

LEGEND:

LAYOUT:

Legend entries including LOT LINE, SETBACK LINE, EASEMENT LINE, BUILDING, PAVED ROAD / DRIVEWAY / PARKING AREA, ROAD CENTER LINE, SIDEWALK, CURB/WING GUTTER, GRAVEL DRIVEWAY, WORKLIMITS, GUIDERAIL, CHAIN LINK FENCE, STOCKADE FENCE, CONCRETE, STABILIZED CONSTRUCTION ENTRANCE, ROAD LINING & STRIPING, GRAVEL PARKING AREA, UTILITIES, OHW, SANITARY SEWER LINE, FORCE MAIN, WATER LINE, STORM DRAIN LINE, DRAINAGE SWALE, ELECTRIC LINE, GAS LINE, CULVERT W/ END SECTION.

GRADING & EROSION CONTROL:

Legend entries for grading and erosion control including 10 FT CONTOUR, 2 FT CONTOUR, SPOT ELEVATIONS, TREE LINE, SHRUB LINE, DRAINAGE SWALE, ORANGE CONSTRUCTION FENCE, SILT FENCE / FIBER LOG, TEMPORARY DIVERSION SWALE, FILTER FABRIC DROP INLET PROTECTION, STONE & BLOCK DROP INLET PROTECTION, CATCH BASIN GRATE, CATCH BASIN SILT SAC, PIPE OUTLET SEDIMENT TRAP, SPOILS STORAGE AREA, STABILIZED CONSTRUCTION ENTRANCE, RIPRAP, CONCRETE WASH OUT AREA, TREE PROTECTION.

DEMOLITION:

Legend entries for demolition including EXISTING FEATURE TO BE REMOVED, EXISTING TREE TO BE REMOVED, EXISTING SITE FEATURE TO BE REMOVED, EXISTING PAVEMENT & SIDEWALK TO BE REMOVED, EXISTING BUILDING TO BE REMOVED, NOT IN CONTRACT, EXISTING STRUCTURE TO BE REMOVED, SYMBOLS: SIGN, BOLLARD, LIGHTED BOLLARD, CATCH BASIN, YARD DRAIN, CLEAN OUT, FLARED END SECTION, DRAINAGE MANHOLE, SANITARY MANHOLE, CLEANOUT, WATER SHUT OFF VALVE, WATER VALVE, HYDRANT, REDUCER, ELECTRIC MANHOLE, GAS VALVE, LIGHT POLE, POST AND LUMINAIRE, MONUMENT, PARKING COUNT, SOIL BORING, TEST PIT, UTILITY POLE, UTILITY POLE W/ LIGHT, UTILITY POLE W/ GUY WIRE.

SITE PLAN NOTES:

GENERAL CONSTRUCTION NOTES: 1. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE CITY OF ALBANY, THE ENGINEER OF RECORD OR THE OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR. RIGHT OF WAY ACCESS APPLICATIONS AND STREET OPENING PERMITS ARE REQUIRED FROM THE CITY OF ALBANY'S DEPARTMENT OF GENERAL SERVICES.

LAYOUT:

BUILDING DIMENSIONS TO BE TAKEN FROM ARCHITECTURAL BUILDING PLANS. NOTIFY THE ENGINEER OF ANY DEVIATION FROM CONDITIONS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND TOLERANCES.

PAVING:

NO VEHICULAR TRAFFIC OF ANY SORT SHALL BE PERMITTED ON THE SURFACE OF SUBBASE COURSE MATERIAL ONCE IT HAS BEEN FINE GRADED, COMPACTED, AND IS READY FOR PAVING. SUBBASE MATERIAL SO PREPARED FOR PAVING SHALL BE PAVED WITHIN THREE DAYS OF PREPARATION OF THE SURFACE.

STRIPING:

STRIPE PAVEMENT AS INDICATED ON THE PLANS AND/OR IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.

GRADING NOTES:

GRADING PERMIT REQUIRED. CONTACT PATRICK MCCUTCHEON, ENGINEERING DIVISION, CITY OF ALBANY AT 518-434-2387 OR PMCCUTCHEO@ALBANYNY.GOV FOR PERMIT APPLICATION. PRIOR TO SITE DISTURBANCE, CONTRACTOR TO INSTALL EROSION & SEDIMENT CONTROL MEASURES.

CITY OF ALBANY STANDARD NOTES:

PRIOR TO THE START OF CONSTRUCTION, OBTAIN WATER/SEWER SERVICE PERMITS FOR ALL PROPOSED UTILITY CONNECTIONS. PARTICIPATE IN A PRECONSTRUCTION MEETING WITH THE CITY OF ALBANY WATER DEPARTMENT.

UTILITY PLAN NOTES:

STREET OPENING PERMITS AND RIGHT-OF-WAY ACCESS APPLICATIONS ARE REQUIRED. CONTACT GARY BOHL, DEPARTMENT OF GENERAL SERVICES, CITY OF ALBANY AT 518-462-3519 OR GB0HL@ALBANYNY.GOV FOR PERMITS AND APPLICATIONS.

DEMOLITION NOTES:

REFER TO REQUIREMENTS OUTLINED IN THE EROSION & SEDIMENTS CONTROL PLANS, DETAILS, & NOTES PRIOR TO COMMENCEMENT OF WORK. BUILDING/STRUCTURE TO BE DEMOLISHED ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE NOT TO BE DEMOLISHED AS PART OF THIS WORK.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:

PERMANENT AND TEMPORARY VEGETATION: INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

SPDES GENERAL PERMIT GP-0-20-001 COMPLIANCE NOTES:

THE PROJECT DISCHARGES TO THE CITY OF ALBANY COMBINED SEWER SYSTEM, WHICH IS COVERED UNDER NYSDEC SPDES DISCHARGE PERMIT NY0025747. AS SUCH, THE PROJECT IS NOT SUBJECT TO THE NYSDEC SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (GP-0-20-001).

CONSTRUCTION SEQUENCING NOTES:

PRIOR TO COMMENCING ANY CLEARING, GRUBBING, EARTHWORK ACTIVITIES, ETC. AT THE SITE, THE CONTRACTOR SHALL FLAG THE WORK LIMITS AND SHALL INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (I.E. SILT FENCES, TREE PROTECTION/BARRIER FENCES, STABILIZED CONSTRUCTION ENTRANCES, STORM DRAIN SEDIMENT FILTERS, DRAINAGE DITCH SEDIMENT FILTERS, ETC.) INDICATED ON THE PROJECT DRAWINGS.

EROSION AND SEDIMENT CONTROL MEASURES:

DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.

Table with 3 columns: LOCATION, COMPACTION, TESTING FREQUENCY. Includes rows for PIPE TRENCH BACKFILL (PAVED AND UNPAVED AREAS), PIPE BEDDING AND PIPE ZONE BACKFILL, PAVEMENT SUBBASE AND LAST LIFT OF SELECT GRANULAR FILL, etc.

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects 45 Main Street Brooklyn, NY 11201

Civil Engineer: The Chazen Companies 547 River St, Troy, NY 12180 p(518) 273-0055 Chazen Project No. 32019.00

Revision Schedule

Table with 3 columns: Revision Number, Revision Description, Revision Date.

PLANNING SUBMISSION SET

Scale: AS NOTED Date: 12/8/2020 Project No: 2005 Drawn by: KC/SM Checked by: RK

Seal & Signature:



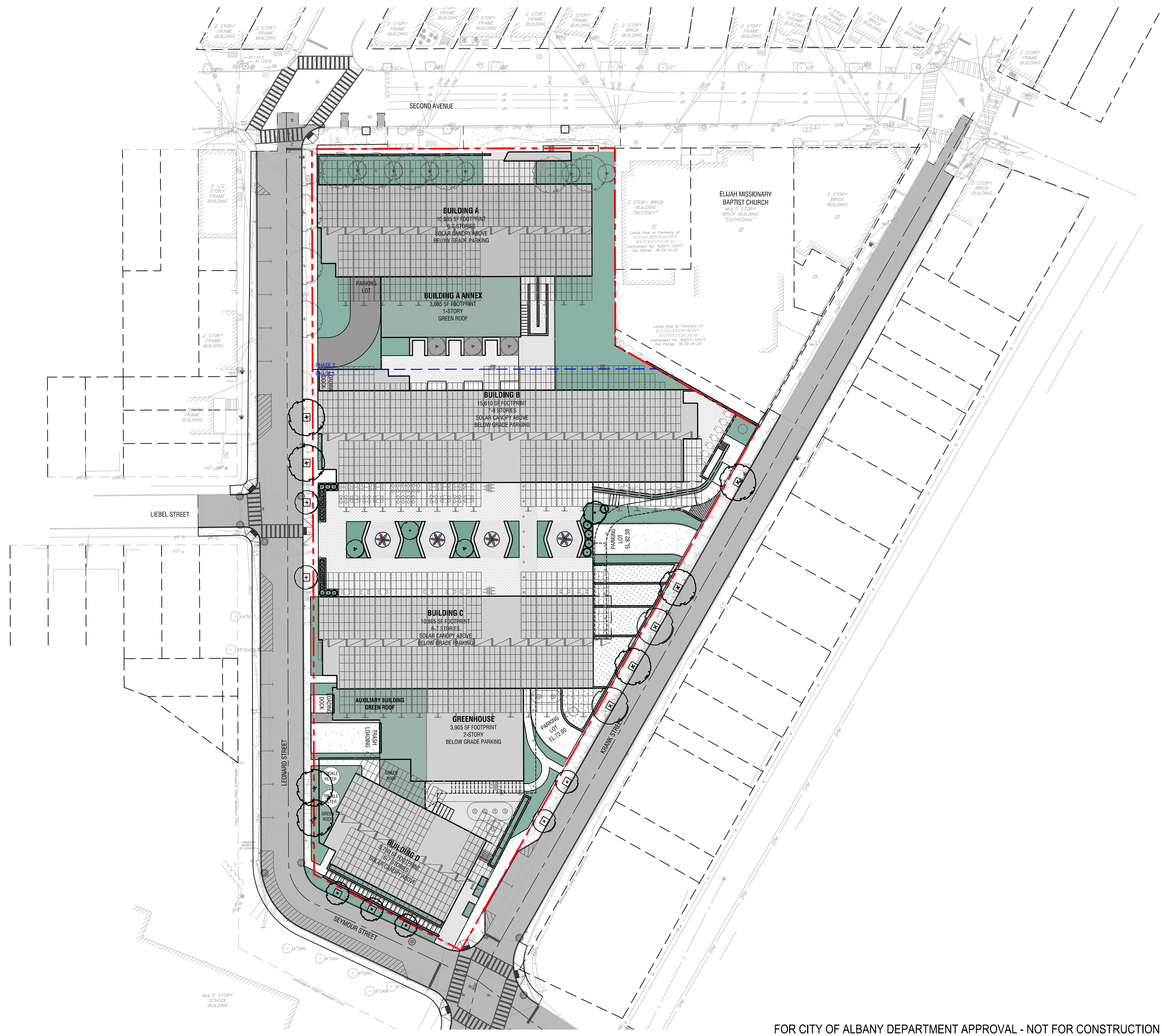
DOB Stamp & Signature

DOB Scan:

Drawing Title: Notes & Legend

Drawing Number: C-001

DWG.No:



THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

Drawing Title:
Master Plan

Drawing Number:

C-110

DWG.No:



THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

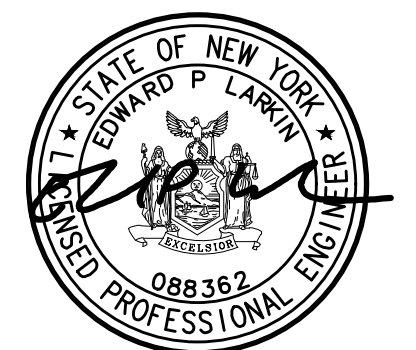
Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

Drawing Title:

**Alternate
Master Plan**

Drawing Number:

C-111

DWG.No:

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

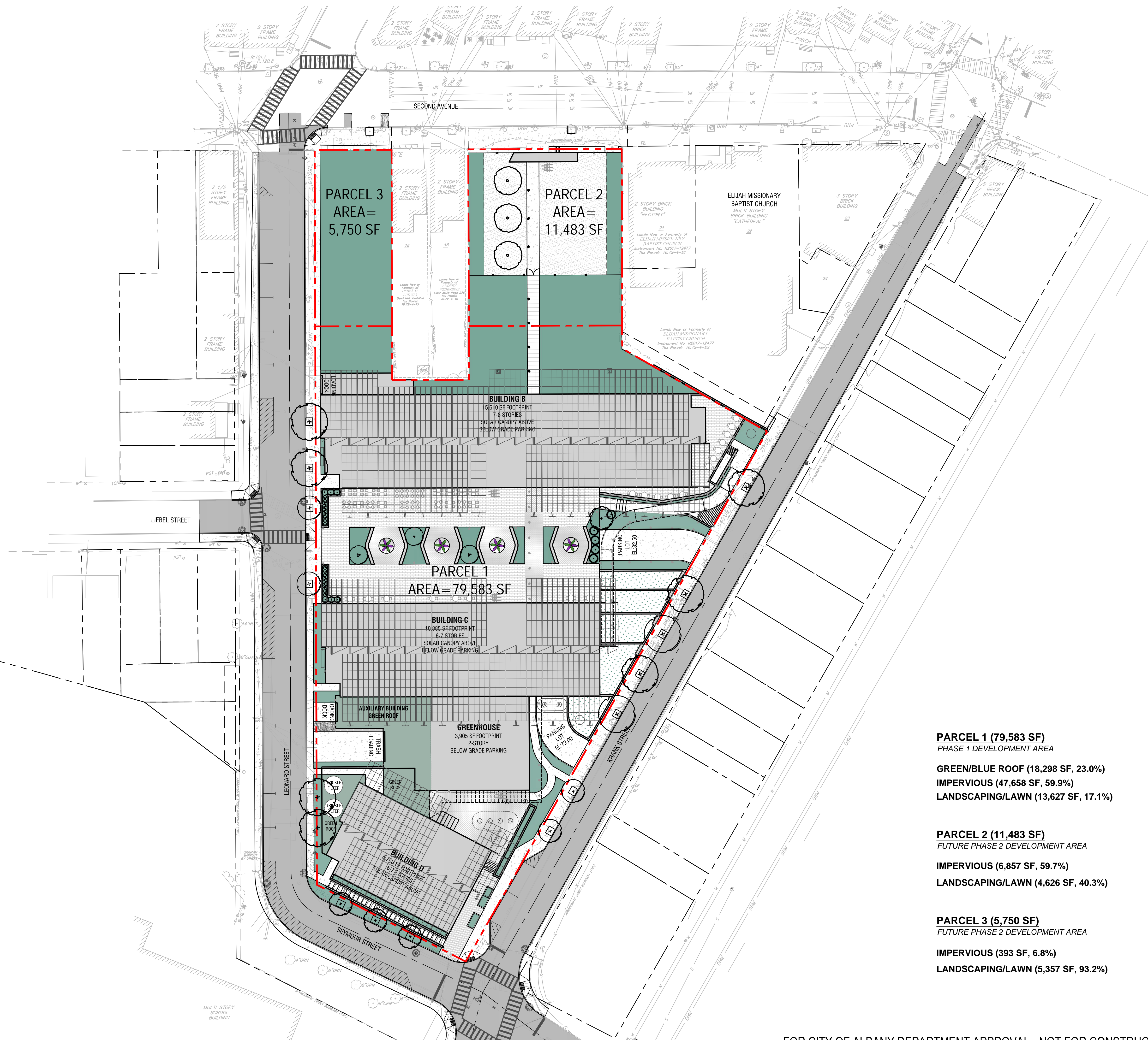
Drawing Title:

Phase 1 Master Plan

Drawing Number:

C-112

DWG.No:



PARCEL 1 (79,583 SF)
PHASE 1 DEVELOPMENT AREA
GREEN/BLUE ROOF (18,298 SF, 23.0%)
IMPERVIOUS (47,658 SF, 59.9%)
LANDSCAPING/LAWN (13,627 SF, 17.1%)

PARCEL 2 (11,483 SF)
FUTURE PHASE 2 DEVELOPMENT AREA
IMPERVIOUS (6,857 SF, 59.7%)
LANDSCAPING/LAWN (4,626 SF, 40.3%)

PARCEL 3 (5,750 SF)
FUTURE PHASE 2 DEVELOPMENT AREA
IMPERVIOUS (393 SF, 6.8%)
LANDSCAPING/LAWN (5,357 SF, 93.2%)

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

Drawing Title:
Demolition Plan

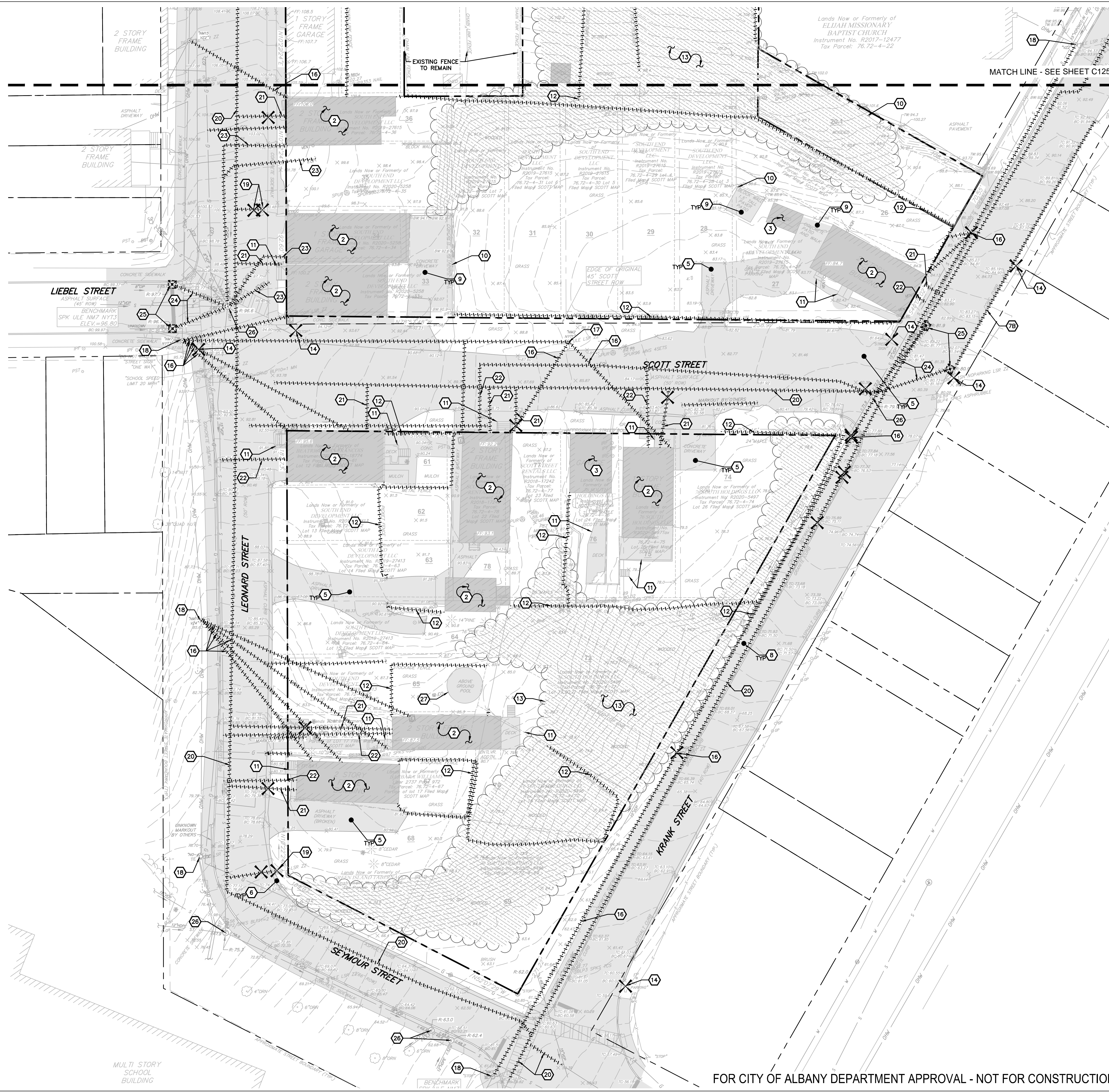
Drawing Number:

C-120

DWG.No:

KEYED NOTES:

- 1 EXISTING PROPERTY LINE TO BE REMOVED, AS PART OF LOT CONSOLIDATION.
- 2 EXISTING BUILDING TO BE DEMOLISHED UNDER SEPARATE CONTRACT.
- 3 EXISTING ACCESSORY STRUCTURE TO BE DEMOLISHED UNDER SEPARATE CONTRACT.
- 4 SAWCUT CLEAN EDGE IN ASPHALT PAVEMENT, CUT 18" MINIMUM FROM EXISTING OR PROPOSED CURB FACE.
- 5 EXISTING ASPHALT PAVEMENT SECTION AND SUBBASE TO BE REMOVED TO DEPTH OF NEW CONSTRUCTION.
- 6 EXISTING ASPHALT WING CURB TO BE REMOVED.
- 7 EXISTING GRANITE CURB TO BE REMOVED. AT LIMIT OF CURB REMOVAL, REMOVE TO NEAREST JOINT. SALVAGE AND REUSE ALL GRANITE CURB IN GOOD CONDITION.
- 7A EXISTING GRANITE CURB TO BE TEMPORARILY REMOVED AND RESET. AT LIMIT OF CURB REMOVAL, REMOVE TO NEAREST JOINT.
- 7B EXISTING CONCRETE CURB TO BE REMOVED.
- 8 EXISTING CONCRETE SIDEWALK TO BE REMOVED. AT LIMIT OF SIDEWALK REMOVAL, REMOVE TO NEAREST CONSTRUCTION JOINT.
- 9 EXISTING CONCRETE PAD AND/OR PAVERS TO BE REMOVED.
- 10 EXISTING RETAINING WALL AND FOUNDATION TO BE REMOVED.
- 11 EXISTING DECK, STAIR, RAILING AND LANDING TO BE REMOVED.
- 12 EXISTING FENCE, AND FENCE POSTS TO BE REMOVED IN ENTIRETY.
- 13 EXISTING TREES TO BE REMOVED IN ENTIRETY.
- 14 EXISTING SIGN AND POST TO BE REMOVED IN ENTIRETY.
- 15 EXISTING SIGN AND POST TO BE REMOVED AND RELOCATED.
- 16 EXISTING OVERHEAD TELEPHONE LINES, POWER LINES, UTILITY POLES WITH APPURTENANCES, AND STREET LIGHTS TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITIES PROVIDER PRIOR TO REMOVAL AND CONFIRM ALL LINES HAVE BEEN DE-ENERGIZED.
- 17 EXISTING ELECTRICAL STRUCTURE/UTILITY POLE TO BE REMOVED. COORDINATE WITH UTILITY PROVIDER FOR TERMINATION.
- 18 EXISTING UTILITY POLE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 19 EXISTING FIRE HYDRANT, VALVE AND SERVICE TO BE REMOVED. COORDINATE WITH CITY OF ALBANY DEPARTMENT OF WATER AND WATER SUPPLY.
- 20 EXISTING WATER MAIN TO BE REMOVED. MAIN TO REMAIN IN SERVICE UNTIL NEW WATER MAIN HAS BEEN TESTED AND DISINFECTED. COORDINATE WITH CITY OF ALBANY DEPARTMENT OF WATER AND WATER SUPPLY.
- 21 FIELD LOCATE AND REMOVE EXISTING WATER SERVICE. COORDINATE WITH CITY OF ALBANY DEPARTMENT OF WATER AND WATER SUPPLY.
- 22 FIELD LOCATE AND REMOVE EXISTING SANITARY SERVICE BACK TO MAIN. REMOVE WYE FITTING ON COMBINED SEWER MAIN AND REPLACE WITH SPOOL PIECE OF PIPE AND TWO FERNICO FITTINGS.
- 23 FIELD LOCATE AND REMOVE EXISTING SANITARY SERVICE BACK TO SANITARY MANHOLE. PLUG PIPE PENETRATION WITH WATERTIGHT MORTAR/GROUT.
- 24 EXISTING STORM SEWER PIPE TO BE REMOVED BACK TO SANITARY MANHOLE. PLUG PIPE PENETRATION WITH WATERTIGHT MORTAR/GROUT.
- 25 EXISTING CATCH BASIN TO BE REMOVED. COORDINATE WITH CITY OF ALBANY DEPARTMENT OF WATER AND WATER SUPPLY.
- 26 EXISTING UTILITY STRUCTURE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. CONTRACTOR TO ADJUST STRUCTURE AND TF/RIM ELEVATION AS REQUIRED TO MATCH FINISHED GRADE.
- 27 EXISTING POOL TO BE REMOVED.



THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

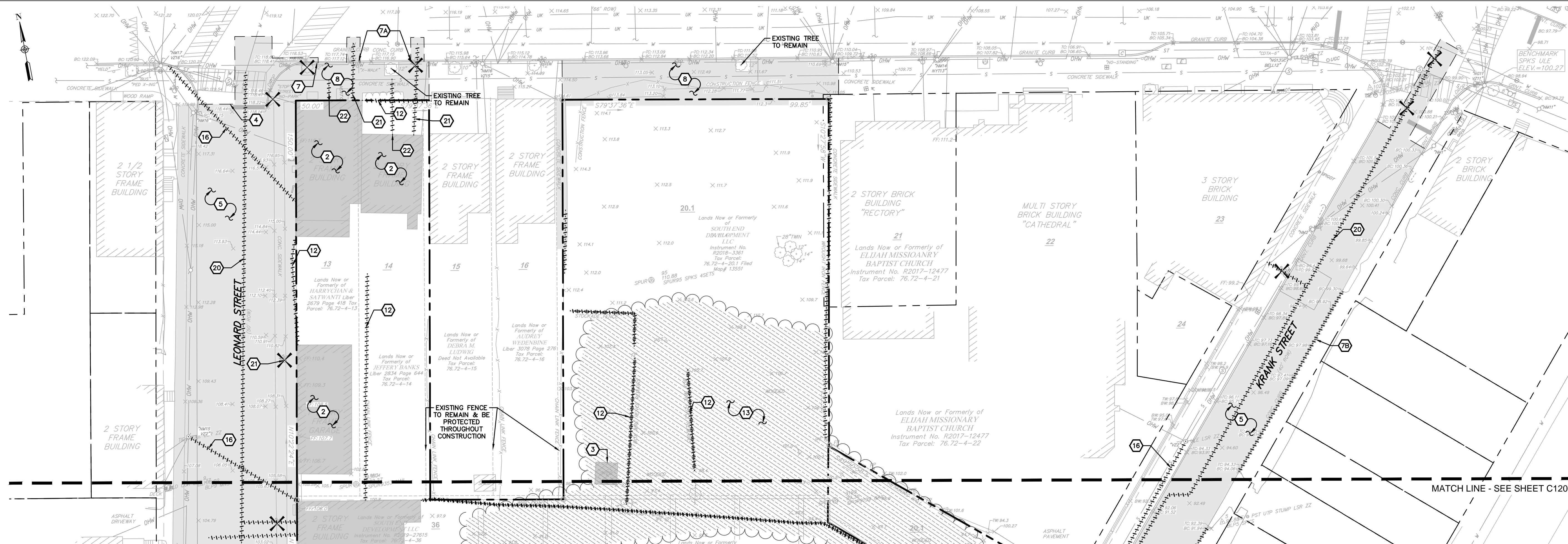
DOB Scan:

Drawing Title: Demolition & Site Layout Plan

Drawing Number:

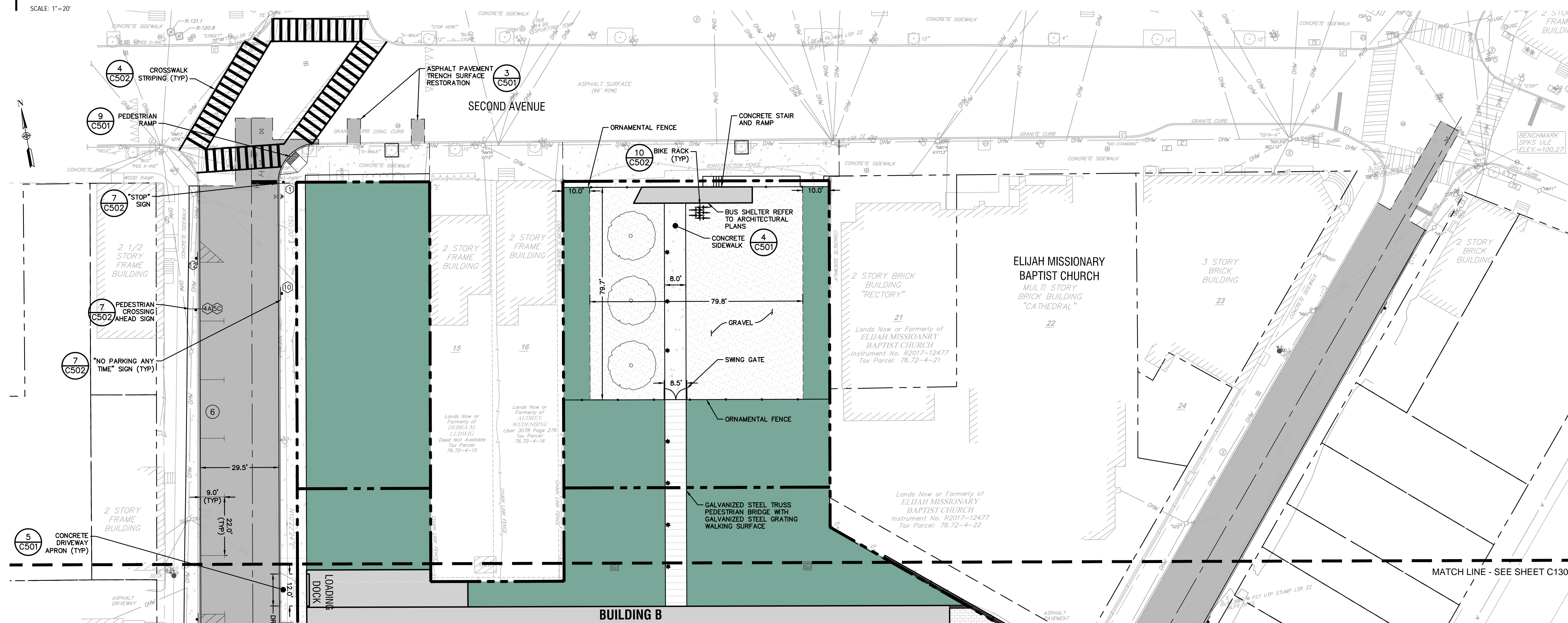
C-125

DWG.No:



1 DEMOLITION PLAN

SCALE: 1"=20'



2 SITE LAYOUT PLAN

SCALE: 1"=20'

FOR CITY OF ALBANY DEPARTMENT APPROVAL - NOT FOR CONSTRUCTION

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date
-----------------	----------------------	---------------

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

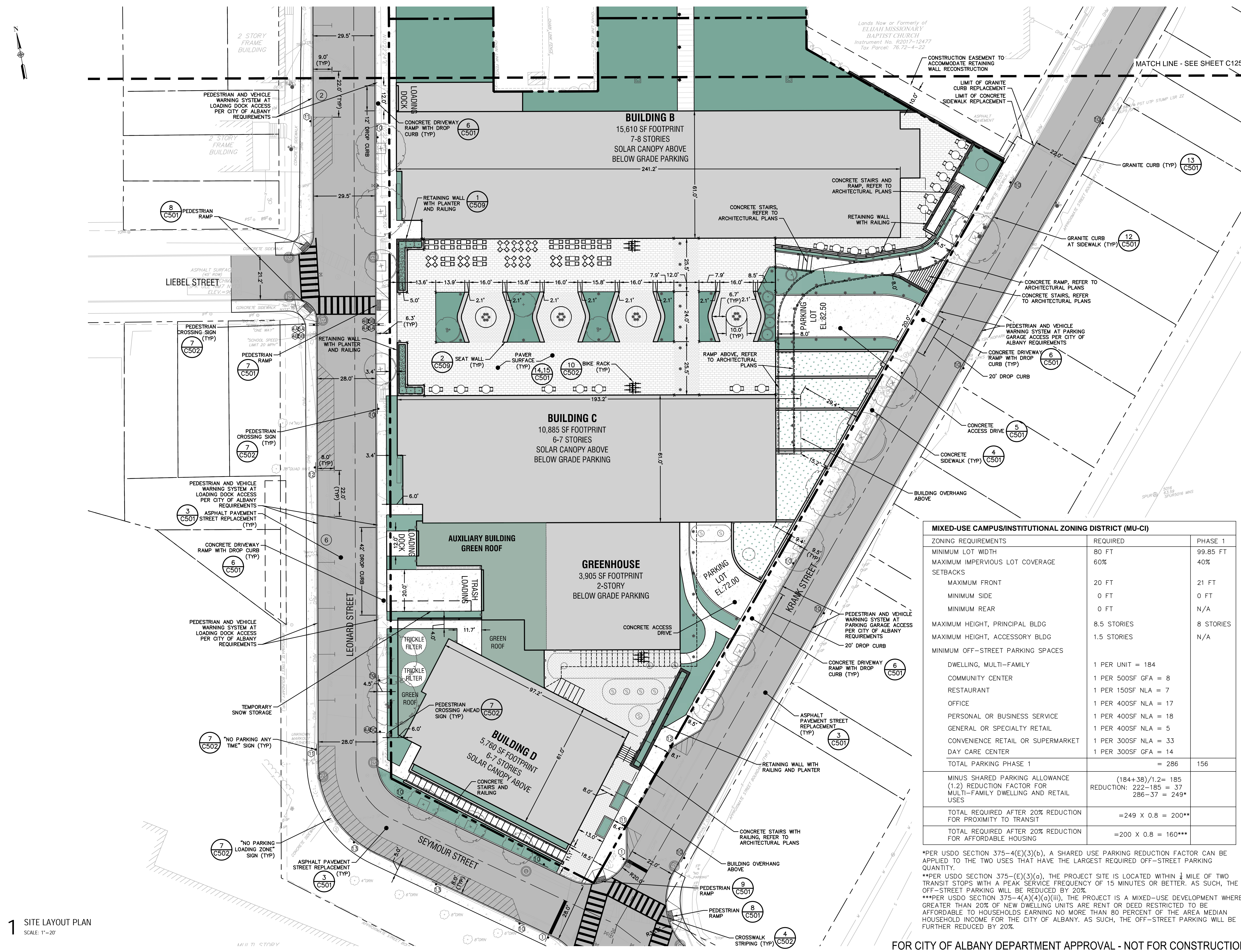
DOB Scan:

Drawing Title:
Site Layout Plan

Drawing Number:

C-130

DWG.No:



MIXED-USE CAMPUS/INSTITUTIONAL ZONING DISTRICT (MU-CI)		
ZONING REQUIREMENTS	REQUIRED	PHASE 1
MINIMUM LOT WIDTH	80 FT	99.85 FT
MAXIMUM IMPERVIOUS LOT COVERAGE	60%	40%
SETBACKS		
MAXIMUM FRONT	20 FT	21 FT
MINIMUM SIDE	0 FT	0 FT
MINIMUM REAR	0 FT	N/A
MAXIMUM HEIGHT, PRINCIPAL BLDG	8.5 STORIES	8 STORIES
MAXIMUM HEIGHT, ACCESSORY BLDG	1.5 STORIES	N/A
MINIMUM OFF-STREET PARKING SPACES		
DWELLING, MULTI-FAMILY	1 PER UNIT = 184	
COMMUNITY CENTER	1 PER 500SF GFA = 8	
RESTAURANT	1 PER 150SF NLA = 7	
OFFICE	1 PER 400SF NLA = 17	
PERSONAL OR BUSINESS SERVICE	1 PER 400SF NLA = 18	
GENERAL OR SPECIALTY RETAIL	1 PER 400SF NLA = 5	
CONVENIENCE RETAIL OR SUPERMARKET	1 PER 300SF NLA = 33	
DAY CARE CENTER	1 PER 300SF GFA = 14	
TOTAL PARKING PHASE 1	= 286	156
MINUS SHARED PARKING ALLOWANCE (1.2) REDUCTION FACTOR FOR MULTI-FAMILY DWELLING AND RETAIL USES	(184+38)/1.2 = 185 REDUCTION: 222-185 = 37 286-37 = 249*	
TOTAL REQUIRED AFTER 20% REDUCTION FOR PROXIMITY TO TRANSIT	= 249 X 0.8 = 200**	
TOTAL REQUIRED AFTER 20% REDUCTION FOR AFFORDABLE HOUSING	= 200 X 0.8 = 160***	

*PER USDO SECTION 375-4(E)(3)(b), A SHARED USE PARKING REDUCTION FACTOR CAN BE APPLIED TO THE TWO USES THAT HAVE THE LARGEST REQUIRED OFF-STREET PARKING QUANTITY.
**PER USDO SECTION 375-4(A)(3)(c), THE PROJECT SITE IS LOCATED WITHIN 1/4 MILE OF TWO TRANSIT STOPS WITH A PEAK SERVICE FREQUENCY OF 15 MINUTES OR BETTER. AS SUCH, THE OFF-STREET PARKING WILL BE REDUCED BY 20%.
***PER USDO SECTION 375-4(A)(4)(iii), THE PROJECT IS A MIXED-USE DEVELOPMENT WHERE GREATER THAN 20% OF NEW DWELLING UNITS ARE RENT OR DEED RESTRICTED TO BE AFFORDABLE TO HOUSEHOLDS EARNING NO MORE THAN 80 PERCENT OF THE AREA MEDIAN HOUSEHOLD INCOME FOR THE CITY OF ALBANY. AS SUCH, THE OFF-STREET PARKING WILL BE FURTHER REDUCED BY 20%.

FOR CITY OF ALBANY DEPARTMENT APPROVAL - NOT FOR CONSTRUCTION

1 SITE LAYOUT PLAN
SCALE: 1"=20'

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date
-----------------	----------------------	---------------

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

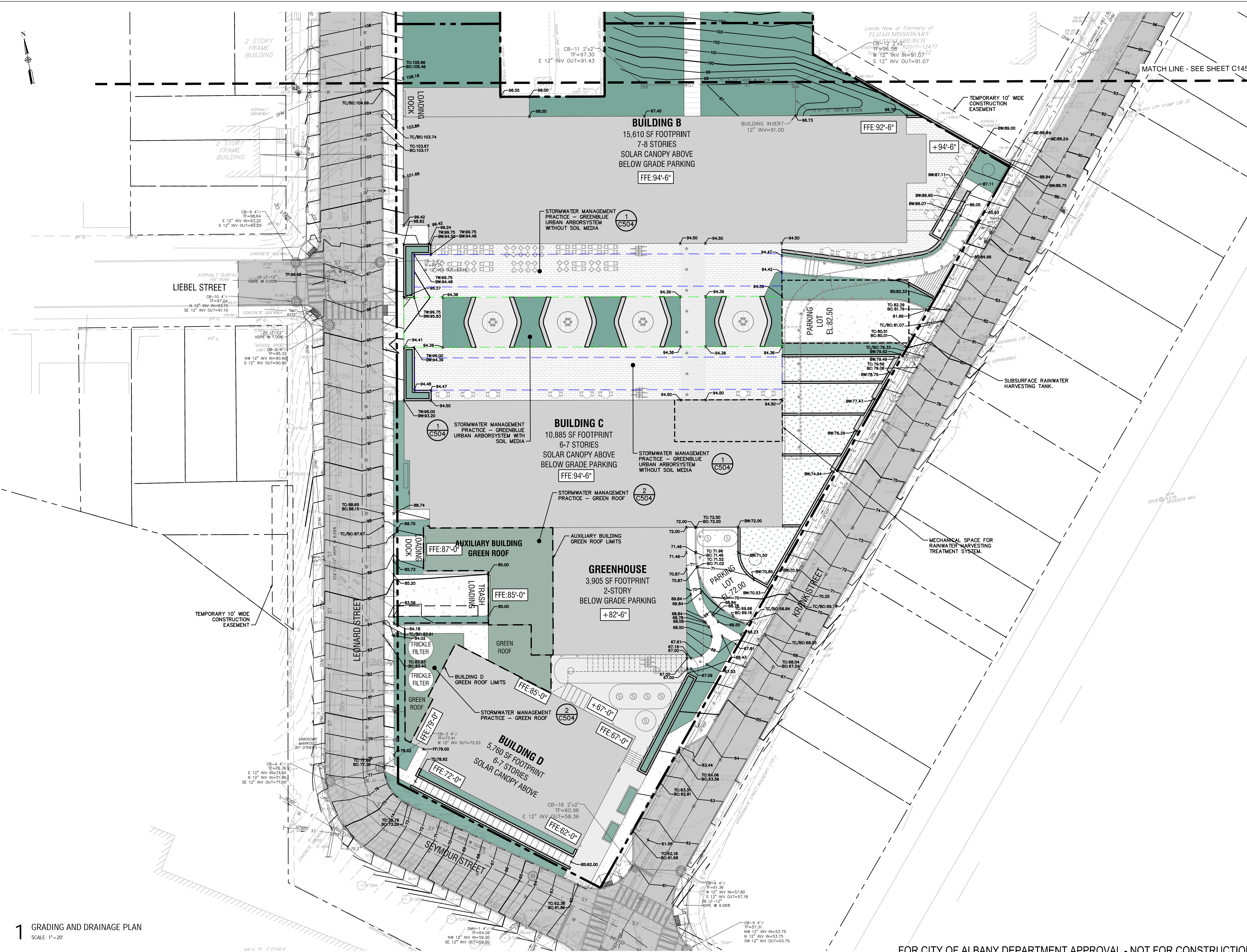
DOB Scan:

Drawing Title: Grading & Drainage Plan

Drawing Number:

C-140

DWG.No:



1 GRADING AND DRAINAGE PLAN
SCALE: 1"=20'

FOR CITY OF ALBANY DEPARTMENT APPROVAL - NOT FOR CONSTRUCTION

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

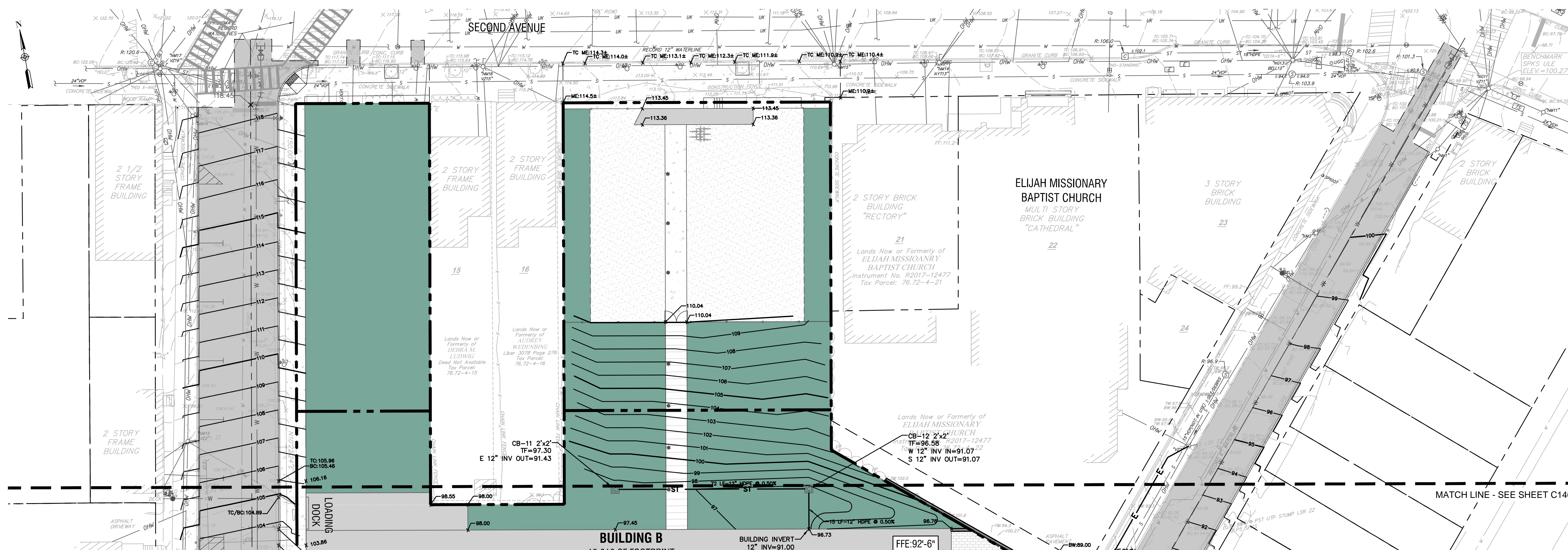
DOB Scan:

Drawing Title:
**Grading, Drainage,
Erosion & Sediment
Control Plan**

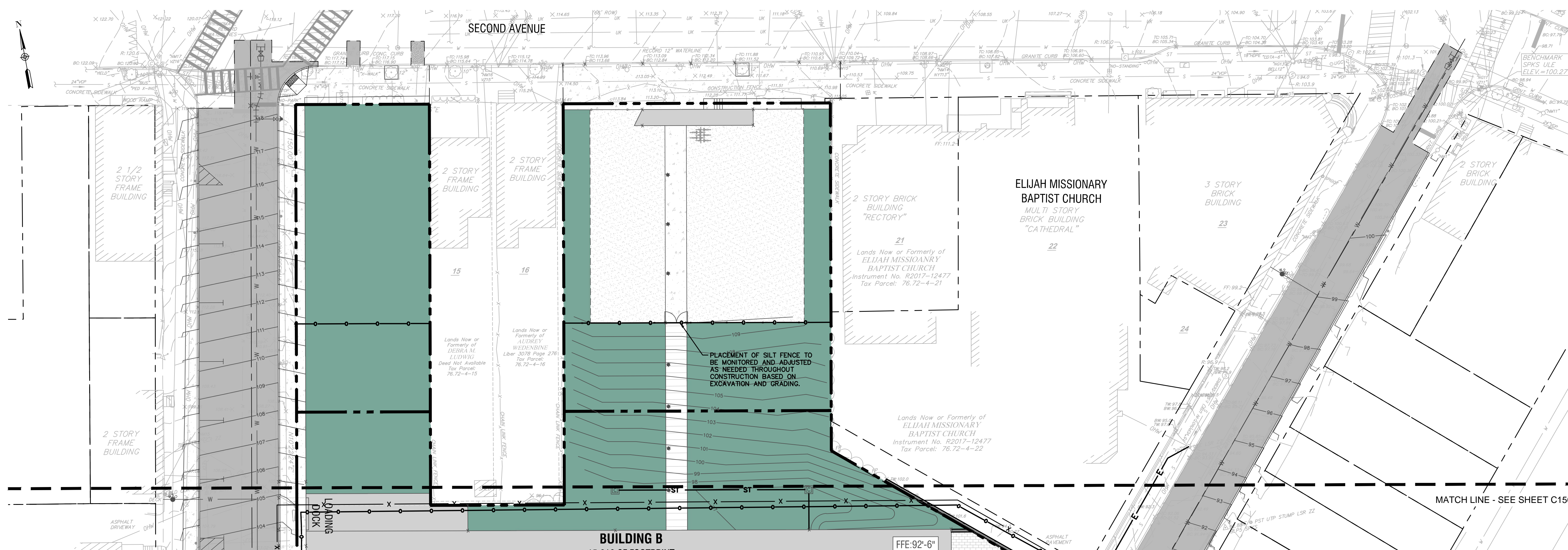
Drawing Number:

C-145

DWG.No:



1 GRADING & DRAINAGE PLAN
SCALE: 1"=20'



2 EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=20'

FOR CITY OF ALBANY DEPARTMENT APPROVAL - NOT FOR CONSTRUCTION

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date
1	STABILIZED CONSTRUCTION ACCESS (CONTRACTOR TO ADJUST LOCATION AS NECESSARY THROUGHOUT CONSTRUCTION)	
2	SILT FENCE (TYP)	
3	TEMPORARY SOIL STOCKPILE	
4	CONCRETE WASHOUT (CONTRACTOR TO ADJUST LOCATION AS NECESSARY THROUGHOUT CONSTRUCTION)	
5	MANUFACTURED INSERT INLET PROTECTION	
10	TEMPORARY SEDIMENT TRAP	

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

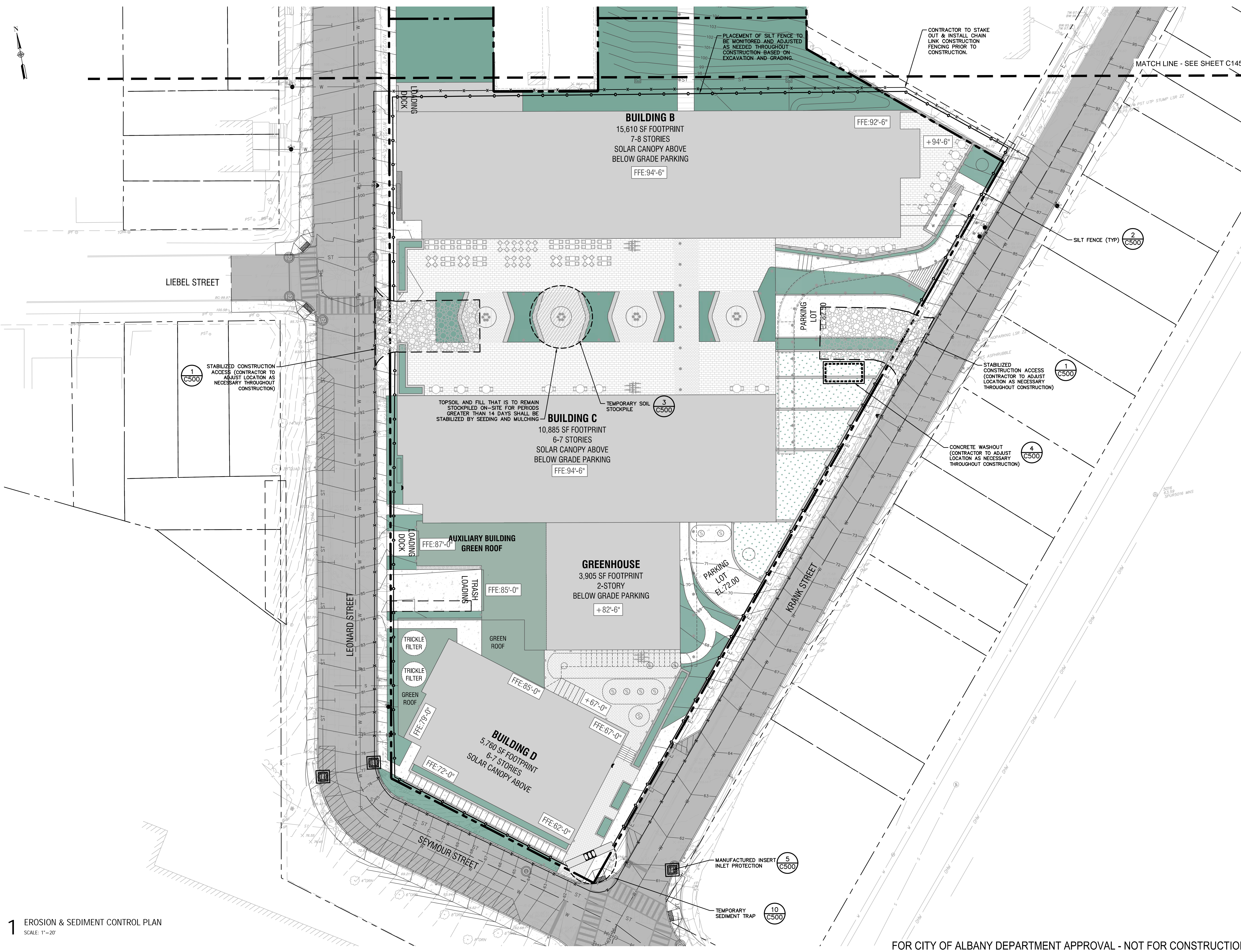
DOB Scan:

Drawing Title:
Erosion & Sediment Control Plan

Drawing Number:

C-150

DWG.No:



THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date
1	PIPE TRENCH (TYP) C503	

