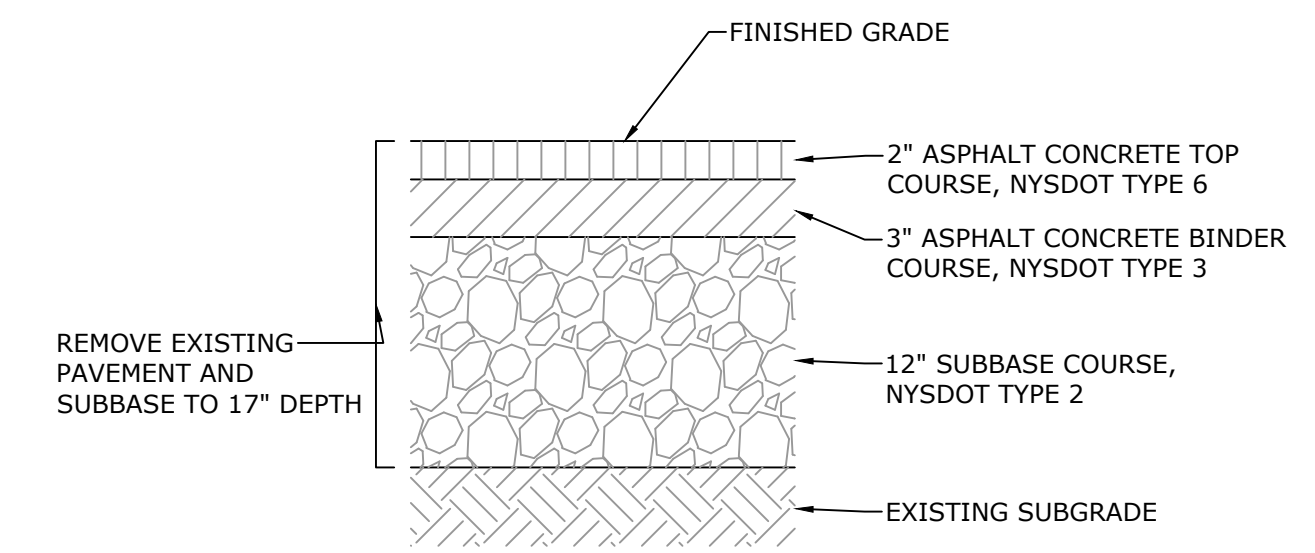