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

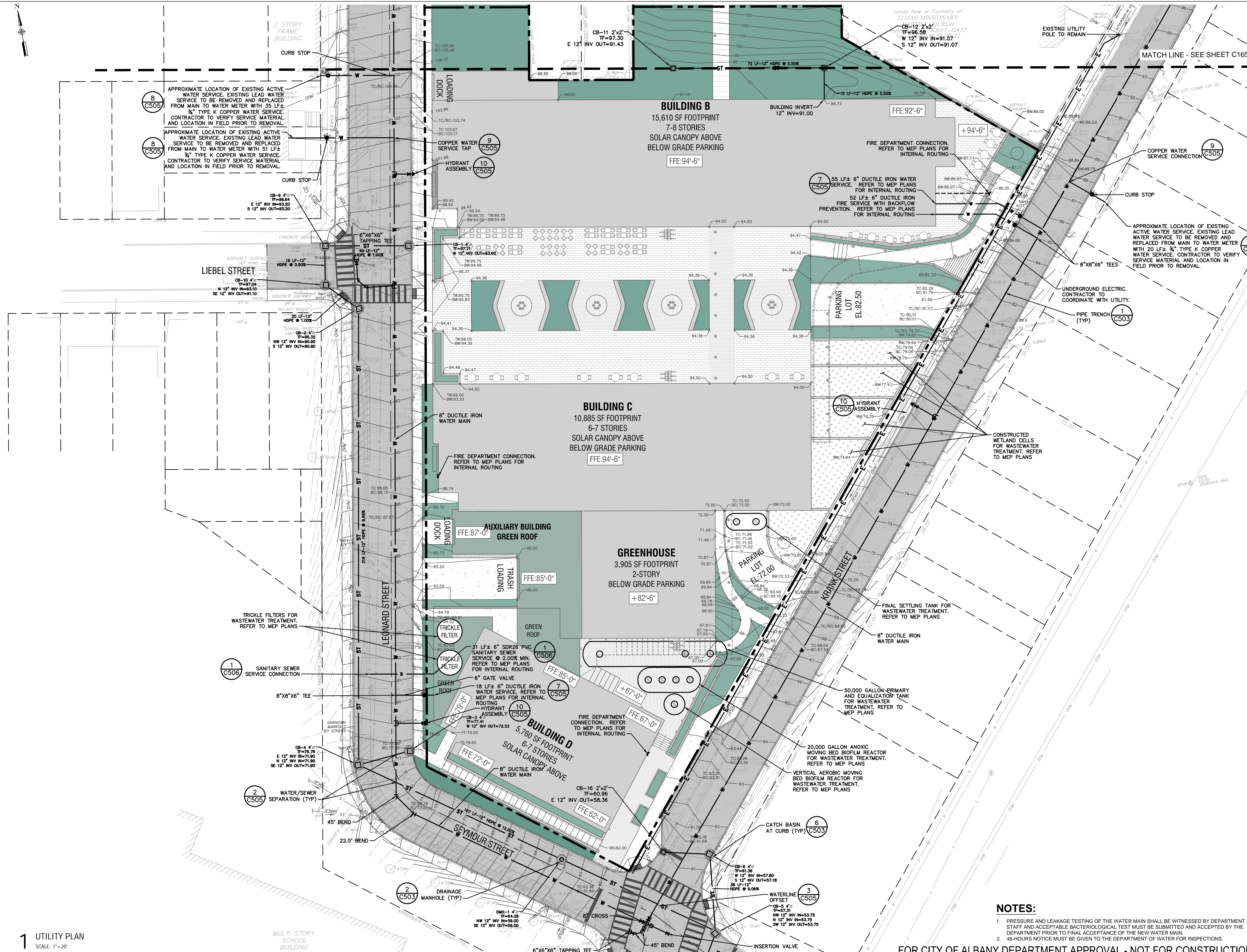
DOB Scan:

Drawing Title:
Utility Plan

Drawing Number:

C-160

DWG.No:



NOTES:

- PRESSURE AND LEAKAGE TESTING OF THE WATER MAIN SHALL BE WITNESSED BY DEPARTMENT STAFF AND ACCEPTABLE BACTERIOLOGICAL TEST MUST BE SUBMITTED AND ACCEPTED BY THE DEPARTMENT PRIOR TO FINAL ACCEPTANCE OF THE NEW WATER MAIN.
- 48-HOURS NOTICE MUST BE GIVEN TO THE DEPARTMENT OF WATER FOR INSPECTIONS.

FOR CITY OF ALBANY DEPARTMENT APPROVAL - NOT FOR CONSTRUCTION

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date
-----------------	----------------------	---------------

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



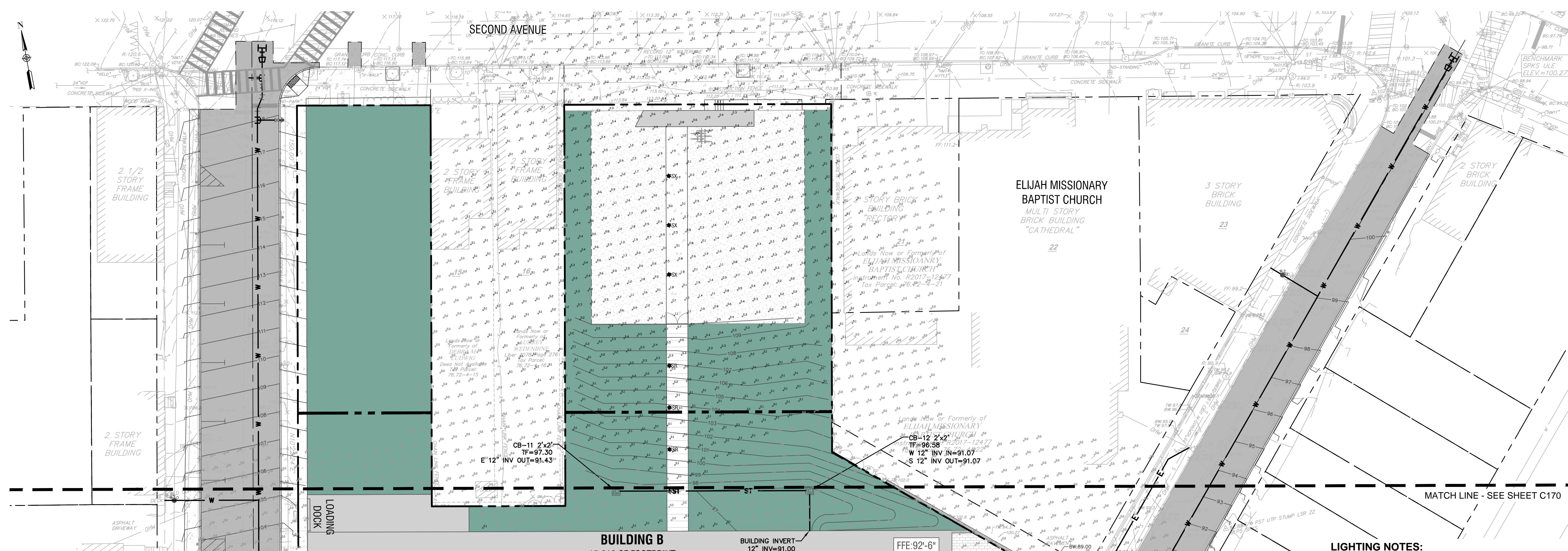
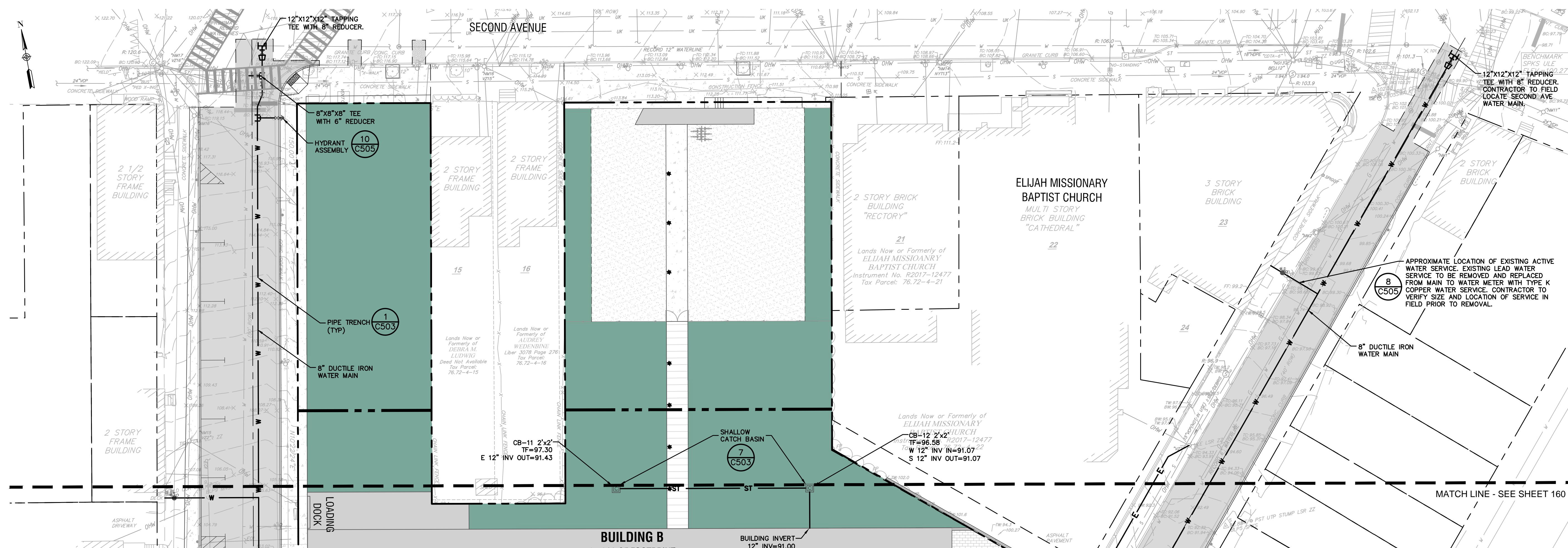
DOB Stamp & Signature

DOB Scan:

Drawing Title:
Utility & Lighting Plan

Drawing Number:
C-165

DWG.No:



LIGHTING NOTES:

1. SEE SHEET C170 FOR OVERALL LIGHTING SCHEDULE.

FOR CITY OF ALBANY DEPARTMENT APPROVAL - NOT FOR CONSTRUCTION

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

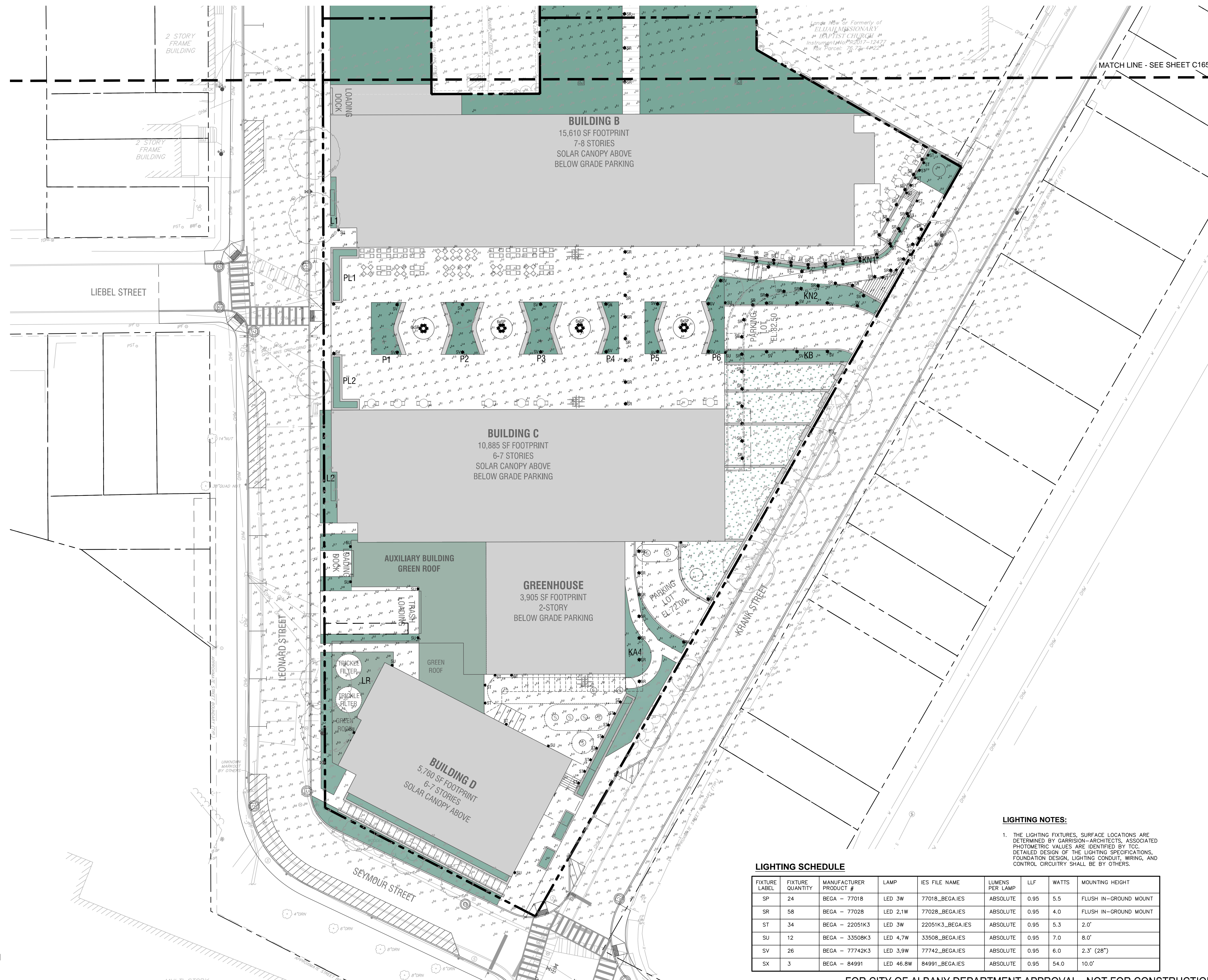
Drawing Title:

Lighting Plan

Drawing Number:

C-170

DWG.No:



LIGHTING NOTES:
1. THE LIGHTING FIXTURES, SURFACE LOCATIONS ARE DETERMINED BY GARRISON-ARCHITECTS, ASSOCIATED PHOTOMETRIC VALUES ARE IDENTIFIED BY TCC DETAILED DESIGN OF THE LIGHTING SPECIFICATIONS, FOUNDATION DESIGN, LIGHTING CONDUIT, WIRING, AND CONTROL CIRCUITRY SHALL BE BY OTHERS.

LIGHTING SCHEDULE

FIXTURE LABEL	FIXTURE QUANTITY	MANUFACTURER PRODUCT #	LAMP	IES FILE NAME	LUMENS PER LAMP	LLF	WATTS	MOUNTING HEIGHT
SP	24	BEGA - 77018	LED 3W	77018_BEGA.IES	ABSOLUTE	0.95	5.5	FLUSH IN-GROUND MOUNT
SR	58	BEGA - 77028	LED 2,1W	77028_BEGA.IES	ABSOLUTE	0.95	4.0	FLUSH IN-GROUND MOUNT
ST	34	BEGA - 22051K3	LED 3W	22051K3_BEGA.IES	ABSOLUTE	0.95	5.3	2.0'
SU	12	BEGA - 33508K3	LED 4,7W	33508_BEGA.IES	ABSOLUTE	0.95	7.0	8.0'
SV	26	BEGA - 77742K3	LED 3,9W	77742_BEGA.IES	ABSOLUTE	0.95	6.0	2.3' (28")
SX	3	BEGA - 84991	LED 46.8W	84991_BEGA.IES	ABSOLUTE	0.95	54.0	10.0'

FOR CITY OF ALBANY DEPARTMENT APPROVAL - NOT FOR CONSTRUCTION

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

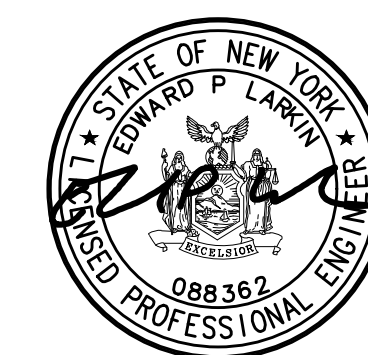
Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

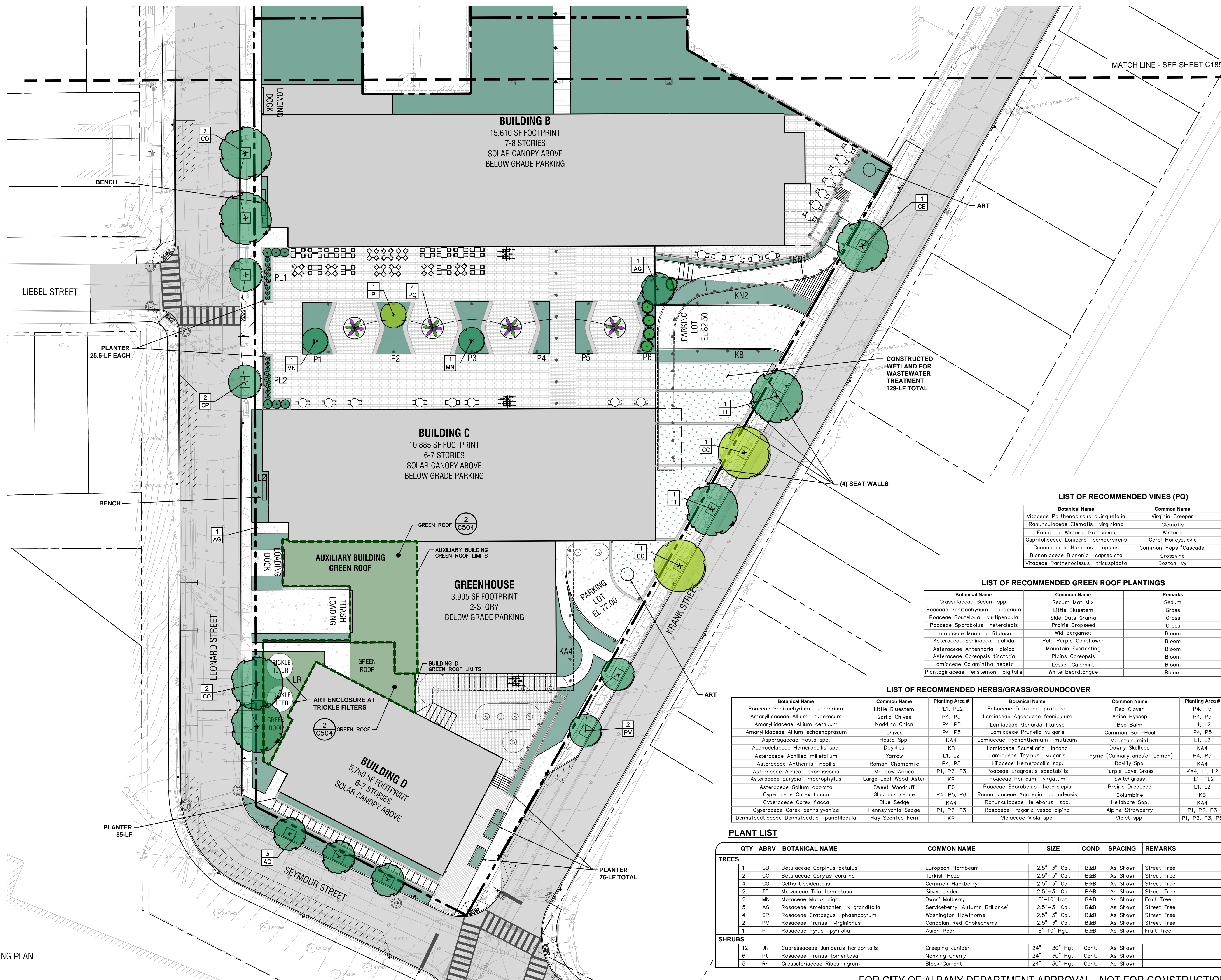
Drawing Title:

Landscaping Plan

Drawing Number:

C-180

DWG.No:



LIST OF RECOMMENDED VINES (PQ)

Botanical Name	Common Name
Vitaceae Parthenocissus quinquefolia	Virginia Creeper
Ranunculaceae Clematis virginiana	Clematis
Fabaceae Wisteria frutescens	Wisteria
Caprifoliaceae Lonicera sempervirens	Coral Honeysuckle
Cannabaceae Humulus lupulus	Common Hops 'Cascade'
Bignoniaceae Bignonia capreolata	Crossvine
Vitaceae Parthenocissus tricuspidata	Boston Ivy

LIST OF RECOMMENDED GREEN ROOF PLANTINGS

Botanical Name	Common Name	Remarks
Crassulaceae Sedum spp.	Sedum Mat Mix	Sedum
Poaceae Schizachyrium scoparium	Little Bluestem	Grass
Poaceae Bouteloua curtipendula	Side Oats Grama	Grass
Poaceae Sporobolus heterolepis	Prairie Dropseed	Grass
Lamiaceae Monarda fistulosa	Wild Bergamot	Bloom
Asteraceae Echinacea pallida	Pale Purple Coneflower	Bloom
Asteraceae Antennaria dioica	Mountain Everlasting	Bloom
Asteraceae Coreopsis tinctoria	Plains Coreopsis	Bloom
Lamiaceae Calamintha nepeta	Lesser Calamint	Bloom
Plantaginaceae Penstemon digitalis	White Beardtongue	Bloom

LIST OF RECOMMENDED HERBS/GRASS/GROUNDCOVER

Botanical Name	Common Name	Planting Area #	Botanical Name	Common Name	Planting Area #
Poaceae Schizachyrium scoparium	Little Bluestem	PL1, PL2	Fabaceae Trifolium pratense	Red Clover	P4, P5
Amaryllidaceae Allium tuberosum	Garlic Chives	P4, P5	Lamiaceae Agastache foeniculum	Anise Hyssop	P4, P5
Amaryllidaceae Allium cernuum	Nodding Onion	P4, P5	Lamiaceae Monarda fistulosa	Bee Balm	L1, L2
Amaryllidaceae Allium schoenoprasum	Chives	P4, P5	Lamiaceae Prunella vulgaris	Common Self-Heal	P4, P5
Asparagaceae Hosta spp.	Hosta Spp.	KA4	Lamiaceae Pycnanthemum multicutum	Mountain mint	L1, L2
Asphodelaceae Hemerocallis spp.	Daylilies	KB	Lamiaceae Scutellaria incana	Downy Skullcap	KA4
Asteraceae Achillea millefolium	Yarrow	L1, L2	Lamiaceae Thymus vulgaris	Thyme (Culinary and/or Lemon)	P4, P5
Asteraceae Anthemis nobilis	Roman Chamomile	P4, P5	Liliaceae Hemerocallis spp.	Daylily Spp.	KA4
Asteraceae Arnica chamissonis	Meadow Arnica	P1, P2, P3	Poaceae Eragrostis spectabilis	Purple Love Grass	KA4, L1, L2
Asteraceae Eurybia macrophylla	Large Leaf Wood Aster	KB	Poaceae Panicum virgatum	Switchgrass	PL1, PL2
Asteraceae Galium odorata	Sweet Woodruff	P6	Poaceae Sporobolus heterolepis	Prairie Dropseed	L1, L2
Cyperaceae Carex flacca	Glaucous sedge	P4, P5, P6	Ranunculaceae Aquilegia canadensis	Columbine	KB
Cyperaceae Carex flacca	Blue Sedge	KA4	Ranunculaceae Helleborus spp.	Helibore Spp.	KA4
Cyperaceae Carex pensylvanica	Pennsylvania Sedge	P1, P2, P3	Rosaceae Fragaria vesca alpina	Alpine Strawberry	P1, P2, P3
Dennstaedtiaceae Dennstaedia punctilobula	Hay Scented Fern	KB	Violaceae Viola spp.	Violet spp.	P1, P2, P3, P6

PLANT LIST

QTY	ABRV	BOTANICAL NAME	COMMON NAME	SIZE	COND	SPACING	REMARKS
TREES							
1	CB	Betulaceae Carpinus betulus	European Hornbeam	2.5"-3" Cal.	B&B	As Shown	Street Tree
2	CC	Betulaceae Corylus cornuta	Turkish Hazel	2.5"-3" Cal.	B&B	As Shown	Street Tree
4	CO	Celtis Occidentalis	Common Hackberry	2.5"-3" Cal.	B&B	As Shown	Street Tree
2	TT	Malvaceae Tilia tomentosa	Silver Linden	2.5"-3" Cal.	B&B	As Shown	Street Tree
2	MN	Moraceae Morus nigra	Dwarf Mulberry	8'-10' Hgt.	B&B	As Shown	Fruit Tree
5	AG	Rosaceae Amelanchier x grandifolia	Serviceberry 'Autumn Brilliance'	2.5"-3" Cal.	B&B	As Shown	Street Tree
4	CP	Rosaceae Crataegus phaenopyrum	Washington Hawthorne	2.5"-3" Cal.	B&B	As Shown	Street Tree
2	PV	Rosaceae Prunus virginianus	Canadian Red Chokecherry	2.5"-3" Cal.	B&B	As Shown	Street Tree
1	P	Rosaceae Pyrus pyrifolia	Asian Pear	8'-10' Hgt.	B&B	As Shown	Fruit Tree
SHRUBS							
12	Jh	Cupressaceae Juniperus horizontalis	Creeping Juniper	24" - 30" Hgt.	Cont.	As Shown	
6	Pt	Rosaceae Prunus tomentosa	Nanking Cherry	24" - 30" Hgt.	Cont.	As Shown	
5	Rn	Grossulariaceae Ribes nigrum	Black Currant	24" - 30" Hgt.	Cont.	As Shown	

FOR CITY OF ALBANY DEPARTMENT APPROVAL - NOT FOR CONSTRUCTION

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

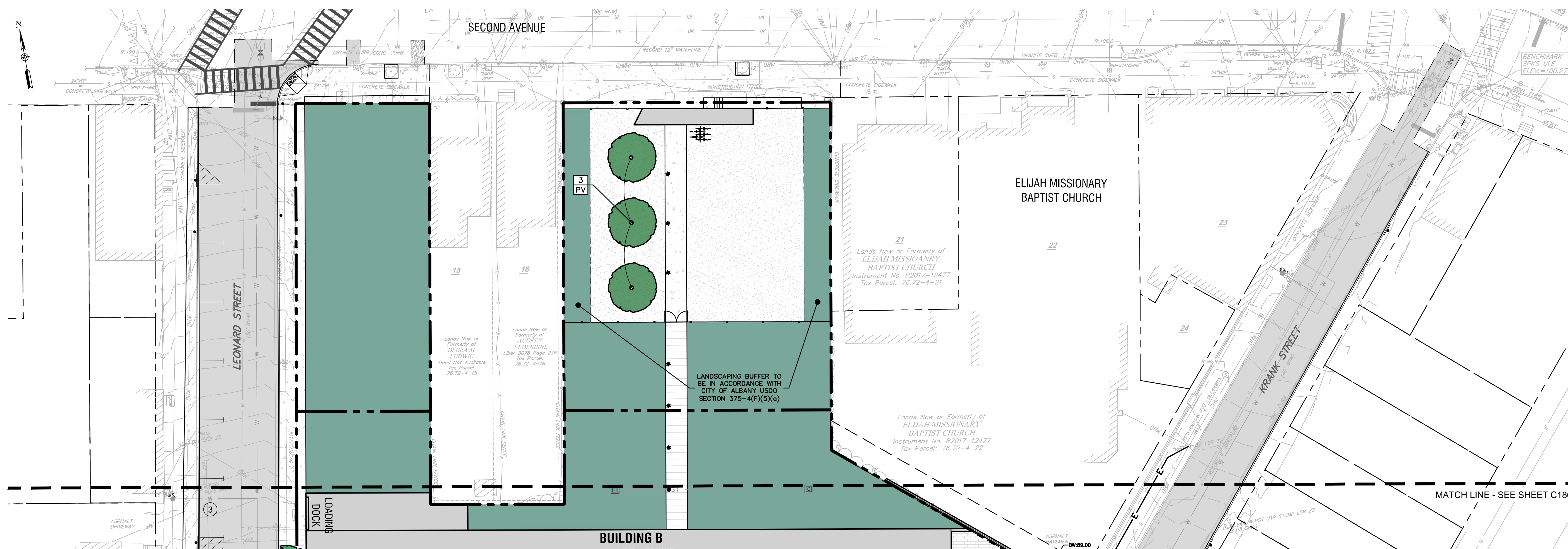
Drawing Title:

Landscaping & Plant Schedules

Drawing Number:

C-185

DWG.No:



1 LANDSCAPING PLAN

SCALE: 1"=20'

PLANT LIST

QTY	ABRV	BOTANICAL NAME	COMMON NAME	SIZE	COND	SPACING	REMARKS
TREES							
3	PV	Rosaceae Prunus virginianus	Canadian Red Chokecherry	10'-12' Hgt.	B&B	As Shown	

GROUNDCOVER MIX OPTION FOR LAWN

Option 1	Option 2
"Tall Fescue + micro-clover seed mix"	"Creeping Red Fescue" "Hard Fescue" "White Clover"

LIST OF RECOMMENDED GROUNDCOVER FOR BEE LAWN

Botanical Name	Common Name
Cyperaceae Carex pennsylvanica	Pennsylvania Sedge
Lamiaceae Prunella vulgaris	Common Self-Heal
Fabaceae Trifolium repens	White Clover
Asteraceae Anthemis nobilis	Roman Chamomile
Violaceae Viola spp.	Violets
Asteraceae Bellis perennis	English Daisy
Asteraceae Achillea millefolium	Yarrow

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date
-----------------	----------------------	---------------

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



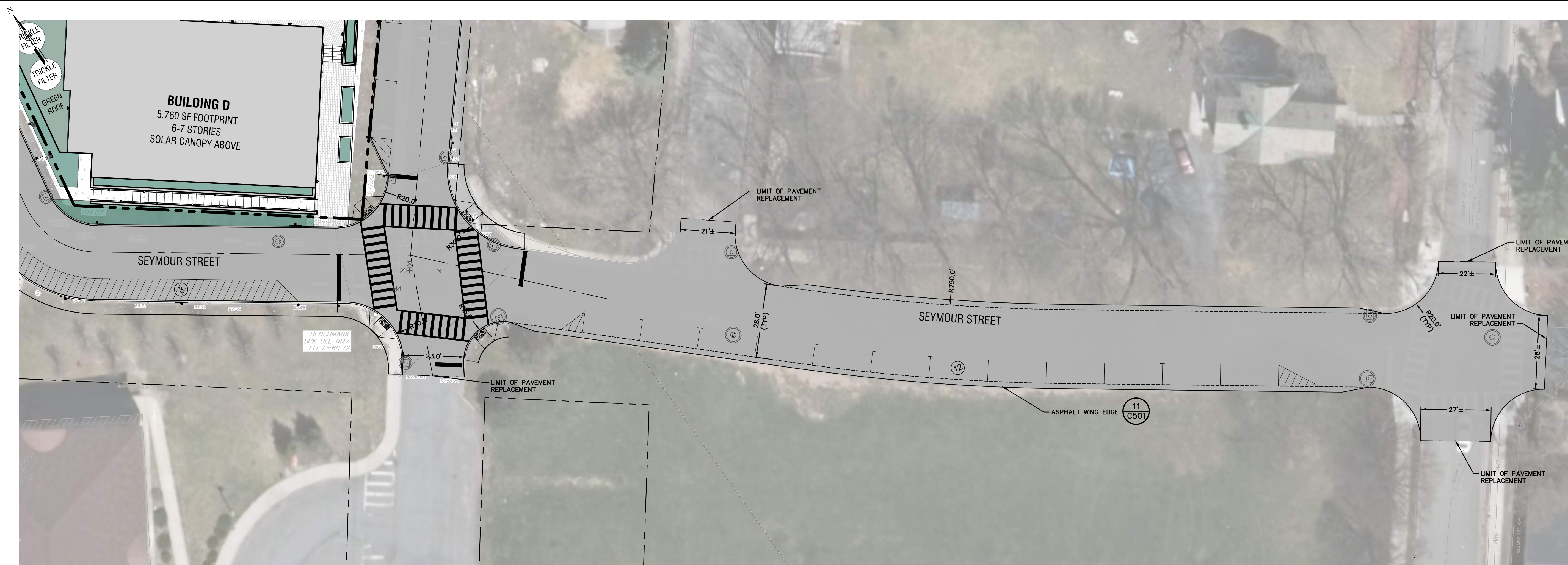
DOB Stamp & Signature

DOB Scan:

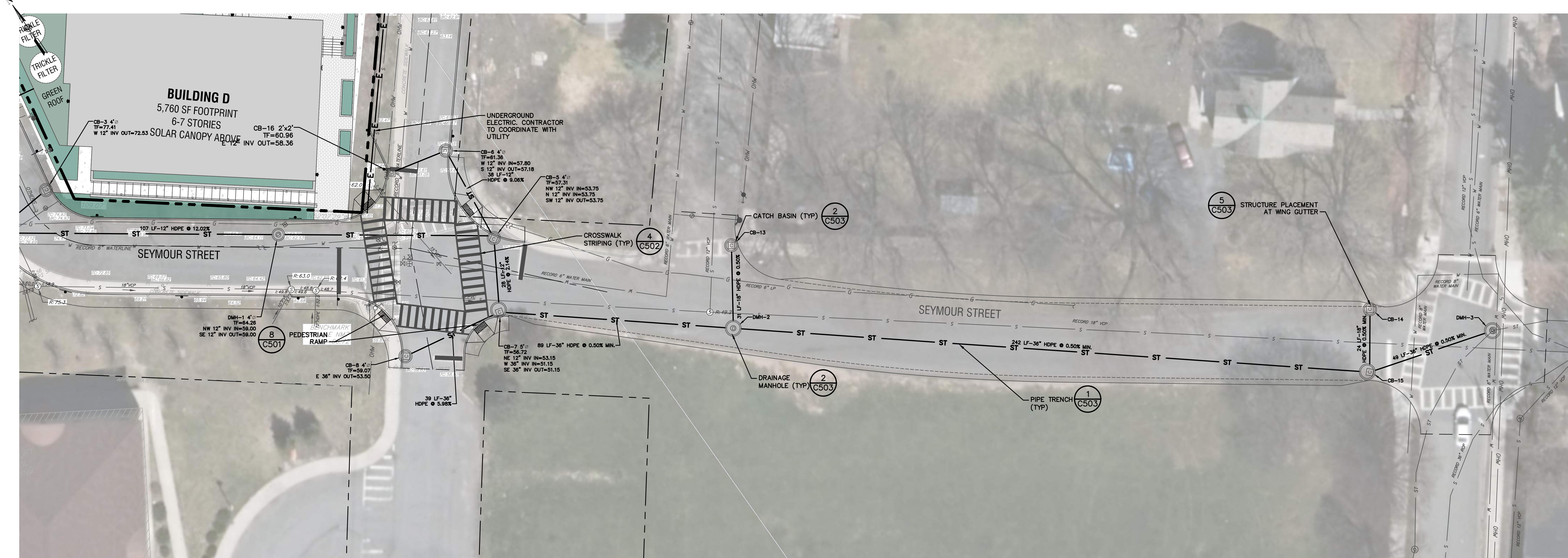
Drawing Title:
Offsite Improvements

Drawing Number:
C-190

DWG.No:



1 LAYOUT PLAN
SCALE: 1"=20'



2 GRADING & UTILITY PLAN
SCALE: 1"=20'

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



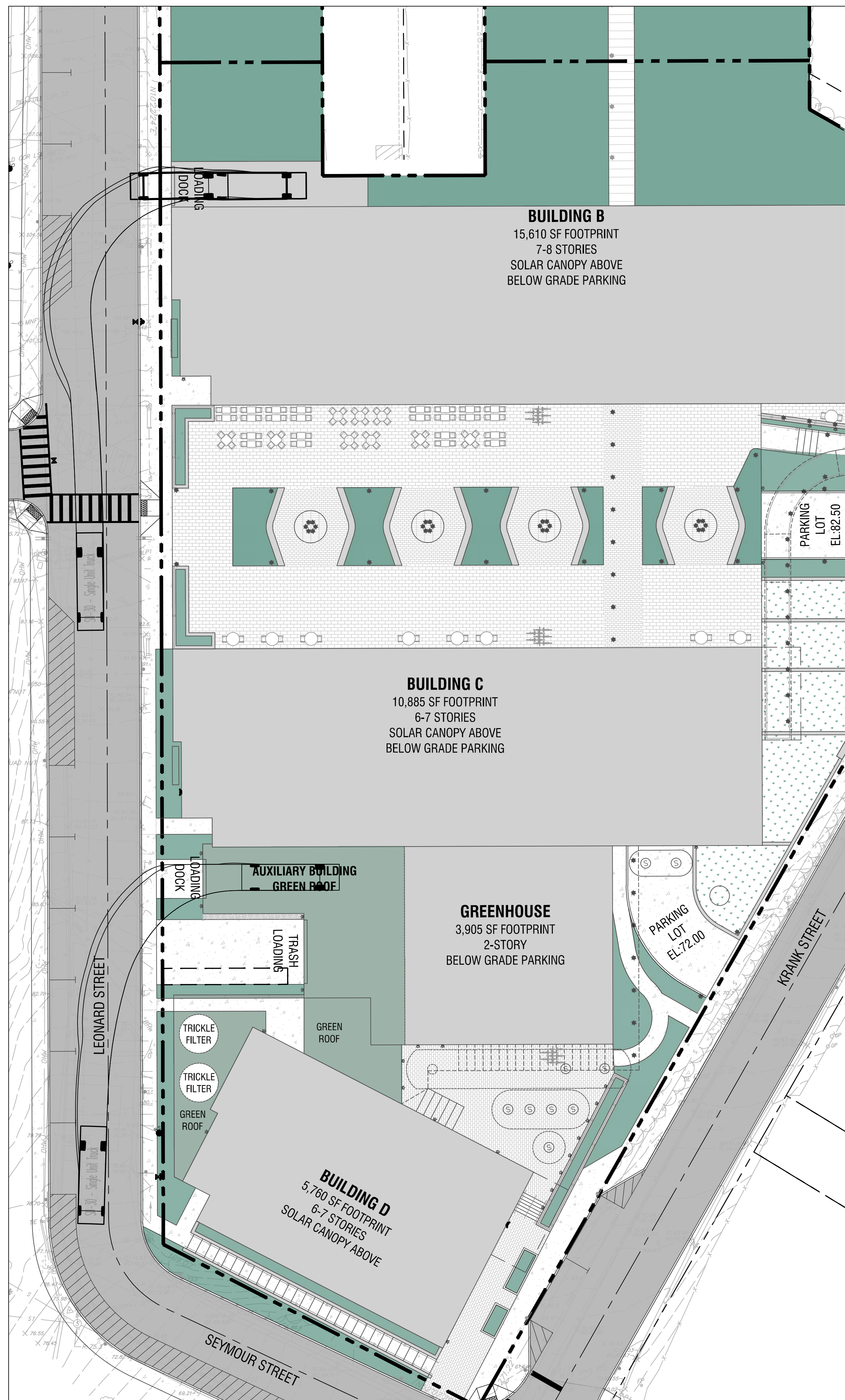
DOB Stamp & Signature

DOB Scan:

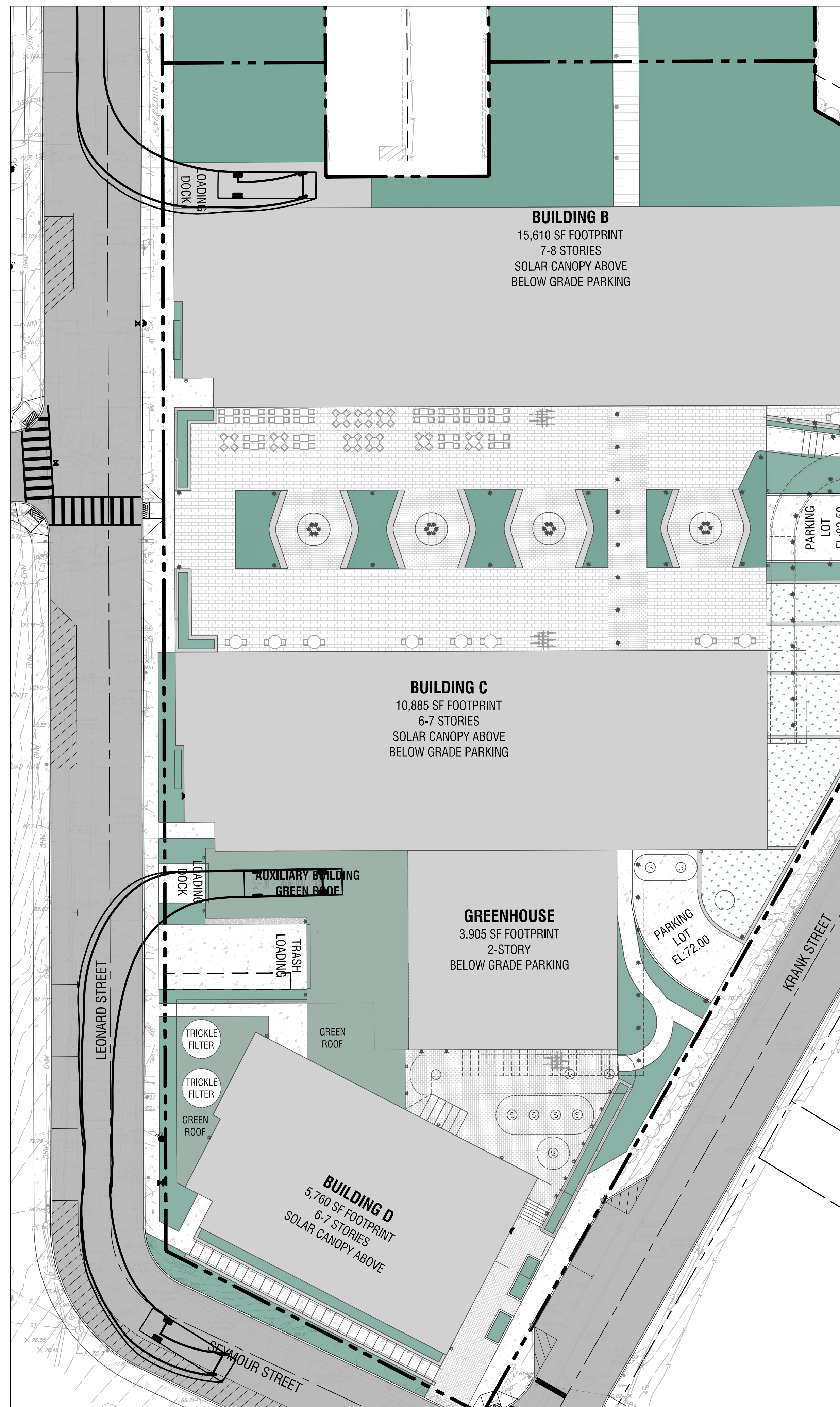
Drawing Title:
**Delivery Truck
Maneuvering Plan**

Drawing Number:
C-191

DWG.No:



1 DELIVERY TRUCK BACKING INTO LOADING DOCK
SCALE: 1"=20'



2 DELIVERY TRUCK EXITING LOADING DOCK
SCALE: 1"=20'

FOR CITY OF ALBANY DEPARTMENT APPROVAL - NOT FOR CONSTRUCTION

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

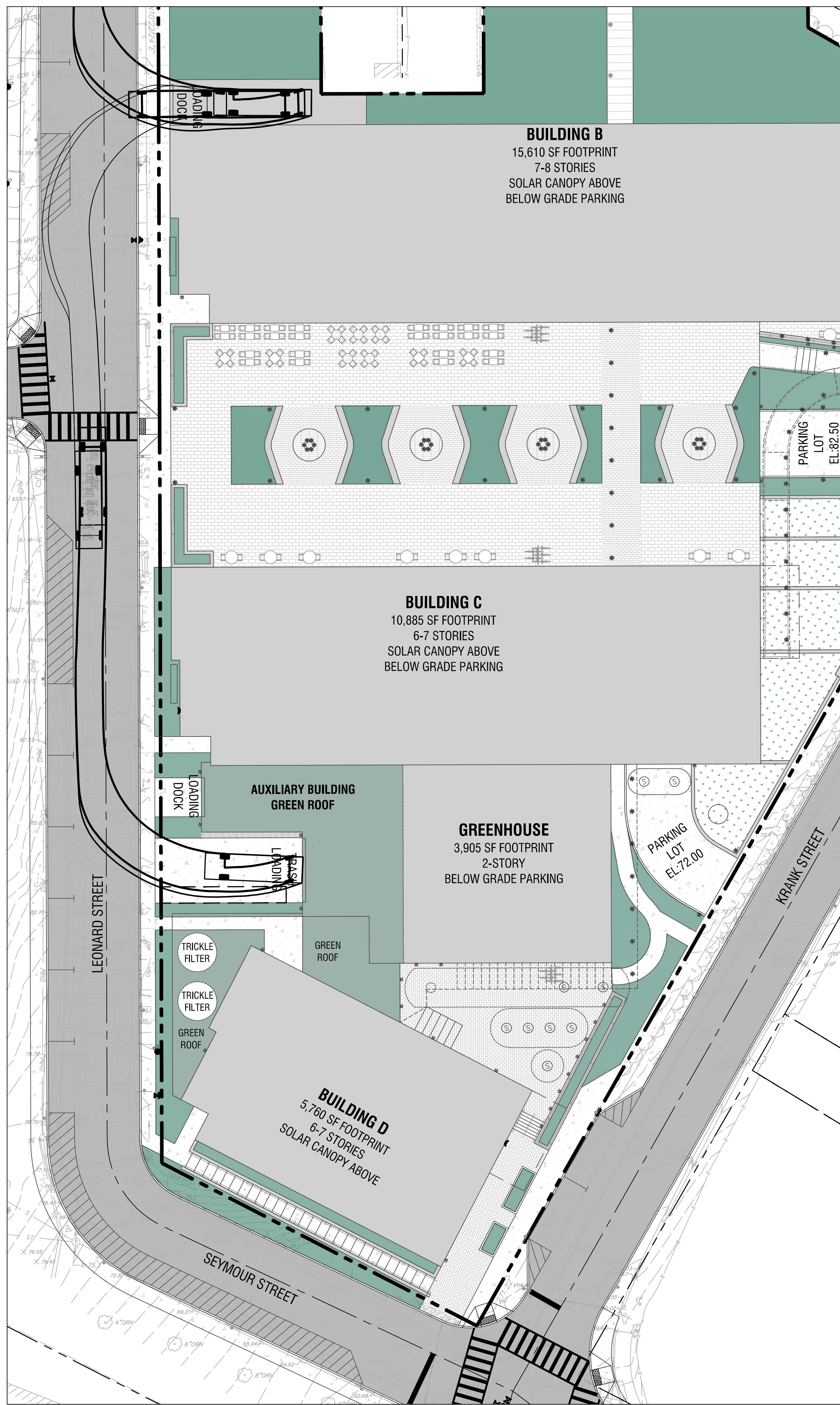
Drawing Title:

Garbage Truck Maneuvering Plan

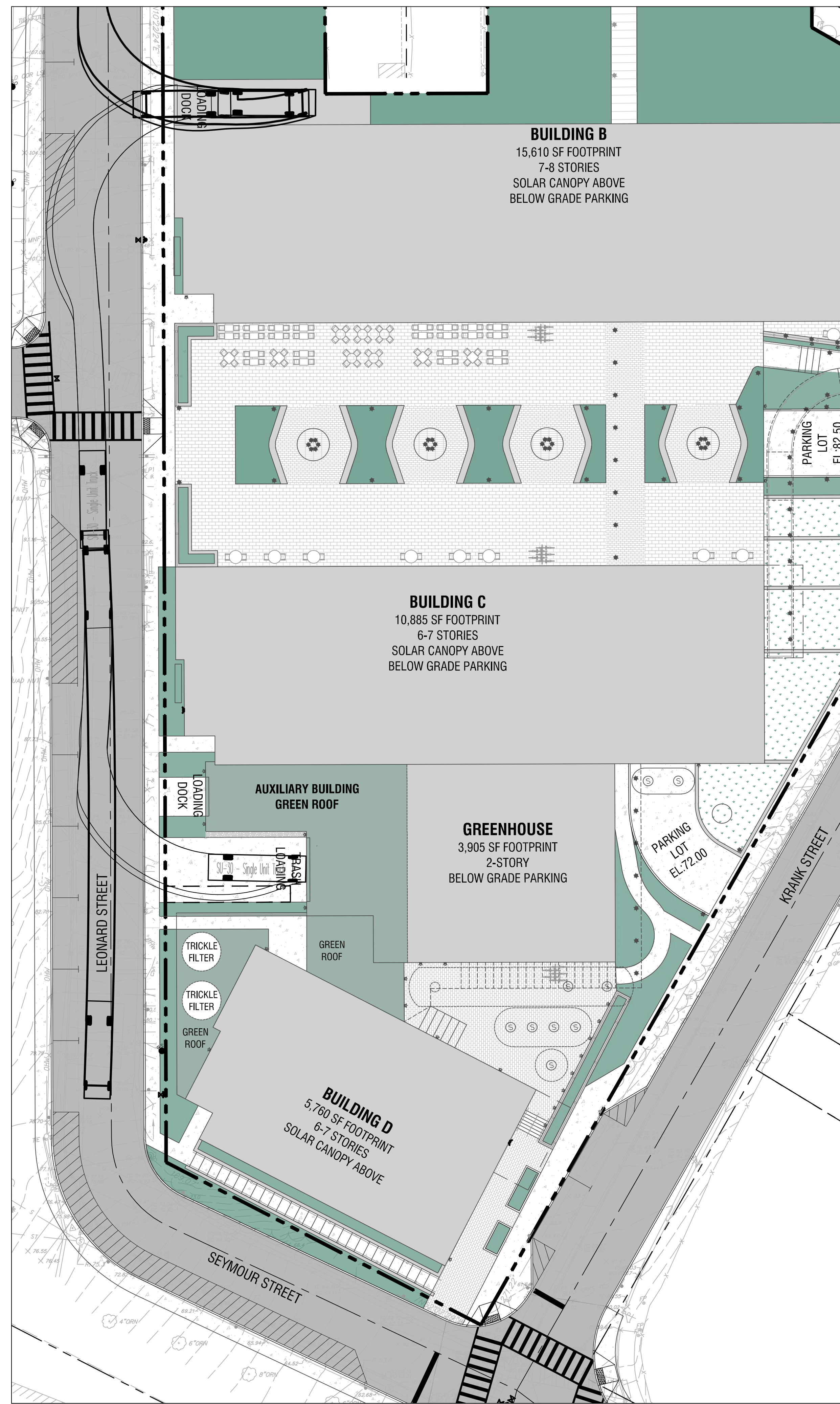
Drawing Number:

C-192

DWG.No:



1 GARBAGE TRUCK ENTERING LOADING DOCK
SCALE: 1"=20'



2 GARBAGE TRUCK EXITING LOADING DOCK
SCALE: 1"=20'

FOR CITY OF ALBANY DEPARTMENT APPROVAL - NOT FOR CONSTRUCTION

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

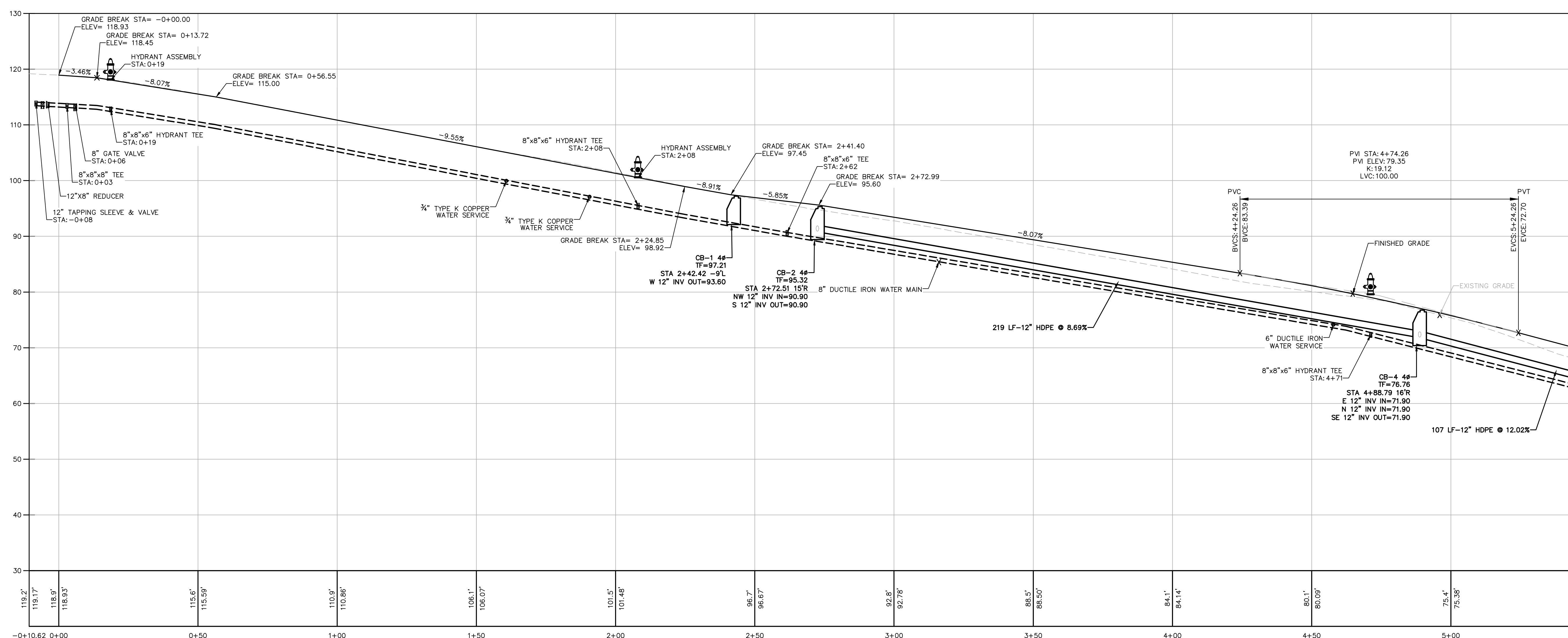
DOB Scan:

LEONARD ST & SEYMOUR ST PROFILE

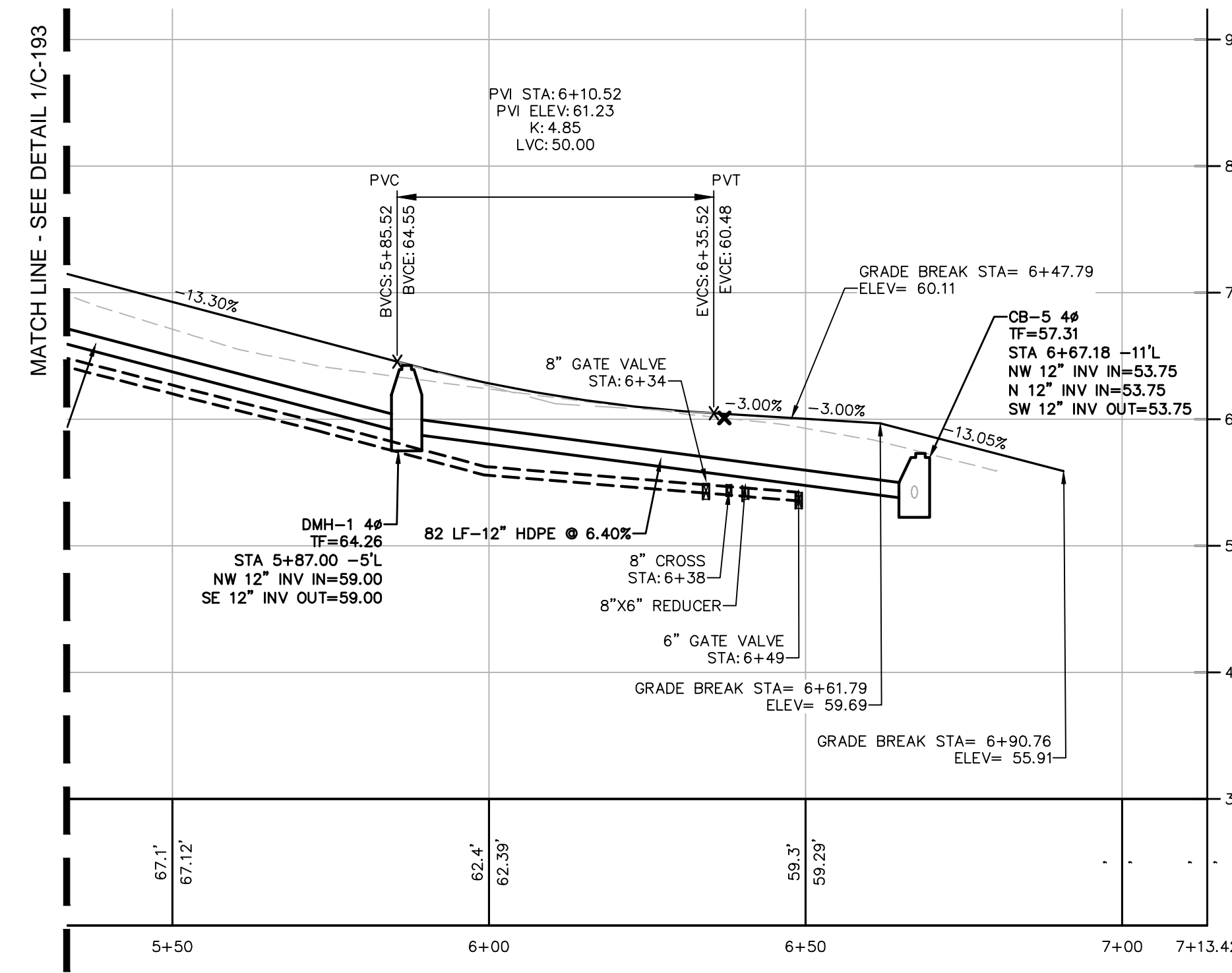
Drawing Number:

C-193

DWG.No:



1 LEONARD ST AND SEYMOUR ST PROFILE STA:0+00 TO STA 5+50
SCALE: H: 1"=20'
V: 1"=10'



2 LEONARD ST AND SEYMOUR ST PROFILE STA 5+50 TO 7+13.42
SCALE: H: 1"=20'
V: 1"=10'

PROFILE LEGEND:
 - - - - - EXISTING GRADE
 ——— PROPOSED GRADE

ABBREVIATIONS:
 PVI POINT OF VERTICAL CURVE
 PVT POINT OF VERTICAL INTERSECTION
 HORIZ HORIZONTAL TANGENCY
 VERT VERTICAL
 ID INSIDE DIAMETER
 S= SLOPE
 INV INVERT

STRUCTURES:
 CB CATCH BASIN
 DMH DRAINAGE MANHOLE
 SMH SEWER MANHOLE
 FES FAIRED END SECTION
 CO CLEAN OUT
 WSO WATER SHUT OFF
 HYD HYDRANT

PIPES:
 DI DUCTILE IRON PIPE
 VC VITRIFIED CLAY
 PVC POLYVINYLCHLORIDE PIPE
 HDPE HIGH DENSITY POLYETHYLENE PIPE
 CMP CORRUGATED METAL PIPE
 RCP REINFORCED CONCRETE PIPE
 SICPP SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE

NOTE:
 1. STATIONING SHOWN ON PROFILE IS CENTERLINE OF ROADWAY STATIONING.
 2. PRESSURE AND LEAKAGE TESTING OF THE WATER MAIN SHALL BE WITNESSED BY DEPARTMENT STAFF AND ACCEPTABLE BACTERIOLOGICAL TEST MUST BE SUBMITTED AND ACCEPTED BY THE DEPARTMENT PRIOR TO FINAL ACCEPTANCE OF THE NEW WATER MAIN.
 3. 48-HOURS NOTICE MUST BE GIVEN TO THE DEPARTMENT OF WATER FOR INSPECTIONS.

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

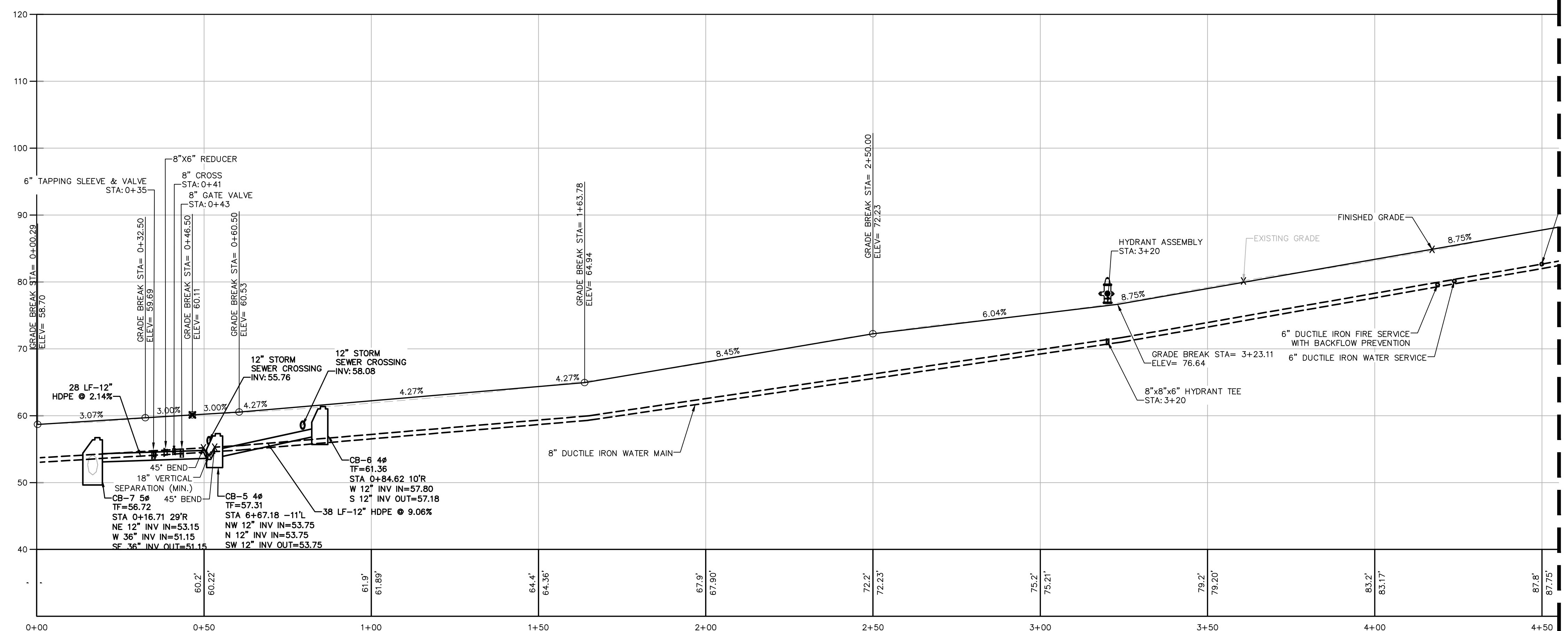
DOB Scan:

Drawing Title:
KRANK ST PROFILE

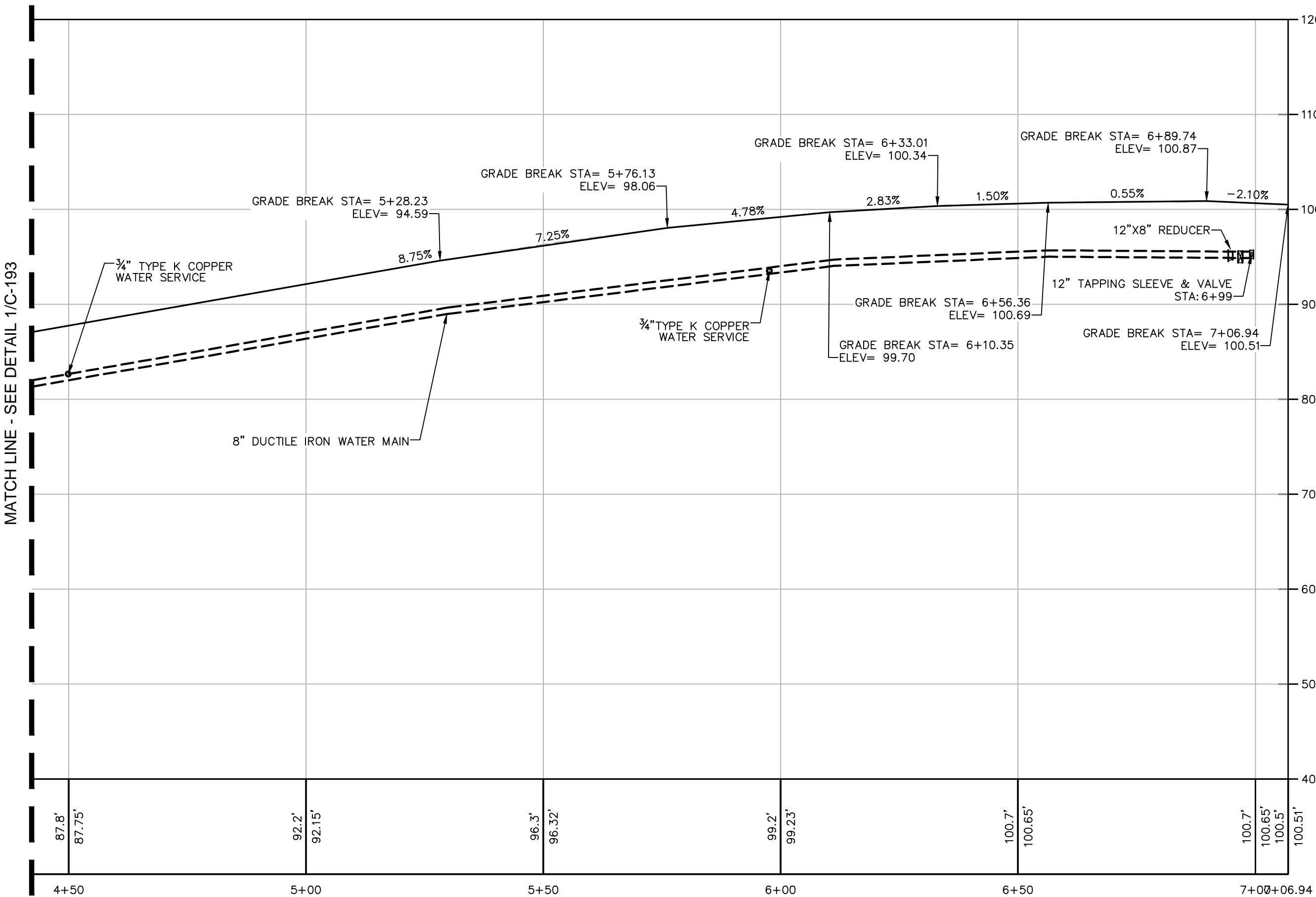
Drawing Number:

C-194

DWG.No:



1 KRANK ST
PROFILE STA:0+00 TO STA 54+50
SCALE: H: 1"=20'
V: 1"=10'



2 KRANK ST
STA 4+50 TO 7+06.94
SCALE: H: 1"=20'
V: 1"=10'

PROFILE LEGEND:

--- EXISTING GRADE
— PROPOSED GRADE

ABBREVIATIONS:

PVC POINT OF VERTICAL CURVE
PVI POINT OF VERTICAL INTERSECTION
PVT POINT OF VERTICAL TANGENCY
HORIZ HORIZONTAL
VERT VERTICAL
ID INSIDE DIAMETER
S SLOPE
INV INVERT

STRUCTURES:

CB CATCH BASIN
DMH DRAINAGE MANHOLE
SMH SEWER MANHOLE
FES FAIRED END SECTION
CO CLEAN OUT
WSD WATER SHUT OFF
HYD HYDRANT

PIPES:

DI DUCTILE IRON PIPE
VC VITRIFIED CLAY
PVC POLYVINYLCHLORIDE PIPE
HDPE HIGH DENSITY POLYETHYLENE PIPE
CMP CORRUGATED METAL PIPE
RCP REINFORCED CONCRETE PIPE
SICPP SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE

NOTE:

1. STATIONING SHOWN ON PROFILE IS CENTERLINE OF ROADWAY STATIONING.
2. PRESSURE AND LEAKAGE TESTING OF THE WATER MAIN SHALL BE WITNESSED BY DEPARTMENT STAFF AND ACCEPTABLE BACTERIOLOGICAL TEST MUST BE SUBMITTED AND ACCEPTED BY THE DEPARTMENT PRIOR TO FINAL ACCEPTANCE OF THE NEW WATER MAIN.
3. 48-HOURS NOTICE MUST BE GIVEN TO THE DEPARTMENT OF WATER FOR INSPECTIONS.

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

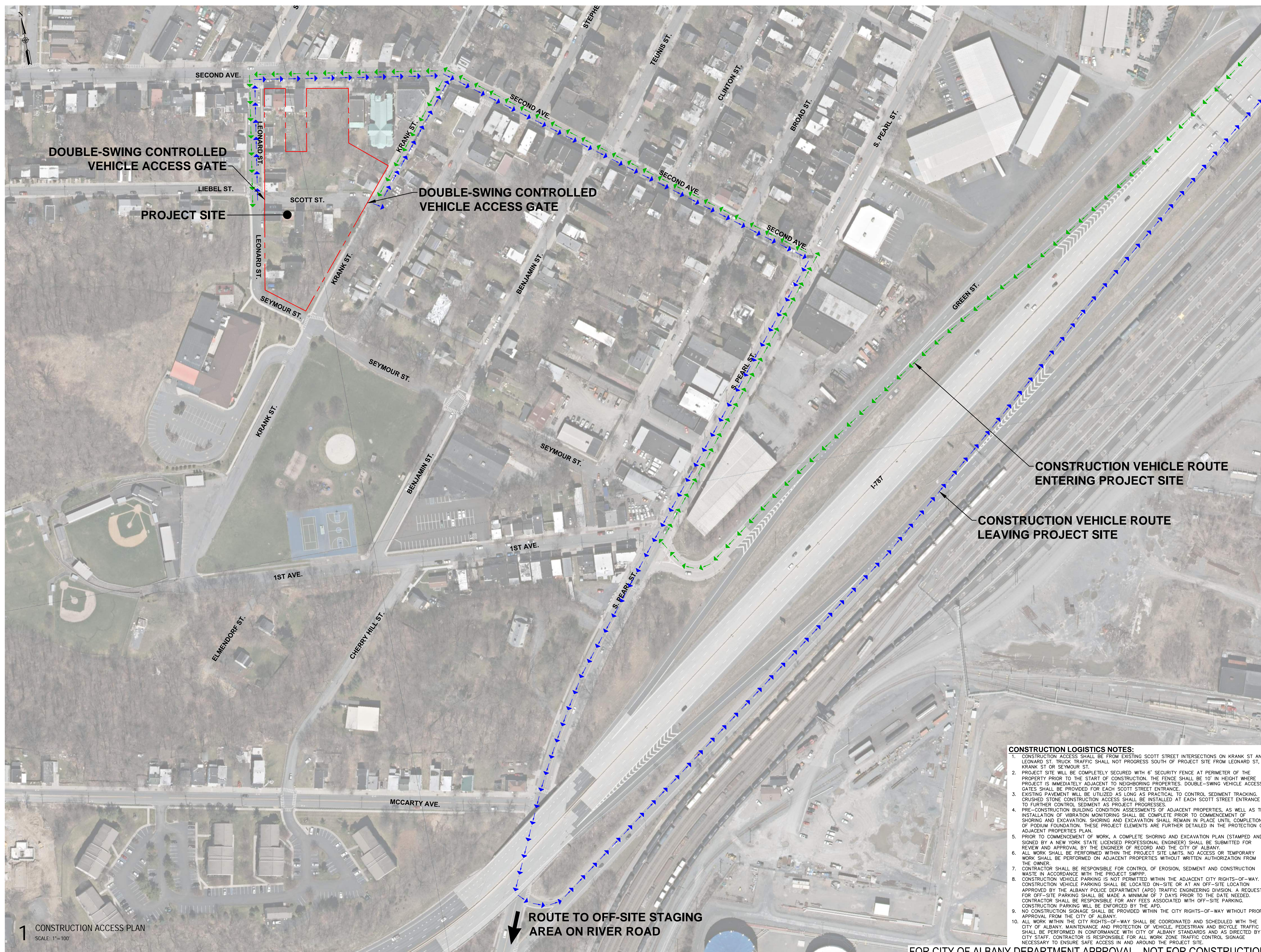
DOB Scan:

Drawing Title: Construction Access Plan

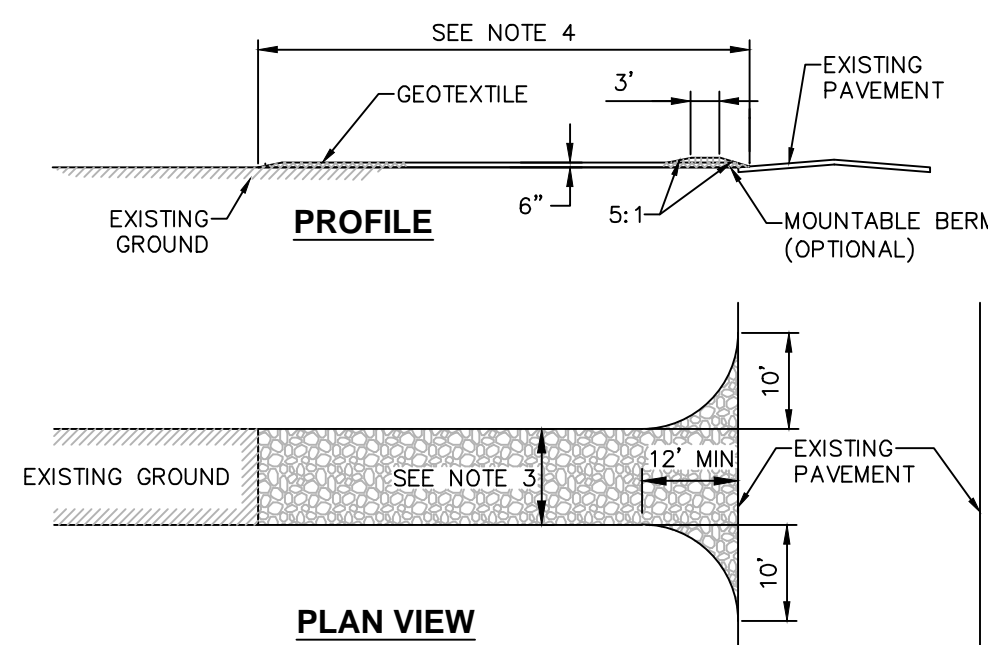
Drawing Number:

C-195

DWG.No:



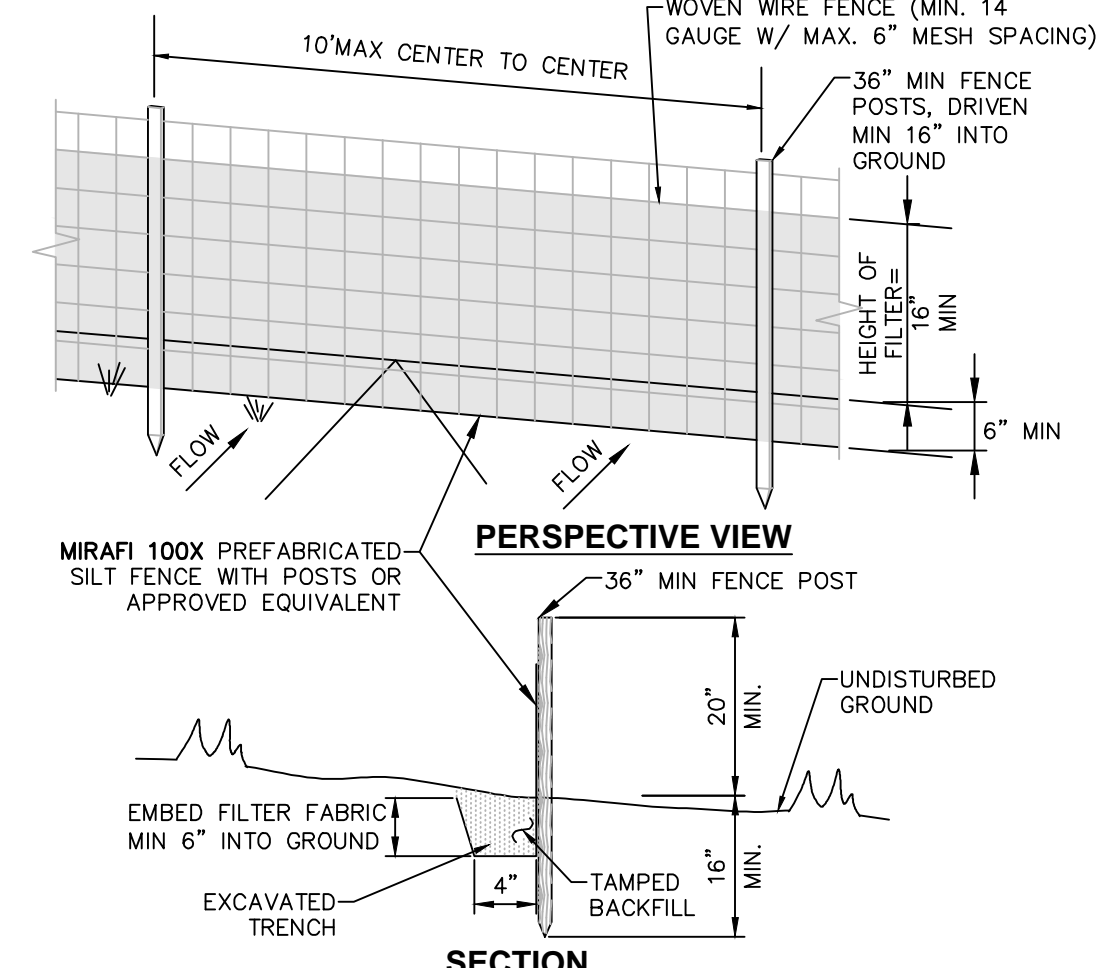
- CONSTRUCTION LOGISTICS NOTES:**
- CONSTRUCTION ACCESS SHALL BE FROM EXISTING SCOTT STREET INTERSECTIONS ON KRANK ST AND LEONARD ST. TRUCK TRAFFIC SHALL NOT PROGRESS SOUTH OF PROJECT SITE FROM LEONARD ST, KRANK ST OR SEYMOUR ST.
 - PROJECT SITE WILL BE COMPLETELY SECURED WITH 6' SECURITY FENCE AT PERIMETER OF THE PROPERTY PRIOR TO THE START OF CONSTRUCTION. THE FENCE SHALL BE 10' IN HEIGHT WHERE PROJECT IS IMMEDIATELY ADJACENT TO NEIGHBORING PROPERTIES. DOUBLE-SWING VEHICLE ACCESS GATES SHALL BE PROVIDED FOR EACH SCOTT STREET ENTRANCE.
 - EXISTING PAVEMENT WILL BE UTILIZED AS LONG AS PRACTICAL TO CONTROL SEDIMENT TRACKING. CRUSHED STONE CONSTRUCTION ACCESS SHALL BE INSTALLED AT EACH SCOTT STREET ENTRANCE TO FURTHER CONTROL SEDIMENT AS PROJECT PROGRESSES.
 - PRE-CONSTRUCTION BUILDING CONDITION ASSESSMENTS OF ADJACENT PROPERTIES, AS WELL AS THE INSTALLATION OF VIBRATION MONITORING SHALL BE COMPLETE PRIOR TO COMMENCEMENT OF SHORING AND EXCAVATION. SHORING AND EXCAVATION SHALL REMAIN IN PLACE UNTIL COMPLETION OF PODIUM FOUNDATION. THESE PROJECT ELEMENTS ARE FURTHER DETAILED IN THE PROTECTION OF ADJACENT PROPERTIES PLAN.
 - PRIOR TO COMMENCEMENT OF WORK, A COMPLETE SHORING AND EXCAVATION PLAN (STAMPED AND SIGNED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ENGINEER OF RECORD AND THE CITY OF ALBANY.
 - ALL WORK SHALL BE PERFORMED WITHIN THE PROJECT SITE LIMITS. NO ACCESS OR TEMPORARY WORK SHALL BE PERFORMED ON ADJACENT PROPERTIES WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF EROSION, SEDIMENT AND CONSTRUCTION WASTE IN ACCORDANCE WITH THE PROJECT SWPPP.
 - CONSTRUCTION VEHICLE PARKING IS NOT PERMITTED WITHIN THE ADJACENT CITY RIGHTS-OF-WAY. CONSTRUCTION VEHICLE PARKING SHALL BE LOCATED ON-SITE OR AT AN OFF-SITE LOCATION APPROVED BY THE ALBANY POLICE DEPARTMENT (APD) TRAFFIC ENGINEERING DIVISION. A REQUEST FOR OFF-SITE PARKING SHALL BE MADE A MINIMUM OF 7 DAYS PRIOR TO THE DATE NEEDED. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FEES ASSOCIATED WITH OFF-SITE PARKING. CONSTRUCTION PARKING WILL BE ENFORCED BY THE APD.
 - NO CONSTRUCTION SIGNAGE SHALL BE PROVIDED WITHIN THE CITY RIGHTS-OF-WAY WITHOUT PRIOR APPROVAL FROM THE CITY OF ALBANY.
 - ALL WORK WITHIN THE CITY RIGHTS-OF-WAY SHALL BE COORDINATED AND SCHEDULED WITH THE CITY OF ALBANY MAINTENANCE AND PROTECTION OF VEHICLE, PEDESTRIAN AND BICYCLE TRAFFIC SHALL BE PERFORMED IN CONFORMANCE WITH CITY OF ALBANY STANDARDS AND AS DIRECTED BY CITY STAFF. CONTRACTOR IS RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL SIGNAGE NECESSARY TO ENSURE SAFE ACCESS IN AND AROUND THE PROJECT SITE.