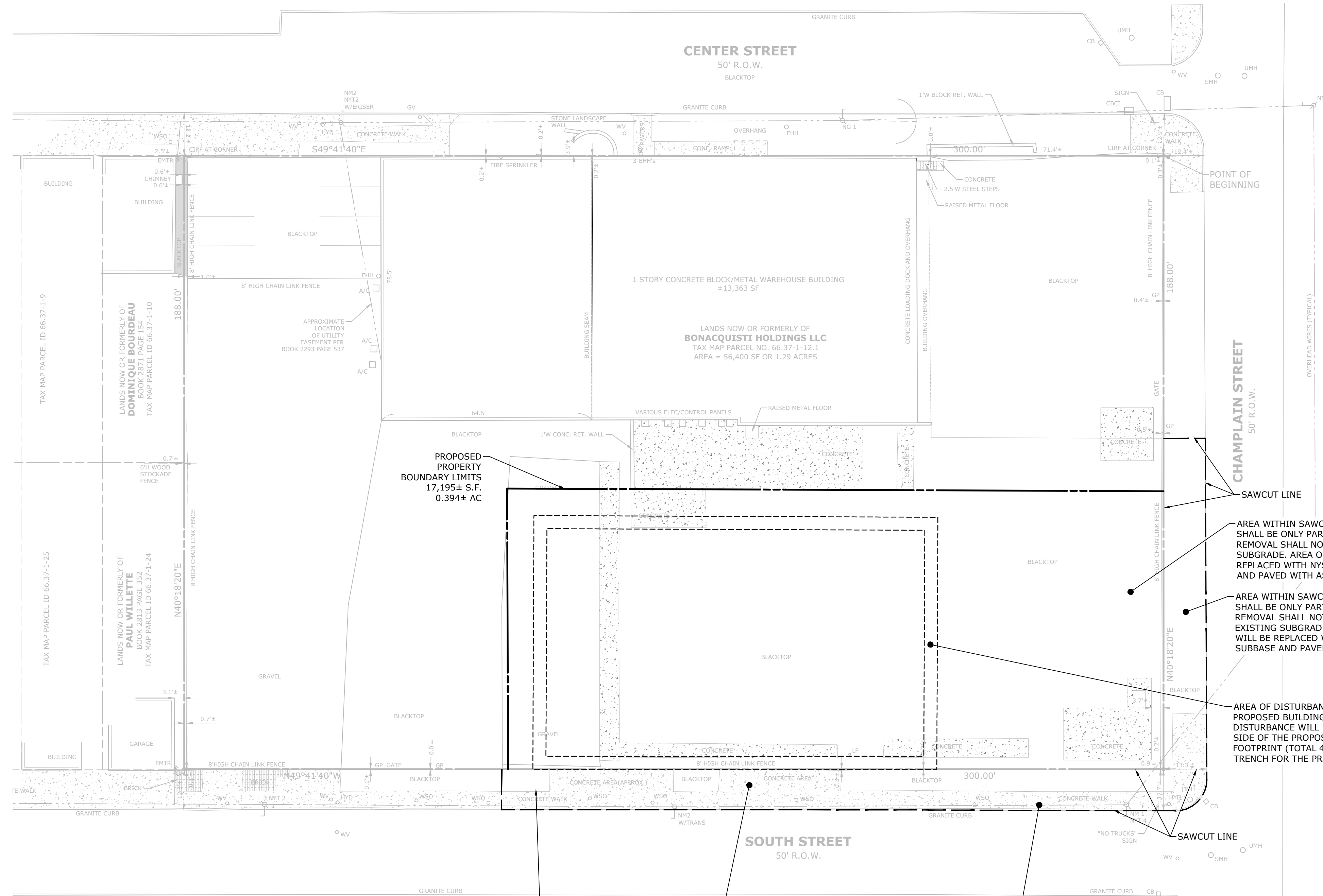
CHECKED : DFA