CONSTRUCTION ENTRANCE SPECIFICATIONS:

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
- LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

1 STABILIZED CONSTRUCTION ACCESS DETAIL
SCALE: NOT TO SCALE

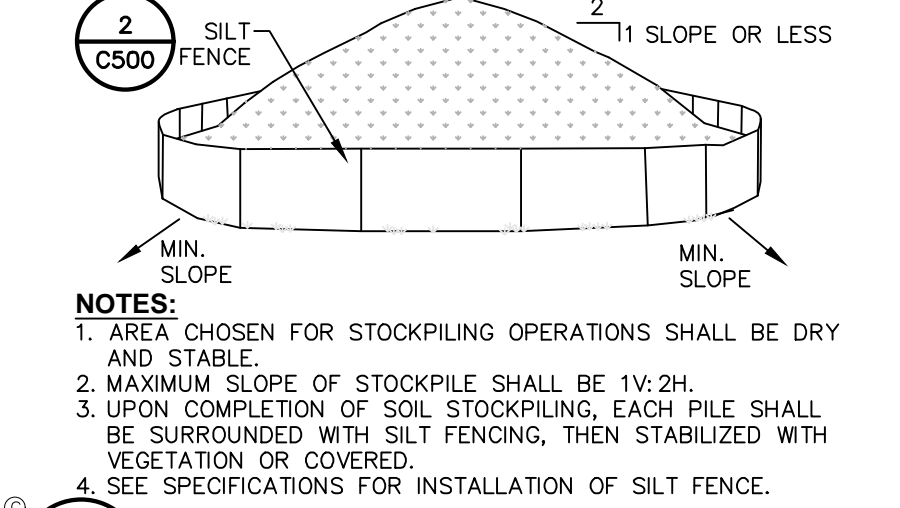


NOTES:

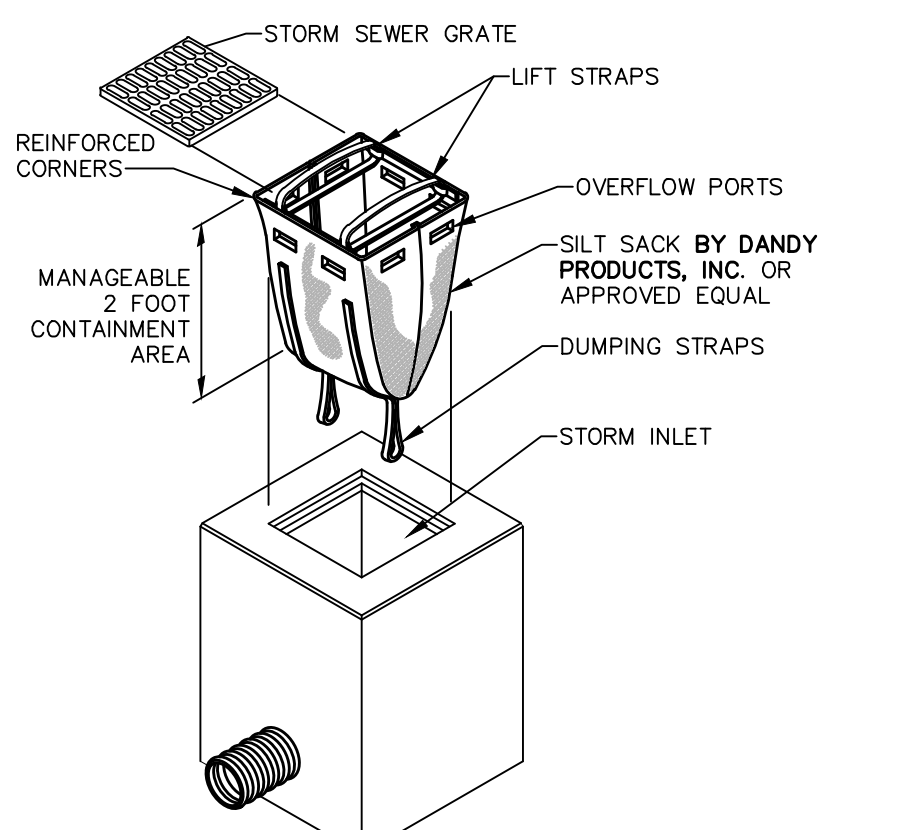
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL 7" OR "U" TYPE OR HARDWOOD.
- FILTER FABRIC TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAX MESH OPENING.
- WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100 FEET OF FENCE.
- SILT FENCE SHALL BE USED WHERE EROSION COULD OCCUR IN THE FORM OF SHEET EROSION.
- SILT FENCE SHALL NOT BE USED WHEN A CONCENTRATION OF WATER IS FLOWING TO THE BARRIER.
- MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUN-OFF TO A SILT FENCE ARE:

SLOPE STEEPNESS	MAXIMUM SLOPE LENGTH(FT)
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100

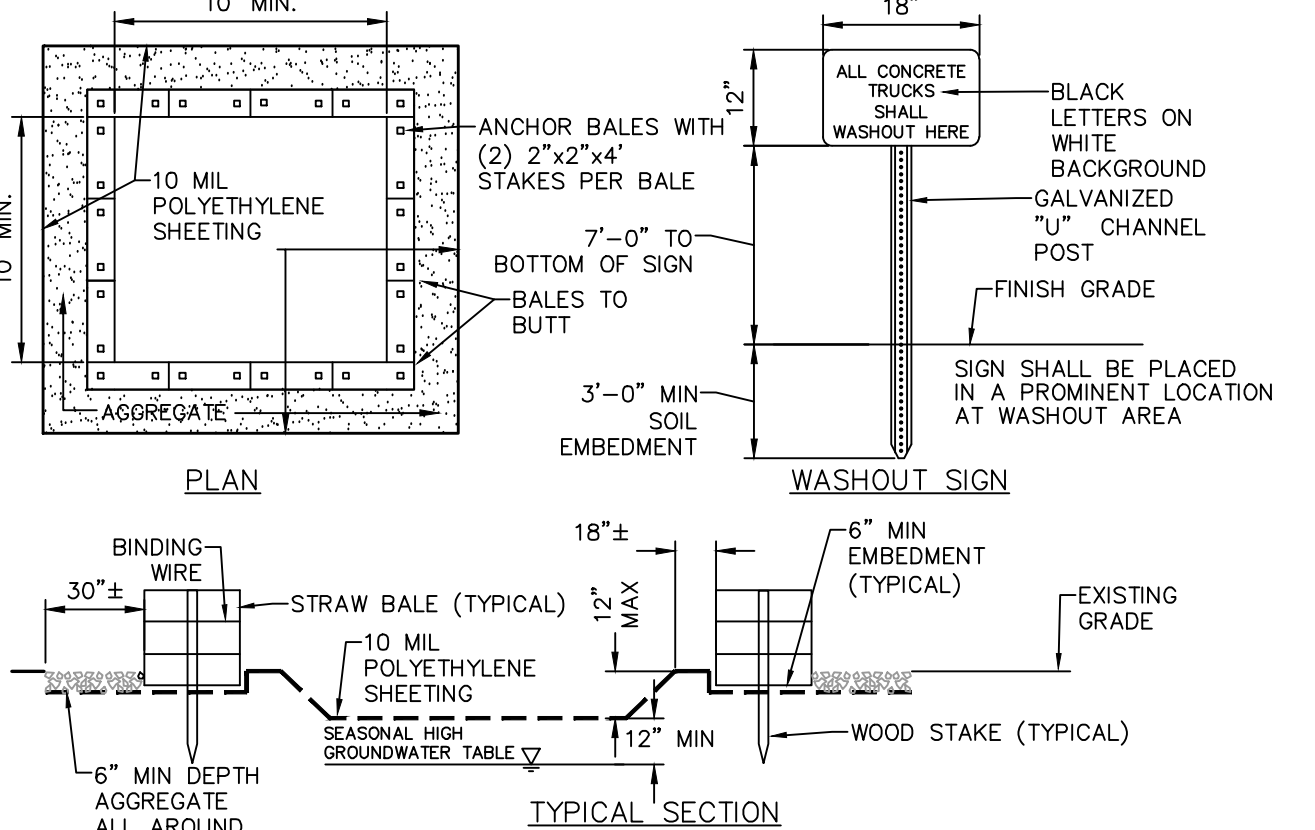
2 SILT FENCE INSTALLATION DETAIL
SCALE: NOT TO SCALE



3 TEMPORARY SOIL STOCKPILE DETAIL
SCALE: NOT TO SCALE



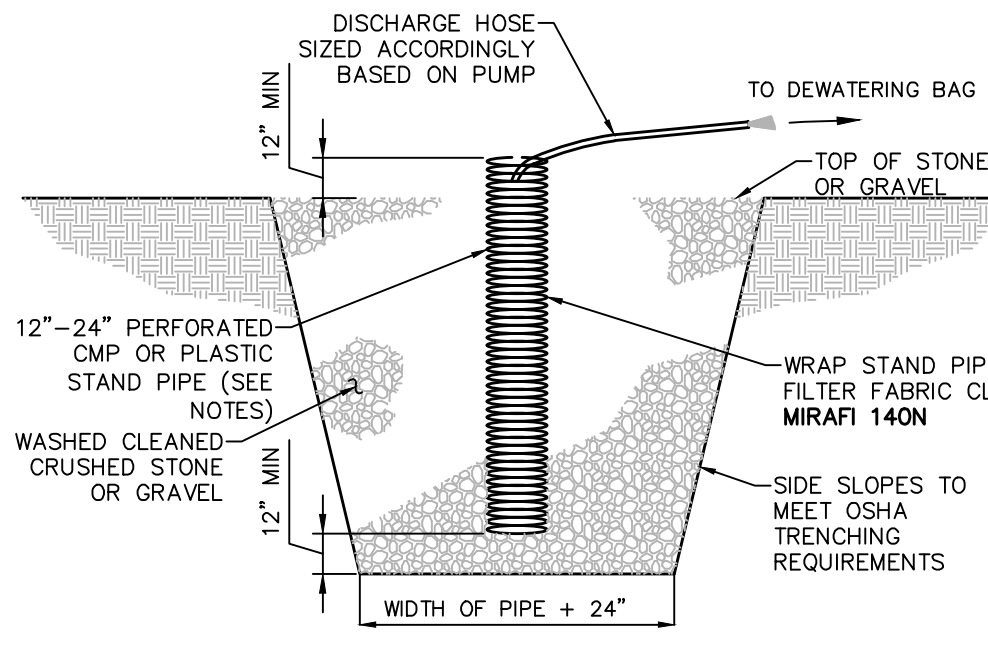
5 SILT SACK DETAIL
SCALE: NOT TO SCALE



NOTES:

- CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
- CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
- WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL. THIS INCLUDES REPLACEMENT OF THE 10 MIL POLYETHYLENE SHEETING.
- WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
- ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
- AT LEAST WEEKLY, REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

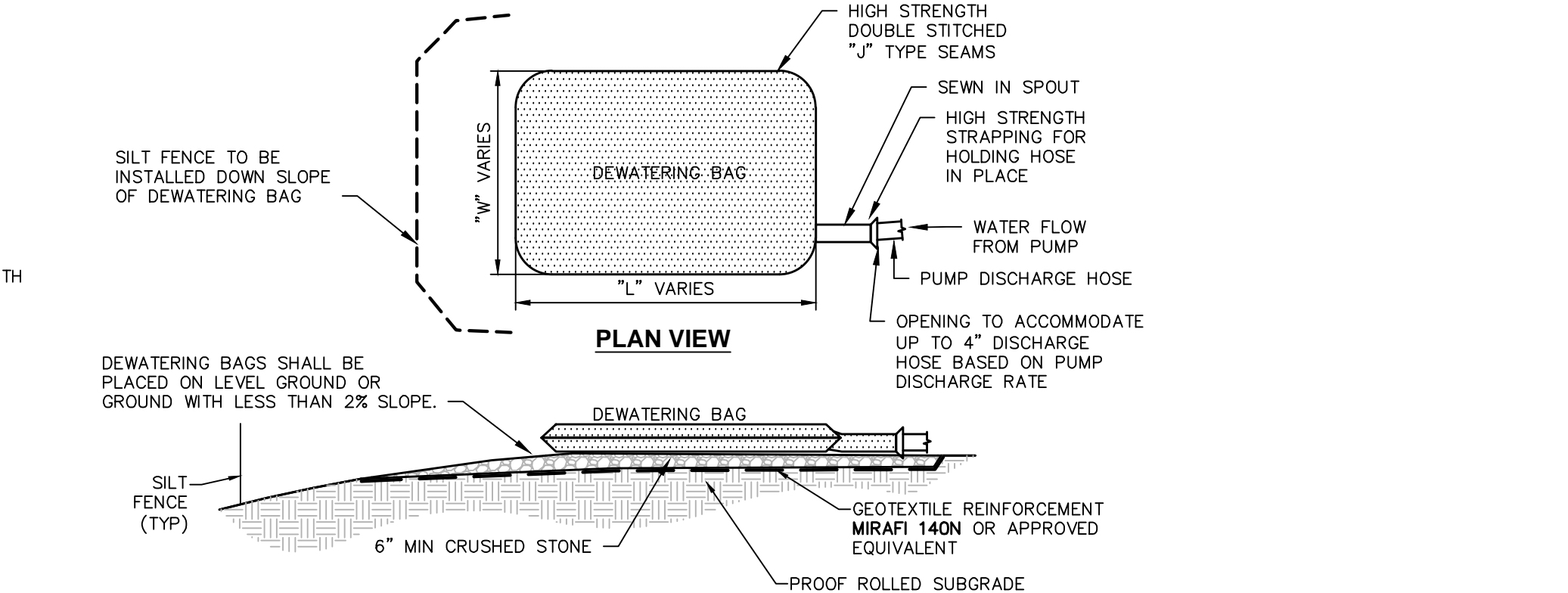
4 CONCRETE WASHOUT AREA DETAIL
SCALE: NOT TO SCALE



NOTES:

- SUMP PIT QUANTITY & LOCATION SHALL BE DETERMINED BY CONTRACTOR.
- PERFORATIONS IN THE STANDPIPE SHALL BE EITHER CIRCULAR OR SLOTS. PERFORATION SIZE SHALL NOT EXCEED 1/2" INCH DIAMETER. PUMP RATE SHALL NOT EXCEED INFLOW RATE INTO STAND PIPE.
- CRUSHED STONE OR GRAVEL SHALL BE NYSDOT #2 SIZE OR EQUIVALENT AND SHALL BE WASHED PRIOR TO PLACEMENT WITHIN SUMP.
- DISCHARGE SHALL BE THROUGH DEWATERING BAGS, OR AS DIRECTED BY ENGINEER.
- CONTRACTOR TO SUBMIT DEWATERING PLAN TO ENGINEER FOR REVIEW & APPROVAL.

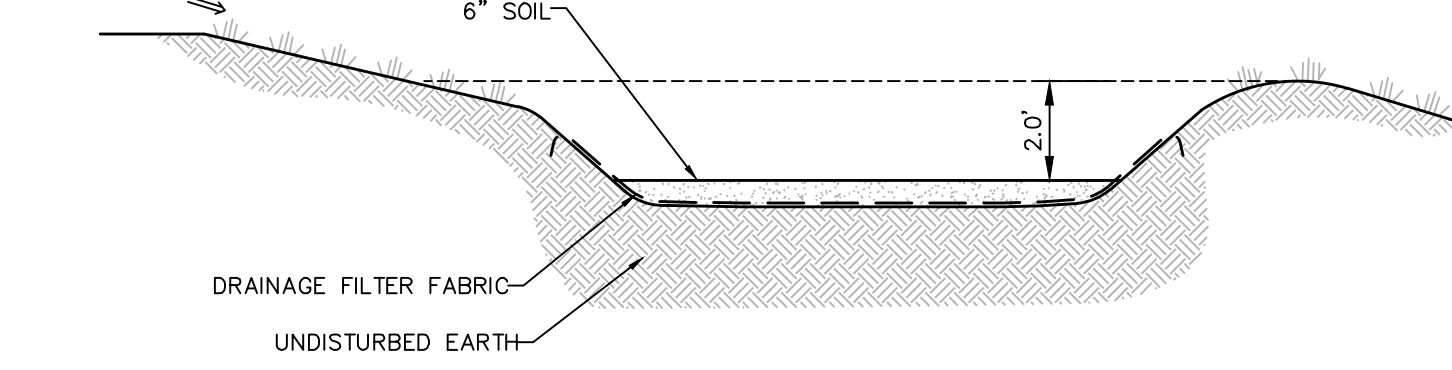
7 DEWATERING & SUMP PIT DETAIL
SCALE: NOT TO SCALE



NOTES:

- SEDIMENT COLLECTION BAG SHALL BE EQUAL TO DIRTBAG® 55, AS MARKETED BY ACF ENVIRONMENTAL, RICHMOND, VIRGINIA (800-448-3636), OR APPROVED EQUIVALENT.
- SEDIMENT COLLECTION BAG SHALL BE A NONWOVEN BAG SEWN WITH HIGH STRENGTH THREAD. THE SEAMS SHALL BE HIGH STRENGTH, DOUBLE STITCHED, "J" TYPE SEAMS.
- BAGS SHALL HAVE SEWN IN FILL SPOUT LARGE ENOUGH TO ACCOMMODATE UP TO A 4" DISCHARGE HOSE. FILL SPOUT SHALL HAVE HIGH STRENGTH STRAPPING TO HOLD HOSE IN PLACE AND PREVENT PUMPED WATER FROM ESCAPING WITHOUT BEING FILTERED.
- SEDIMENT COLLECTION BAGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS, OR AS DIRECTED BY THE ENGINEER.
- SEDIMENT COLLECTED SHALL BE DISPOSED OF AT AN APPROPRIATE FACILITY.
- SEDIMENT COLLECTION BAGS SHALL BE REMOVED AND REPLACED UNDER ANY OF THE FOLLOWING CONDITIONS:
 - WHEN BAGS ARE FULL.
 - WHEN BAGS HAVE BEEN IN PLACE FOR MORE THAN 30 DAYS (REMOVAL REQUIRED DUE TO ULTRAVIOLET DETERIORATION).
 - WHEN BAGS ARE DAMAGED.
- ALL SEDIMENT COLLECTION BAGS SHALL BE INSPECTED DAILY BY THE CONTRACTOR.
- CARE SHALL BE TAKEN DURING REMOVAL TO MINIMIZE LOSS OF ENTRAPPED SEDIMENT.

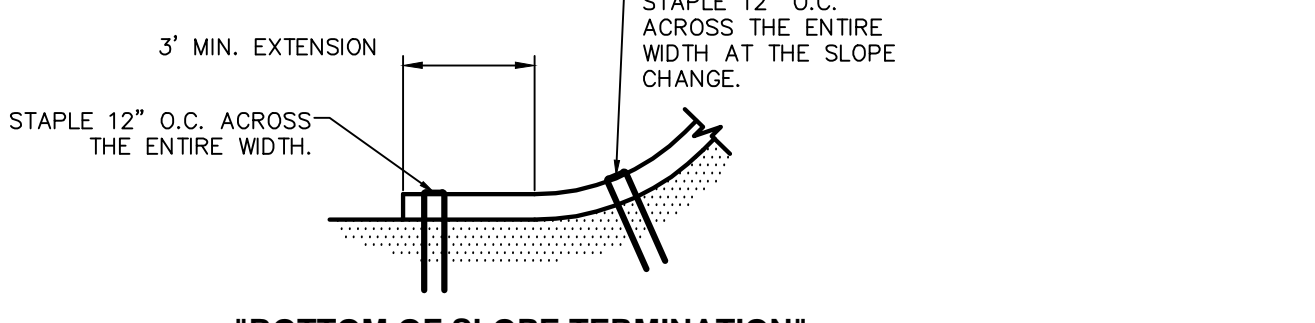
8 SEDIMENT COLLECTION DEWATERING BAG DETAIL
SCALE: NOT TO SCALE



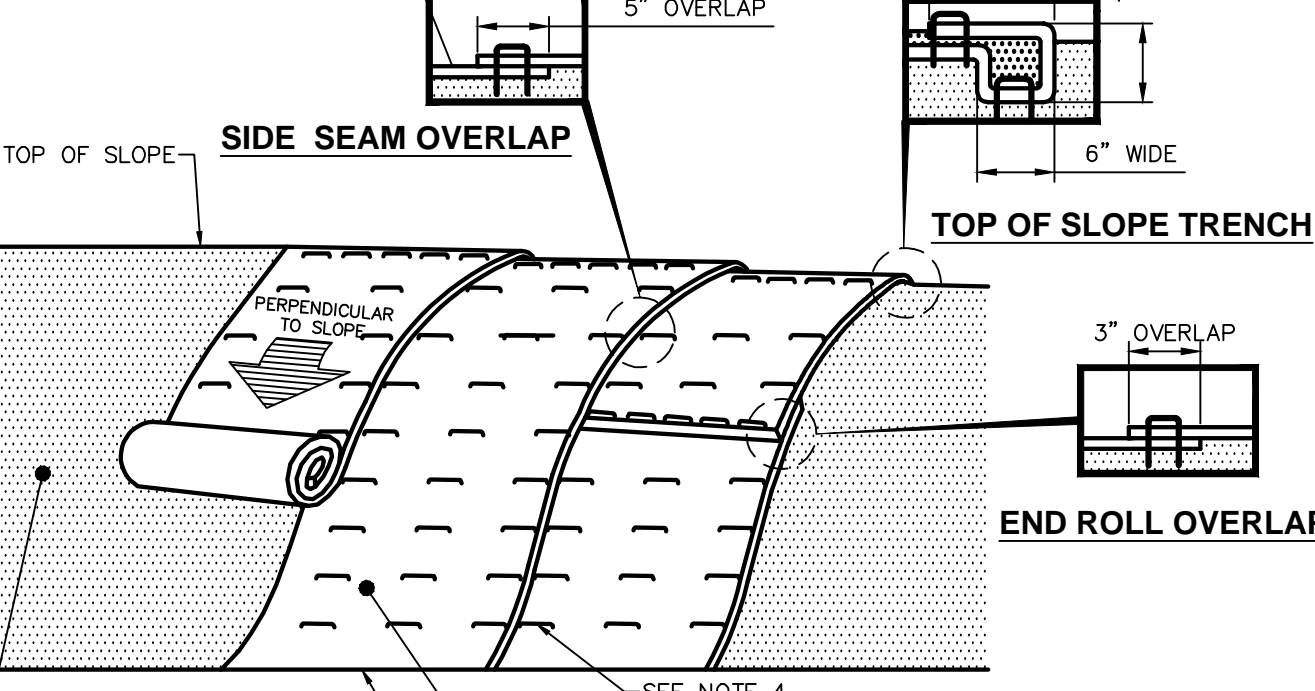
NOTES:

- CONTRACTOR TO EXCAVATE A 2.5-FT DEEP DEPRESSION, APPLY DRAINAGE FILTER FABRIC, AND PLACE 6" OF SOIL MEDIA ABOVE FABRIC TO SECURE IN PLACE.
- REMOVE SEDIMENT WHEN DEPTH OF SEDIMENT REACHES 1-FT.
- ONCE UPHILL AREAS HAVE BEEN STABILIZED, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL SEDIMENT.