PROJ. NO : 20.14

SCALE : 1" = 20'

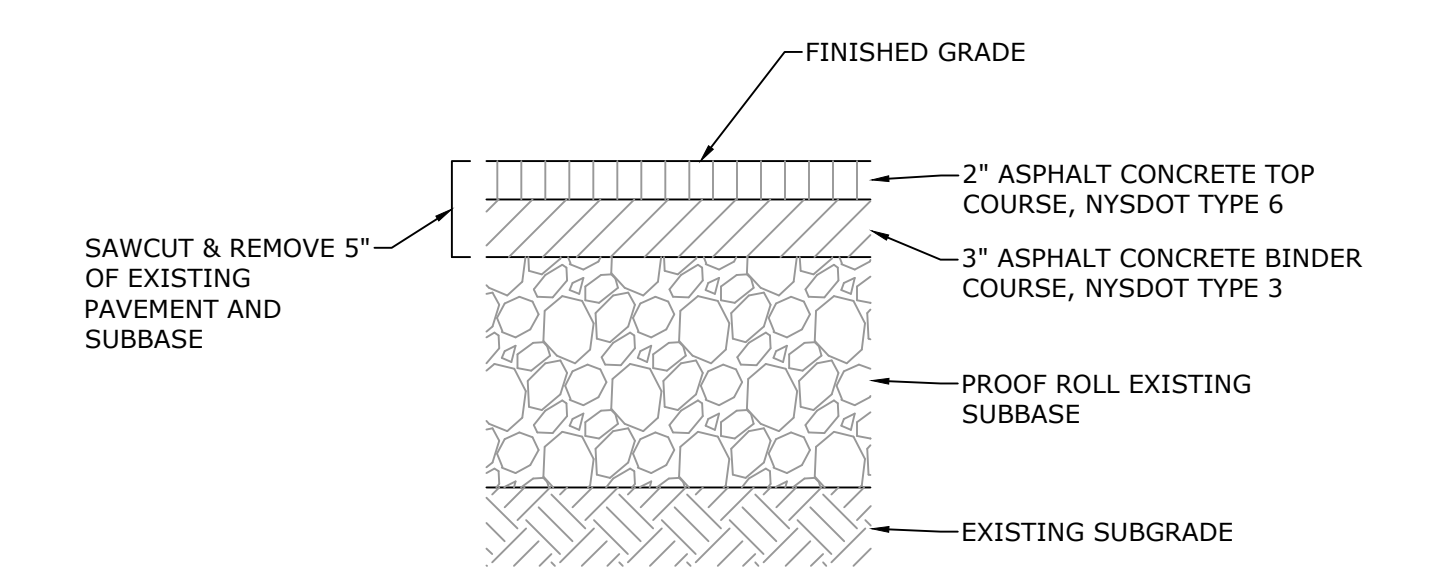
DATE : MAR. 12, 2020

DOMINICK F. ARICO
P.E. NO. 066515



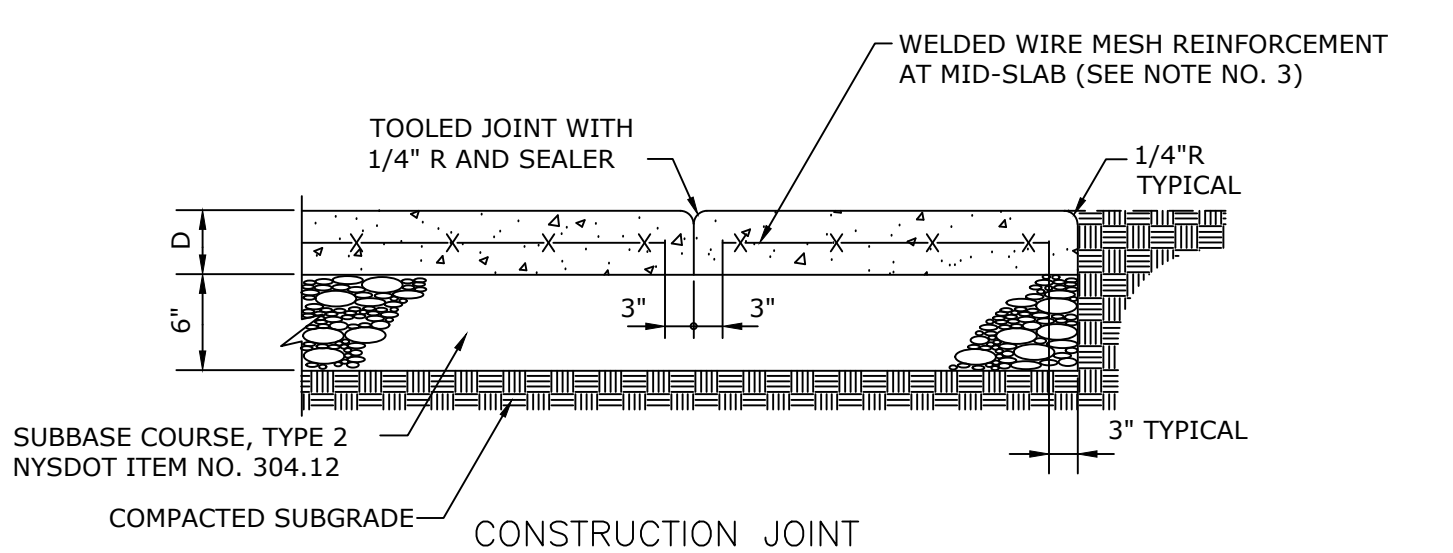
NOTES:
 1. TOTAL AREA OF FULL DEPTH REMOVAL & RECONSTRUCTION = 2,840 ± SF

2 FULL DEPTH PAVEMENT RECONSTRUCTION
 SCALE: NONE
 CROSS REFERENCE: NONE



NOTES:
 1. TOTAL AREA OF PARTIAL DEPTH REMOVAL & RECONSTRUCTION = 27,450 ± SF

3 PARTIAL DEPTH PAVEMENT RECONSTRUCTION
 SCALE: NONE
 CROSS REFERENCE: NONE

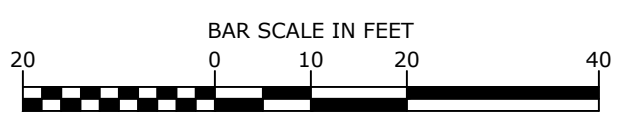


4 CONCRETE SIDEWALK DETAIL
 SCALE: NONE
 CROSS REFERENCE: NONE

1 DEMOLITION AND REMOVALS PLAN
 SCALE: 1" = 20'
 CROSS REFERENCE: NONE

NOTE:
 TOTAL DISTURBANCE (FULL DEPTH EXCAVATION/REMOVAL) = 2,840 ± SF (0.065 AC)
 NON DISTURBANCE (PARTIAL DEPTH EXCAVATION/REMOVAL) = 27,450 ± SF (0.63 AC)

- NOTES:**
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM WITH THE REQUIREMENTS OF SECTION 608, SIDEWALKS, DRIVEWAYS, AND BICYCLE PATHS; SPECIFICALLY ITEM NO. 608.0101 CONCRETE SIDEWALKS AND DRIVEWAYS, OF THE NYSDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED MAY 1, 2008, AND ALL ADDENDA THERETO. SEE NOTE NO. 10 FOR REQUIRED DETECTABLE WARNINGS.
 - SUBBASE MATERIAL AND PLACEMENT SHALL CONFORM WITH THE REQUIREMENTS OF SECTION 304, SUBBASE COURSE; SPECIFICALLY ITEM NO. 304.12, SUBBASE COURSE, TYPE 2, OF THE NYSDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS DATED MAY 1, 2008, AND ALL ADDENDA THERETO.
 - REINFORCEMENT SHALL BE AS FOLLOWS:
 4" THICK SIDEWALK: 6" X 6" W2.9 X W2.9 WELDED WIRE MESH
 6" THICK SIDEWALK: 6" X 6" W4.0 X W4.0 WELDED WIRE MESH
 - NORMAL THICKNESS OF CONCRETE (D) SHALL BE 4". AT DRIVEWAYS, CONCRETE THICKNESS (D) SHALL BE 6".
 - CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH (F_c) OF 4,000 PSI AND HAVE BETWEEN 5% AND 8% ENTRAINED AIR.
 - PROVIDE PREMOULDED EXPANSION JOINT FILLER AND SEALER AT 20' O.C. OR AS SHOWN ON PLANS.
 - PROVIDE TOOLED CONTRACTION JOINTS AT 5'-0" O.C. BOTH WAYS OR AS SHOWN ON PLANS.
 - JOINTS SHALL NOT BE SAW CUT.
 - ALL EXPOSED SURFACES SHALL HAVE A BROOMED TEXTURE FINISH.
 - SIDEWALK SURFACE SHALL BE TREATED WITH AN APPROVED PENETRATING SEALER, *CONSPEC SILANE 40 WB,* OR EQUAL, AS MANUFACTURED BY *CONSPEC MARKETING AND MANUFACTURING COMPANY* OF KANSAS CITY, KANSAS.



DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.
6/22/20	PER CITY COMMENTS	MJB	DFA	DFA
7/25/21	PER CITY COMMENTS			

DEMOLITION AND REMOVAL PLAN

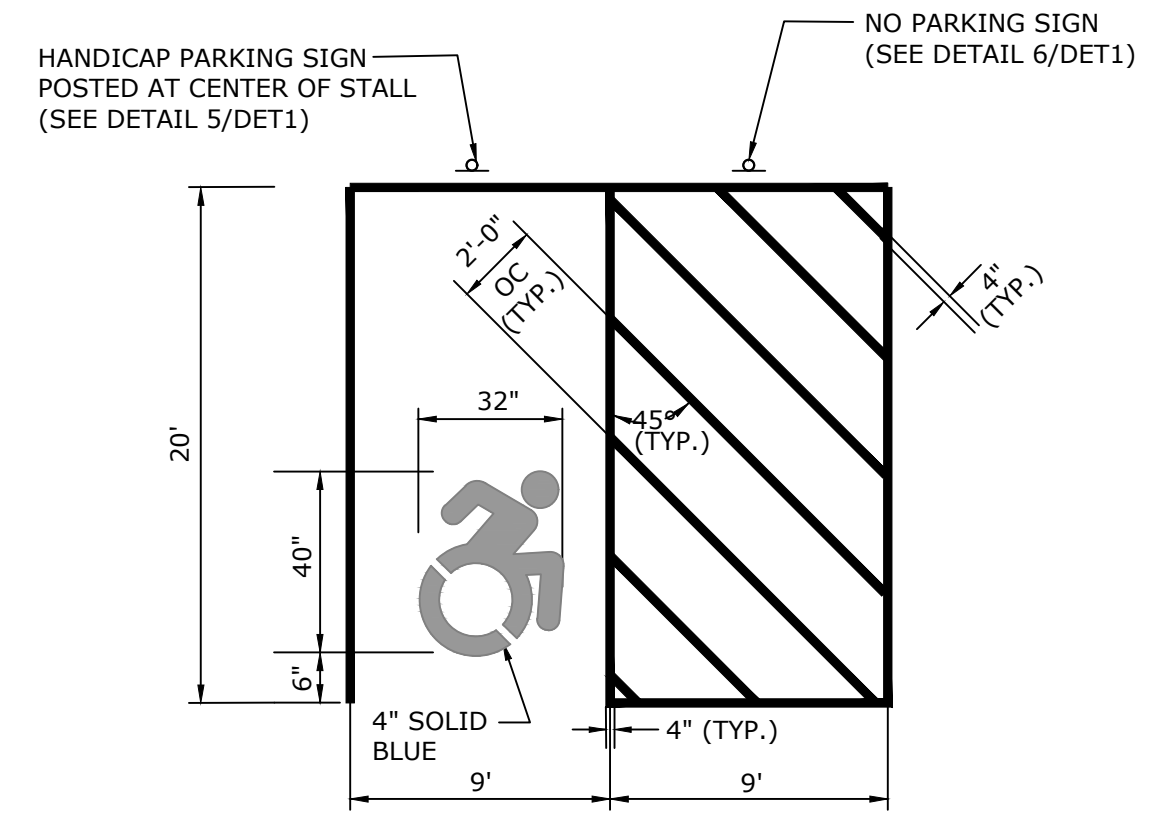
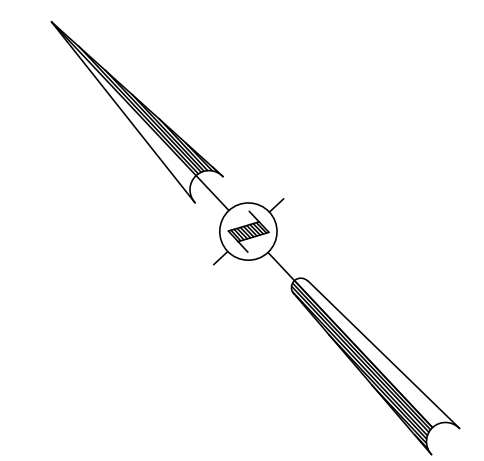
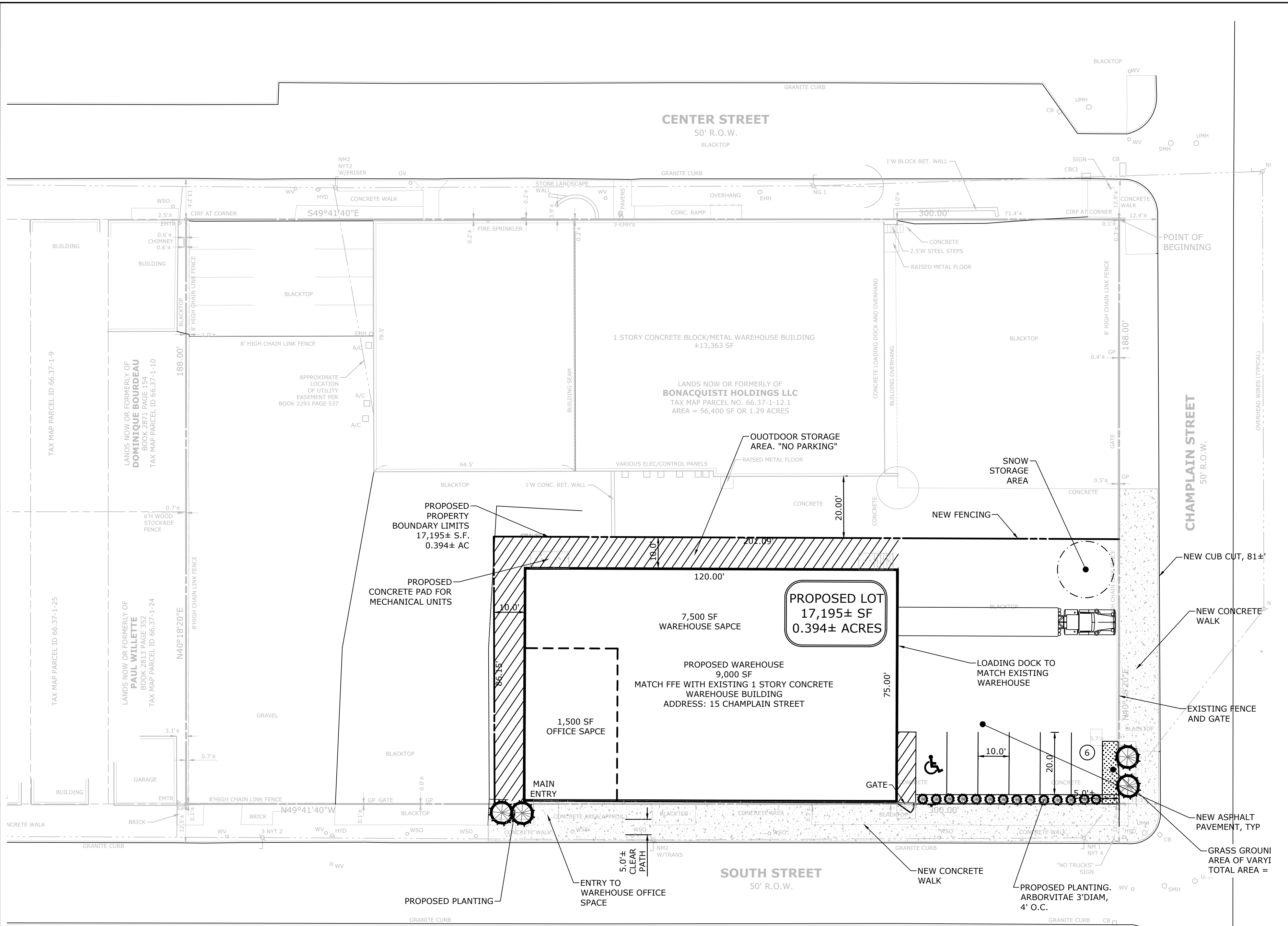
15 CHAMPLAIN STREET
BONACQUISTI HOLDINGS, LLC