10 TEMPORARY SEDIMENT TRAP
SCALE: NTS



"BOTTOM OF SLOPE TERMINATION"



NOTES:

- PREPARE THE TOPSOIL (SEEDBED) FIRST BY RAKING, SHAPING, FINE GRADING, COMPACTING, SEEDING & FERTILIZING THE SLOPES.
- USE THE TRENCHING & ANCHORING PROCEDURES DETAILED HEREIN TO SECURE ANY EXPOSED MATERIAL ENDS. SECURE ALL PRODUCT OVERLAPS OVERLAP IN THE DIRECTION OF WATER FLOW, PERPENDICULAR TO THE SLOPE.
- KEEP EROSION CONTROL BLANKET IN SOLID CONTACT WITH THE TOPSOIL.
- USE THE REQUIRED NUMBER OF STAPLES/STAKES TO SECURELY FASTEN THE EROSION CONTROL BLANKET TO THE SLOPE. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLES/STAKES LENGTHS GREATER THAN 6" MAYBE NECESSARY FOR PROPER SECURING. STAPLE PATTERNS & OVERLAPS ARE DEPENDENT ON SITE CONDITIONS & MANUFACTURER'S REQUIREMENTS. CONTRACTOR SHALL CONSULT WITH MANUFACTURER FOR ACTUAL SITE SPECIFIC REQUIREMENTS.

TRENCHING & ANCHORING PROCEDURE NOTES:

SIDE SEAM OVERLAP: THE EDGES OF PARALLEL BLANKETS SHALL BE STAPLED WITH A 5" OVERLAP.

TOP OF SLOPE TRENCH: BEGIN AT THE TOP OF SLOPE BY ANCHORING THE EROSION CONTROL BLANKET IN A 6"D x 6"W TRENCH WITH A 12" OVERLAP EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR WITH A ROW OF STAPLES/STAKES 12" O.C. IN THE BOTTOM OF THE TRENCH. BACKFILL & COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL & FOLD THE REMAINING 12" PORTION OF THE EROSION CONTROL BLANKET BACK OVER THE SEED & COMPACTED SOIL. SECURE THE EROSION CONTROL BLANKET OVER THE COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED 12" O.C. ACROSS THE ENTIRE WIDTH.

END ROLL OVERLAP: CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE SHALL BE PLACED END OVER END (SHINGLE-STYLE) WITH A 3" OVERLAP. STAPLE THRU OVERLAPPED AREAS, 12" APART ACROSS THE ENTIRE WIDTH.

9 EROSION CONTROL BLANKET INSTALLATION DETAIL
SCALE: NTS

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date
-----------------	----------------------	---------------

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



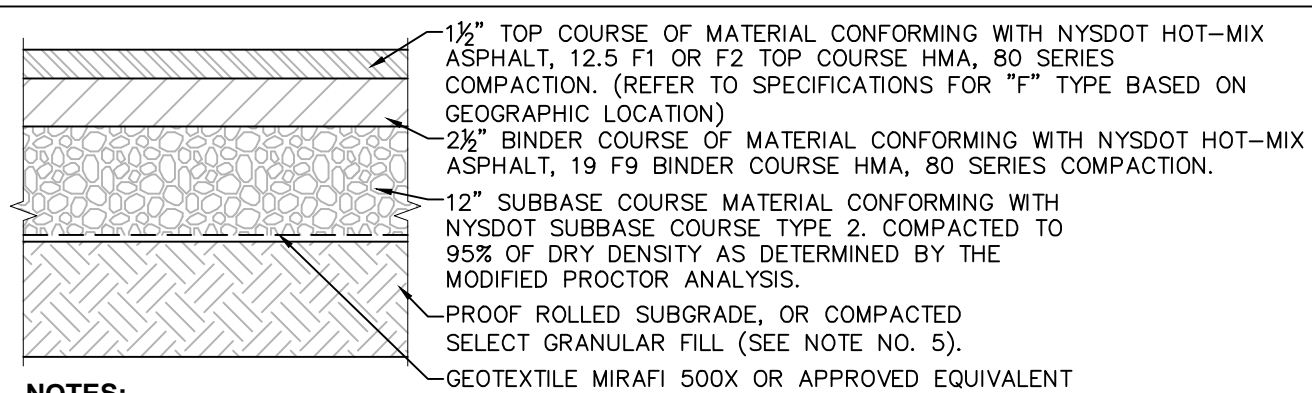
DOB Stamp & Signature

DOB Scan:

Drawing Title:
Erosion & Sediment Control Details

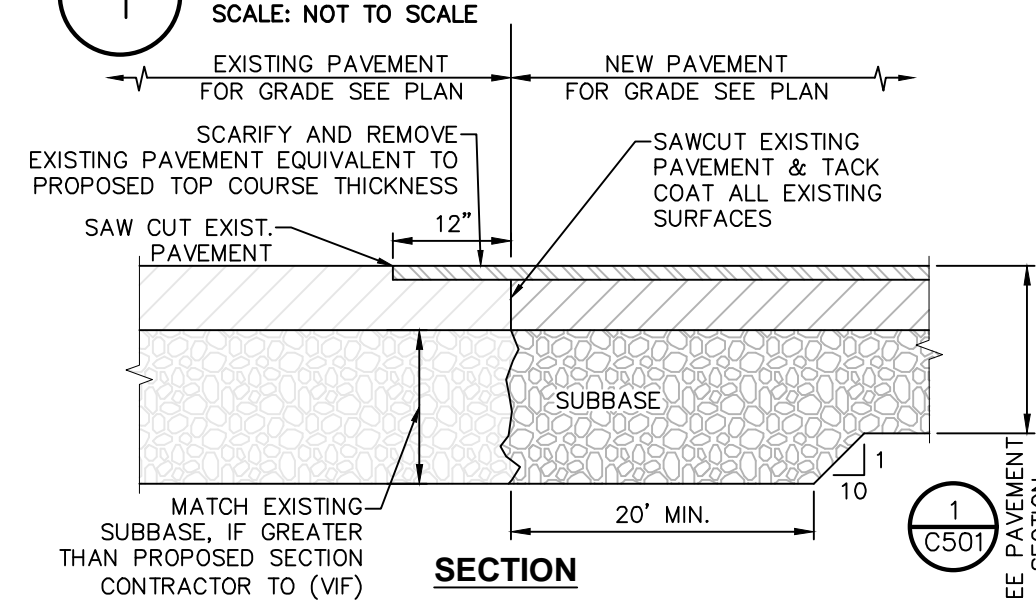
Drawing Number:
C-500

DWG.No:

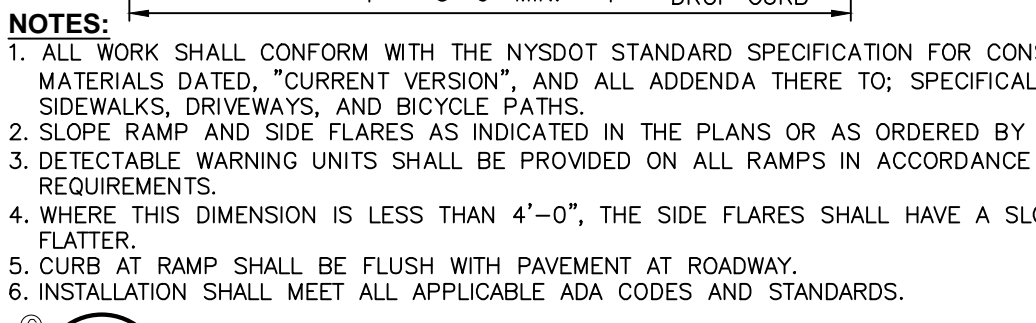
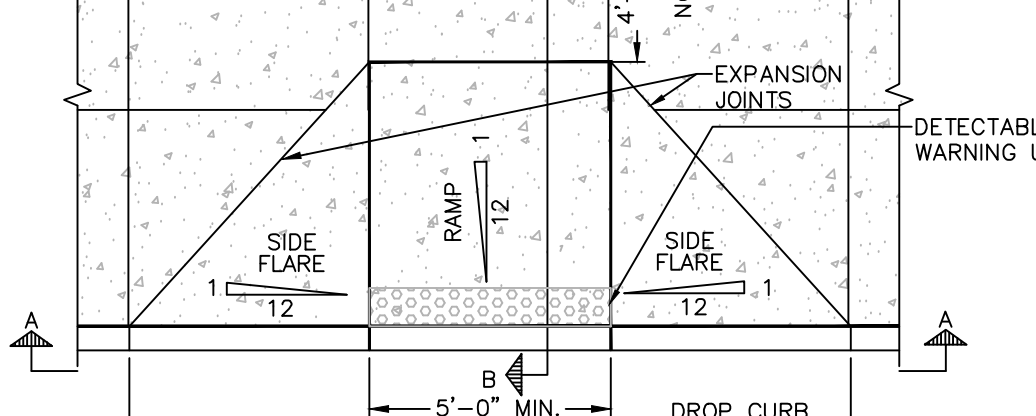
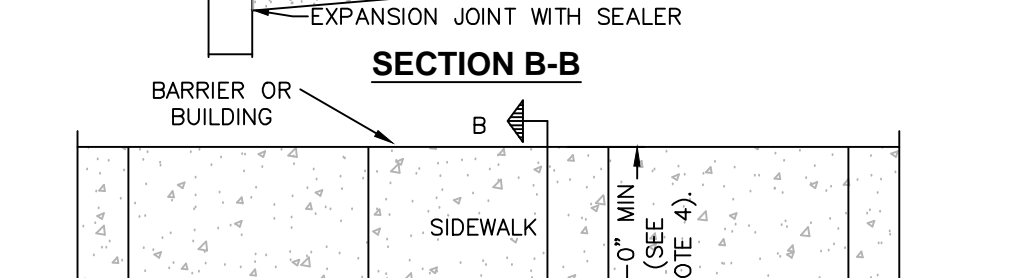
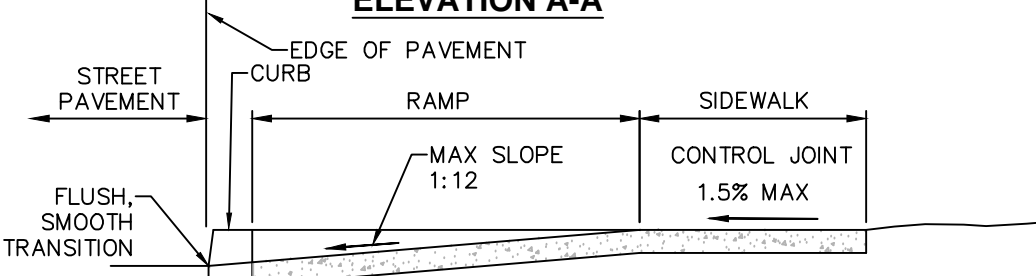
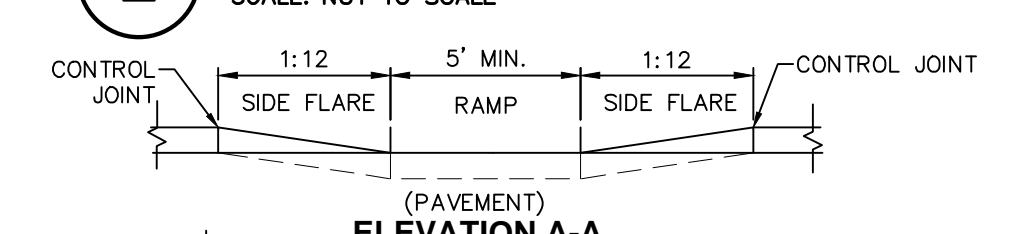


- NOTES:**
- MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "CURRENT VERSION", AND ALL ADDENDA THERE TO.
 - SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 - SUBBASE COURSE OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS.
 - HOT MIX ASPHALT (HMA) PAVEMENT SHALL CONFORM WITH SECTION 400-HOT MIX ASPHALT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS. ALTHOUGH SECTION 400 IN ITS ENTIRETY IS REFERENCED, THE HOT MIX ASPHALT (HMA) PAVEMENT(S) SPECIFIED FOR THIS CONTRACT SHALL BE AS SPECIFIED UNDER SECTION 402-HOT MIX ASPHALT (HMA) PAVEMENTS.
 - TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
 - WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
 - PAVEMENT SECTION DESIGN IS BASED ON THE GEOTECHNICAL REPORT PREPARED BY THE CHAZEN COMPANIES DATED JULY 2020.

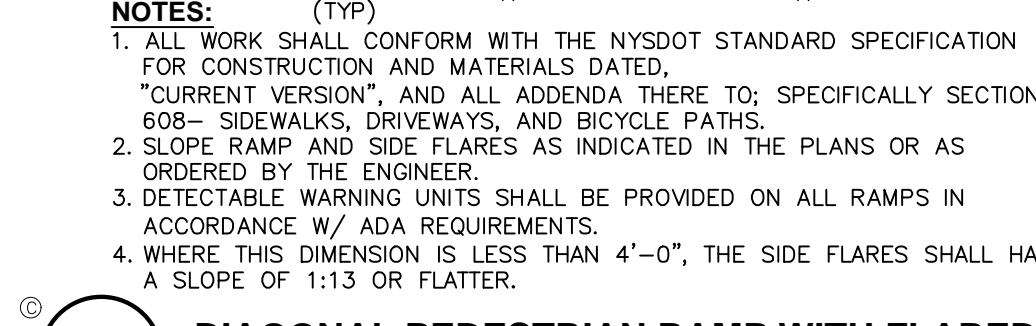
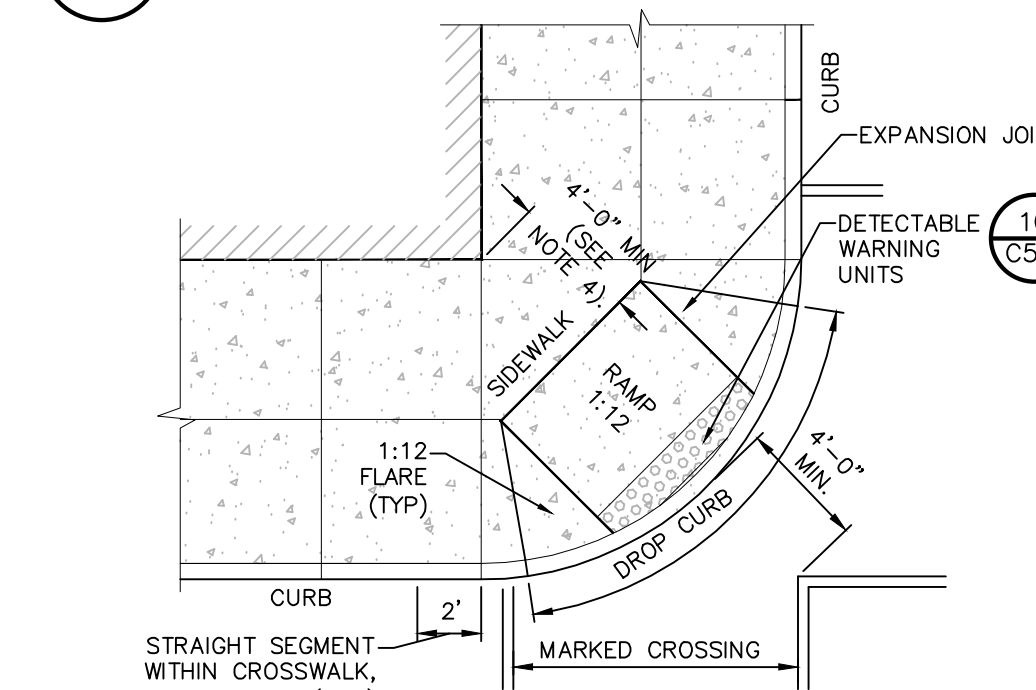
1 PAVEMENT SECTION DETAIL
SCALE: NOT TO SCALE



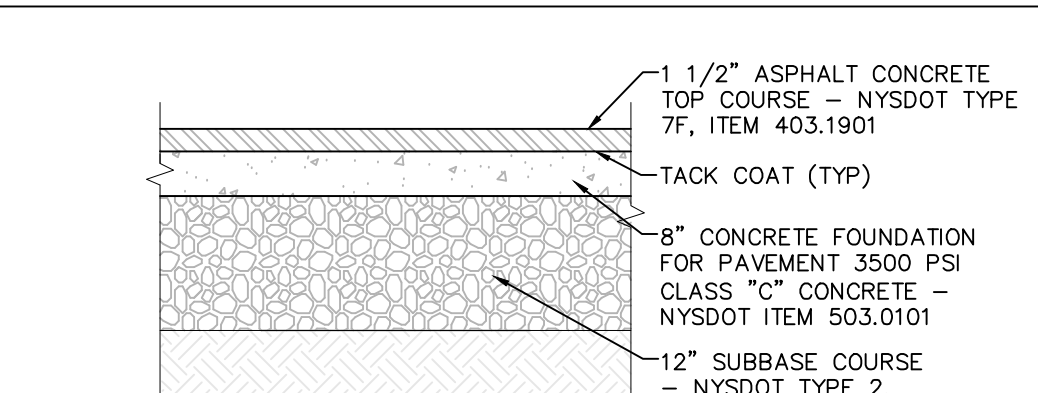
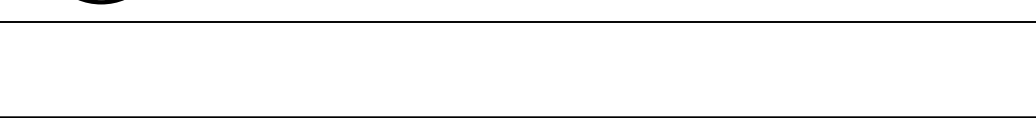
2 PAVEMENT TRANSITION DETAIL
SCALE: NOT TO SCALE



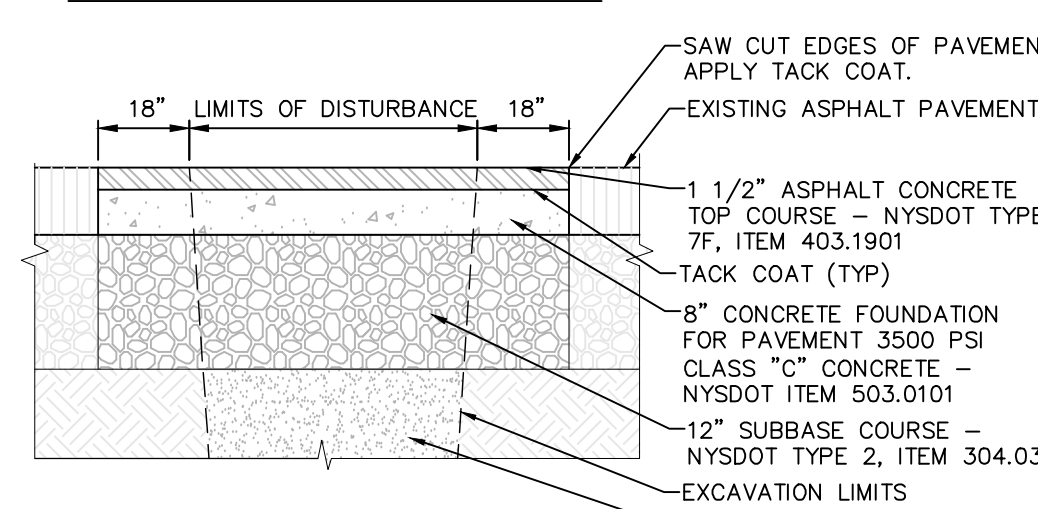
7 PEDESTRIAN RAMP WITH FLARED SLOPES
SCALE: NOT TO SCALE



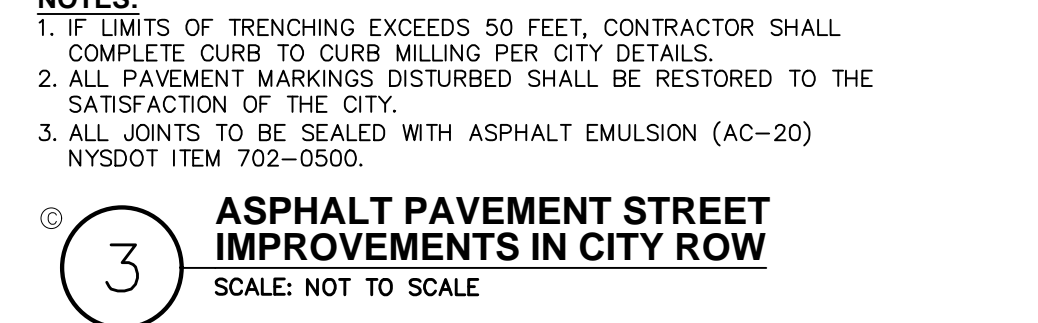
9 DIAGONAL PEDESTRIAN RAMP WITH FLARED SLOPES
SCALE: NOT TO SCALE



10 STREET RESTORATION SECTION



11 WING GUTTER
SCALE: NOT TO SCALE



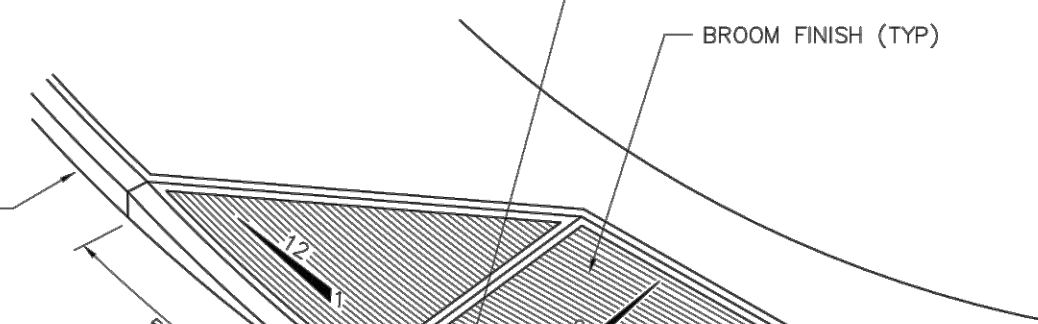
12 GRANITE CURB AT SIDEWALK
SCALE: NOT TO SCALE