CITY OF ALBANY ALBANY COUNTY, NEW YORK

ARICO ASSOCIATES
 ENGINEERS
 LAND PLANNERS
 & CONSULTANTS

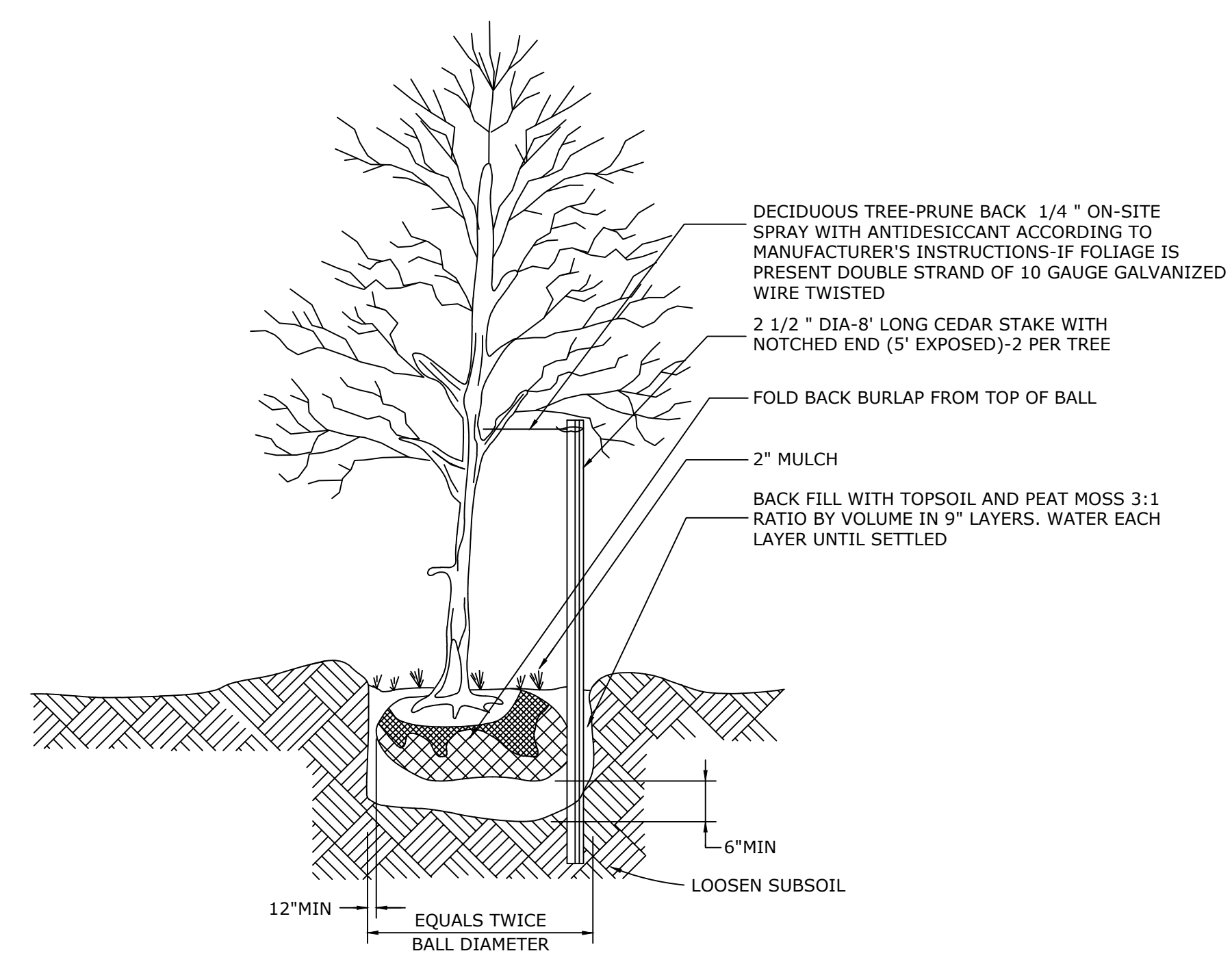
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 518.573.8888 aricoassociates@gmail.com

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 SHEET 2 OF 3
 DWG. NO: 20.14



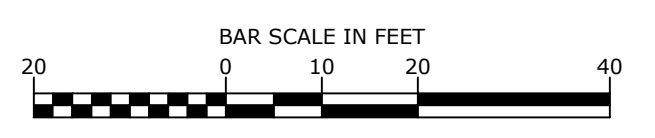
- NOTES:
1. PARKING STALLS SHALL BE DELINEATED WITH 4" WIDE WHITE PAINTED LINES.
 2. HATCHING AND RELATED PAVEMENT MARKING SHALL BE 4" WIDE WHITE PAINTED LINES.
 3. HANDICAP PARKING STALLS AND RELATED HATCHING STALLS SHALL BE DELINEATED WITH 4" WIDE BLUE PAINTED LINES.
 4. HANDICAP SYMBOLS SHALL BE EXECUTED IN BLUE PAINT.

2 ACCESSIBLE PARKING CONFIGURATION
 SCALE: NONE
 CROSS REFERENCE: NONE



3 DECIDUOUS TREE
 NOTE: WRAP DECIDUOUS TREES OVER 1" CAL WITH BURLAP OR ASPHALTING KRINKLE DRAFT TREE WRAP
 SCALE: NONE
 CROSS REFERENCE: NONE

1 PROPOSED SITE LAYOUT PLAN
 SCALE: 1" = 20'
 CROSS REFERENCE: NONE



	REQUIRED	LOT 1	PROPOSED
MIN. LOT AREA	N/A	0.896 AC	0.394 AC
MIN. LOT WIDTH	25 FT	188 FT	85.16 FT
MIN. LOT DEPTH	N/A	300 FT	201.1 FT
MAX IMPERVIOUS COVERAGE %	N/A	100%	99.4%
MIN. FRONT YARD SETBACK	0 FT	0 FT	0 FT
MIN. SIDE YARD SETBACK	10 FT	20.0'	10.0'
MIN. REAR YARD SETBACK	100 FT	N/A	109 FT
MIN. PARKING SPACES	10	N/A	10*

	EXISTING (SF)	% COVERAGE	LOT 1 (SF)	% COVERAGE	LOT 2 (SF)	% COVERAGE
PAVEMENT	28,208	50.0%	16,991	43.3%	8,095	47.1%
GRASSES/OPEN	0.0	0.0%	0.0	0.0	100	0.6%
BUILDING	13,363	23.7%	13,363	34.1%	9,000	52.3%
GRAVEL	11,217	19.9%	8,850	22.6%	0.0	15.8%
TOTAL	56,400	100%	39,204	100%	17,195	100%

ZONING: LIGHT INDUSTRIAL I-1
 PARCEL INFORMATION: TAX ID NUMBER 66.37-1-12.1, TOTAL AREA = 56,400
 * = 4 PARKING SPACES ON SOUTH STREET AND/OR CHAMPLAIN STREET

DOMINICK F. ARICO P.E. NO. 066515	DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW. © 2020 ARICO ASSOCIATES	PROPOSED SITE PLAN
	6/22/20	PER TOWN COMMENTS	MJB	DFA	DFA		
	03.03.21	REV BUILDING SIZE/PROPERTY BOUNDARY	DFA	DFA		DESIGNED: DRAFTED : DFA CHECKED : DFA PROJ. NO : 20.14 SCALE : 1" = 20' DATE : MAR. 12, 2020	15 CHAMPLAIN STREET BONACQUISTI HOLDINGS, LLC
	07.25.21	PER CITY COMMENTS	DFA	DFA			
	01.20.22	PER CITY COMMENTS	DFA	DFA			
							CITY OF ALBANY ALBANY COUNTY, NEW YORK
							ARICO ASSOCIATES ENGINEERS LAND PLANNERS & CONSULTANTS 1407 89th St, Route 9 Suite 6, Clifton Park, New York 12065 518.573.6900 aricoassociates@gmail.com
							C-103 SHEET 3 OF 3 DWG. NO: 20.14