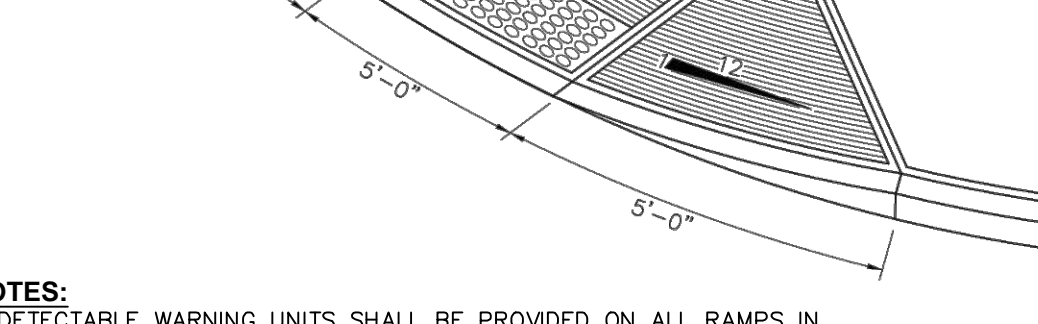
13 GRANITE CURB
SCALE: NOT TO SCALE



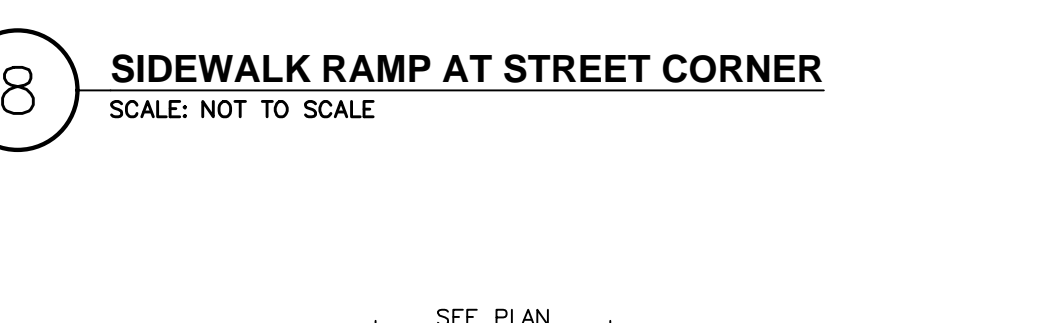
14 UNIT PAVERS ON SAND SETTING BED
SCALE: NOT TO SCALE



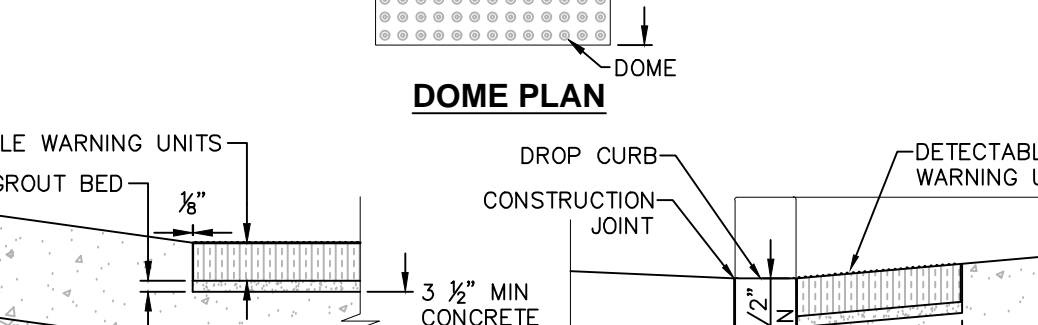
15 UNIT PAVERS OVER CONCRETE BASE
SCALE: NOT TO SCALE



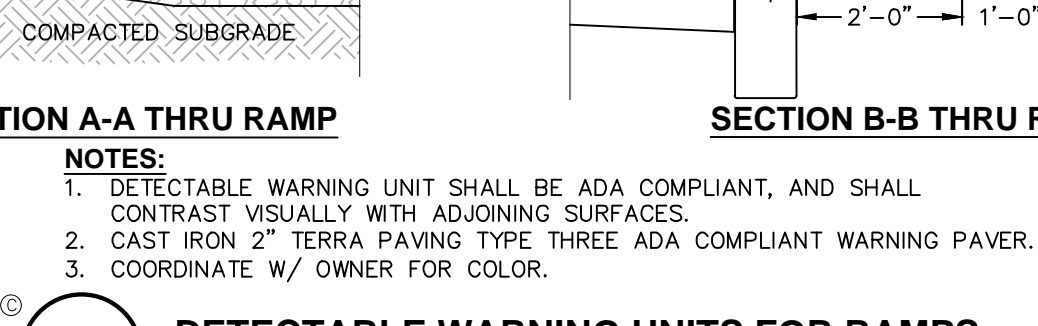
16 PEDESTRIAN RAMP WITH FLARED SLOPES
SCALE: NOT TO SCALE



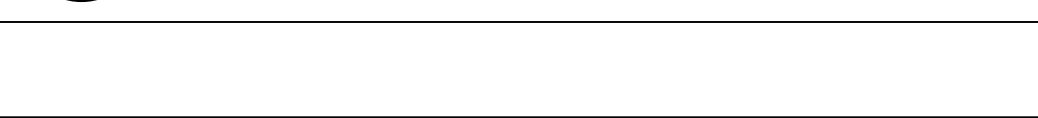
17 SIDEWALK RAMP AT STREET CORNER
SCALE: NOT TO SCALE



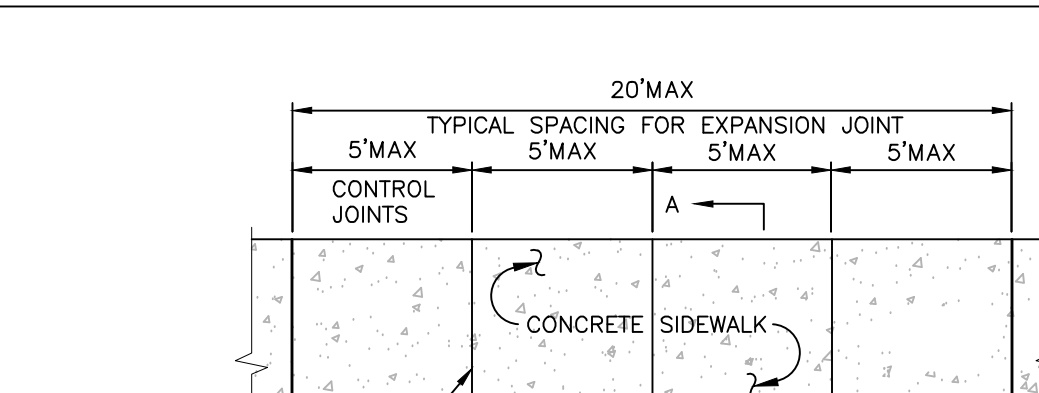
18 GRANITE CURB AT SIDEWALK
SCALE: NOT TO SCALE



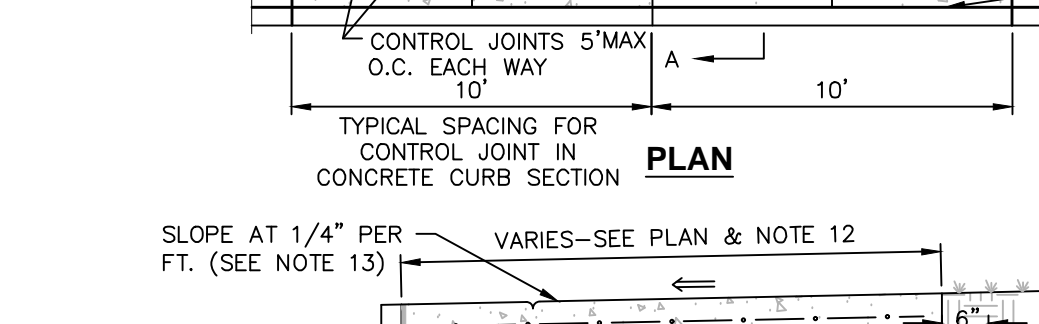
19 GRANITE CURB
SCALE: NOT TO SCALE



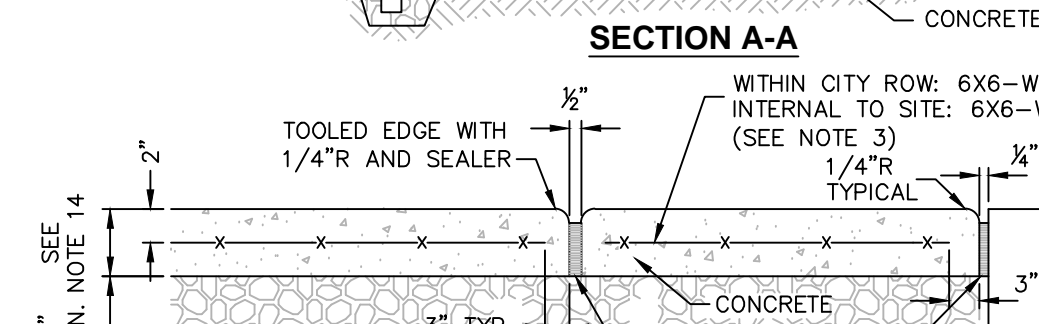
20 UNIT PAVERS ON SAND SETTING BED
SCALE: NOT TO SCALE



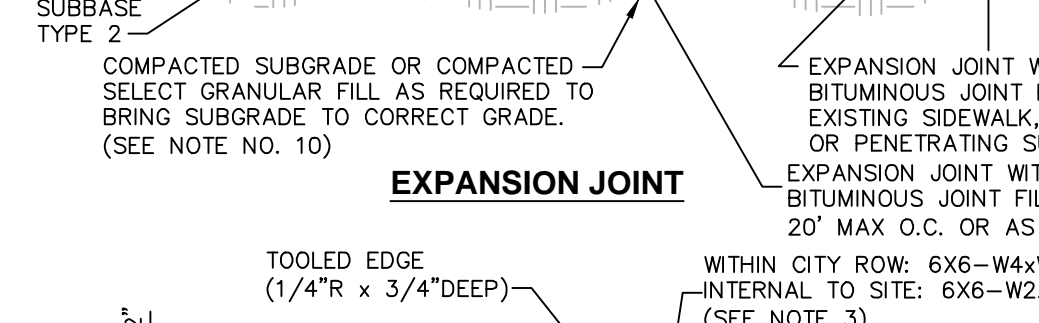
21 CONCRETE SIDEWALK DETAIL
SCALE: NOT TO SCALE



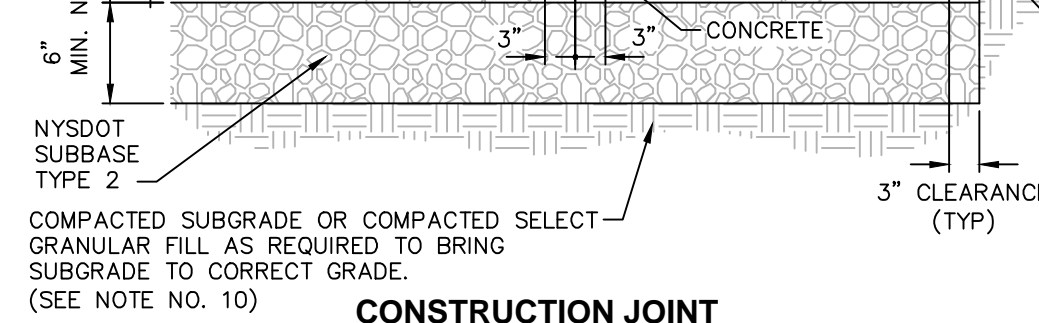
22 DRIVEWAY RAMP WITH DROP CURB
SCALE: NOT TO SCALE



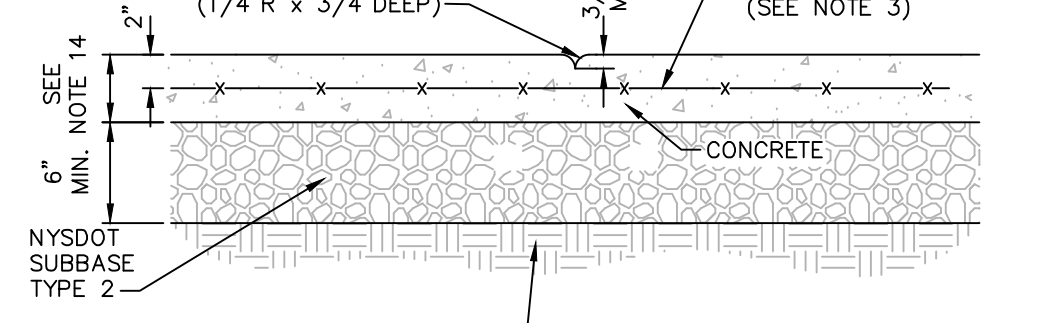
23 PEDESTRIAN RAMP WITH FLARED SLOPES
SCALE: NOT TO SCALE



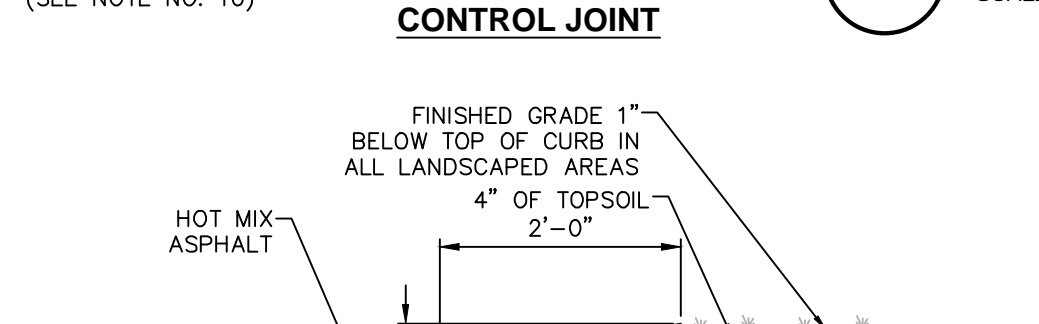
24 SIDEWALK RAMP AT STREET CORNER
SCALE: NOT TO SCALE



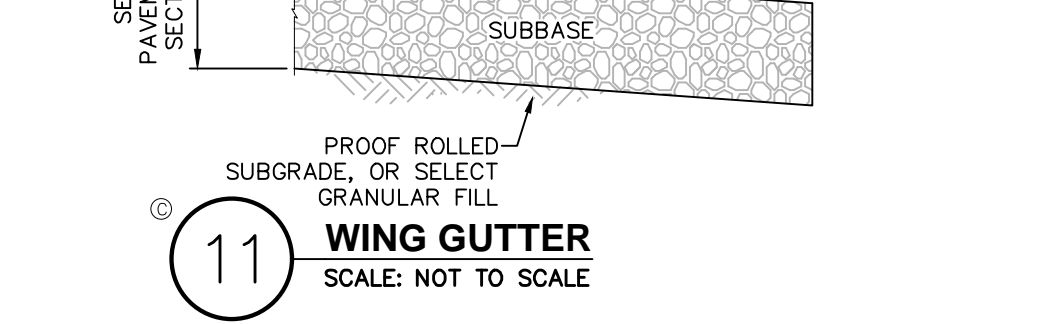
25 GRANITE CURB AT SIDEWALK
SCALE: NOT TO SCALE



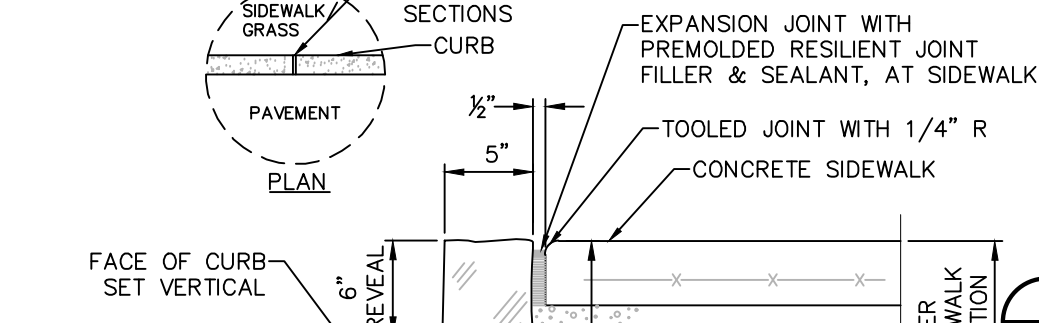
26 GRANITE CURB
SCALE: NOT TO SCALE



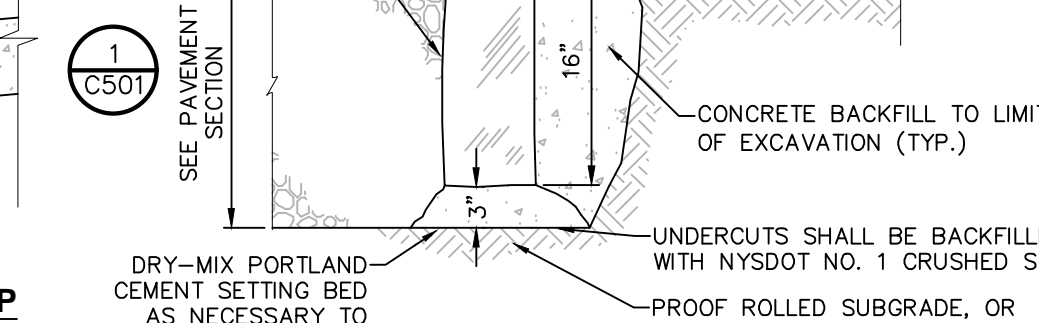
27 UNIT PAVERS ON SAND SETTING BED
SCALE: NOT TO SCALE



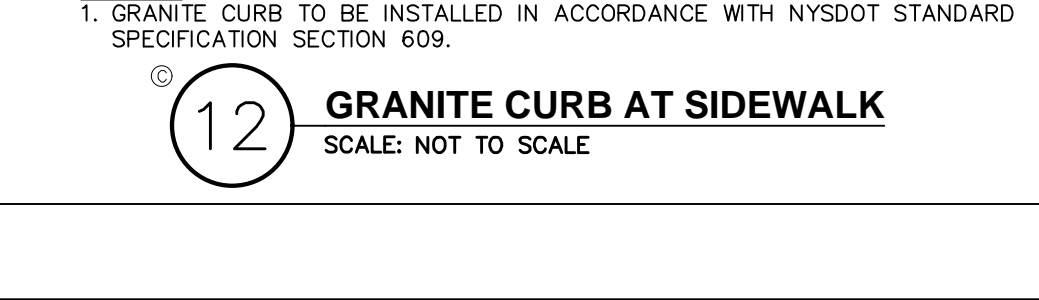
28 UNIT PAVERS OVER CONCRETE BASE
SCALE: NOT TO SCALE



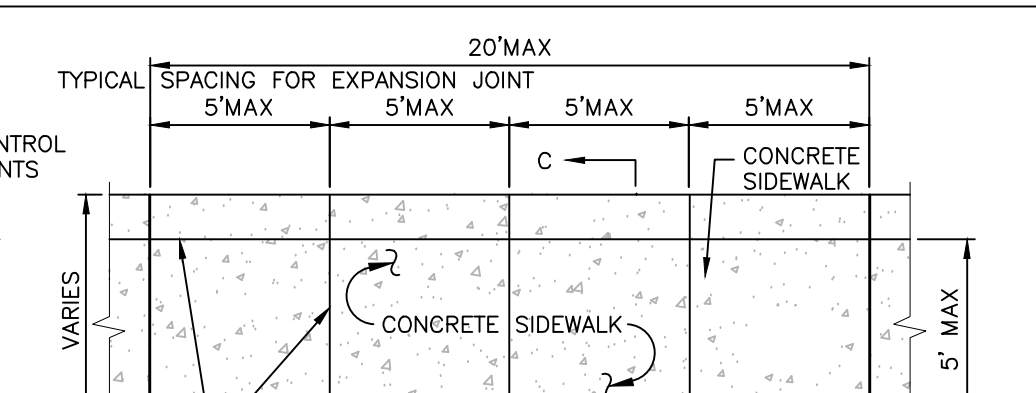
29 PEDESTRIAN RAMP WITH FLARED SLOPES
SCALE: NOT TO SCALE



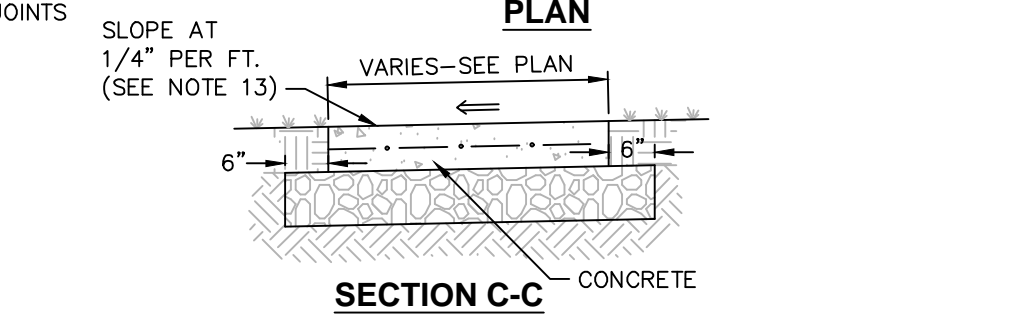
30 SIDEWALK RAMP AT STREET CORNER
SCALE: NOT TO SCALE



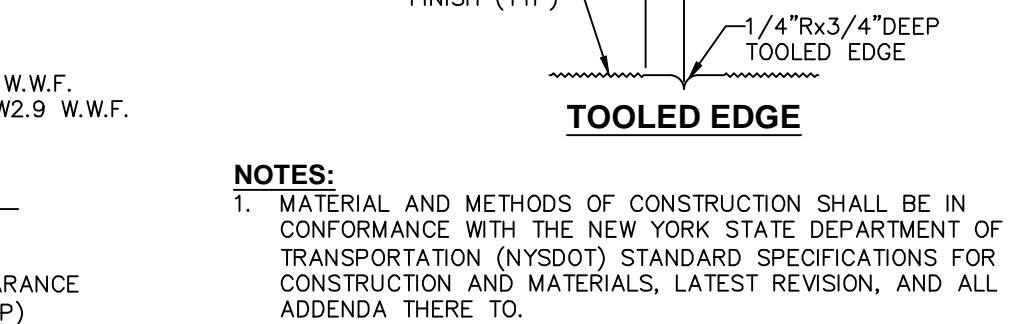
31 GRANITE CURB AT SIDEWALK
SCALE: NOT TO SCALE



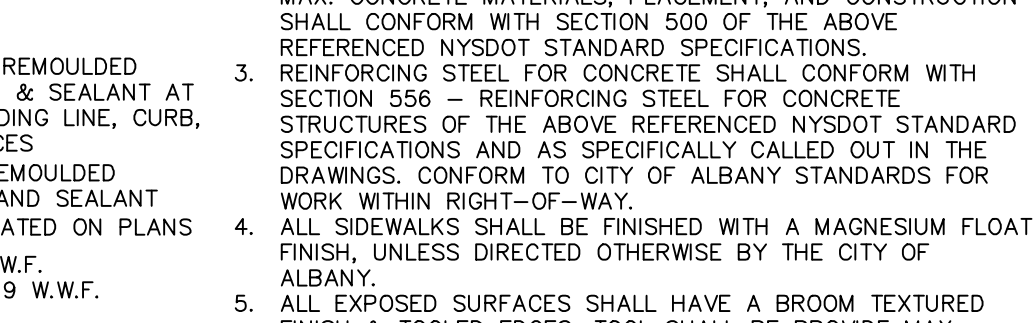
32 CONCRETE SIDEWALK DETAIL
SCALE: NOT TO SCALE



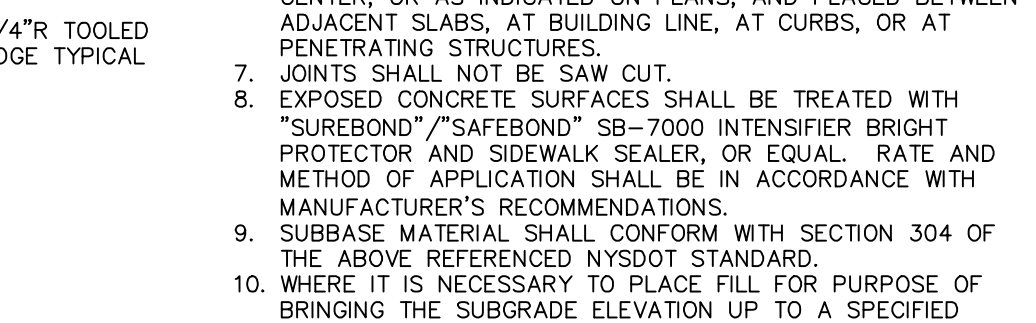
33 DRIVEWAY RAMP WITH DROP CURB
SCALE: NOT TO SCALE



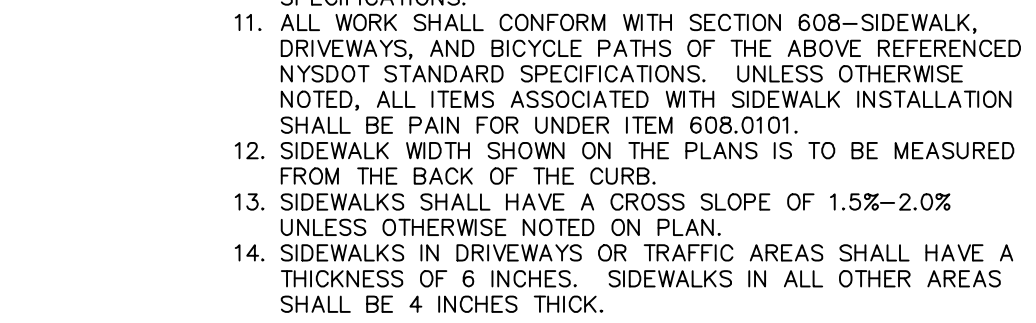
34 PEDESTRIAN RAMP WITH FLARED SLOPES
SCALE: NOT TO SCALE



35 SIDEWALK RAMP AT STREET CORNER
SCALE: NOT TO SCALE



36 GRANITE CURB AT SIDEWALK
SCALE: NOT TO SCALE



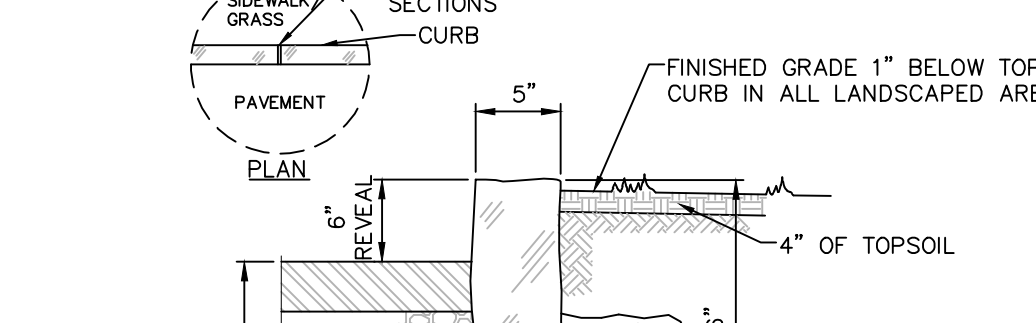
37 GRANITE CURB
SCALE: NOT TO SCALE



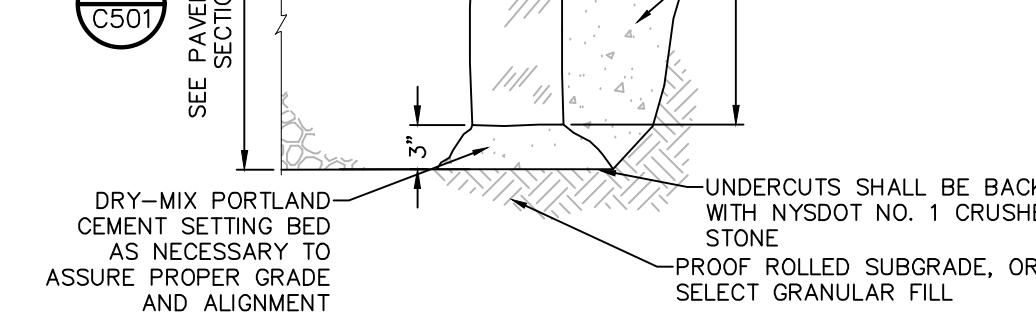
38 UNIT PAVERS ON SAND SETTING BED
SCALE: NOT TO SCALE



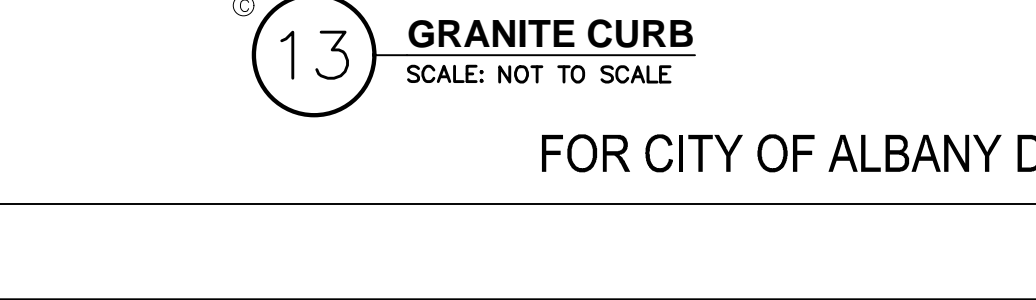
39 UNIT PAVERS OVER CONCRETE BASE
SCALE: NOT TO SCALE



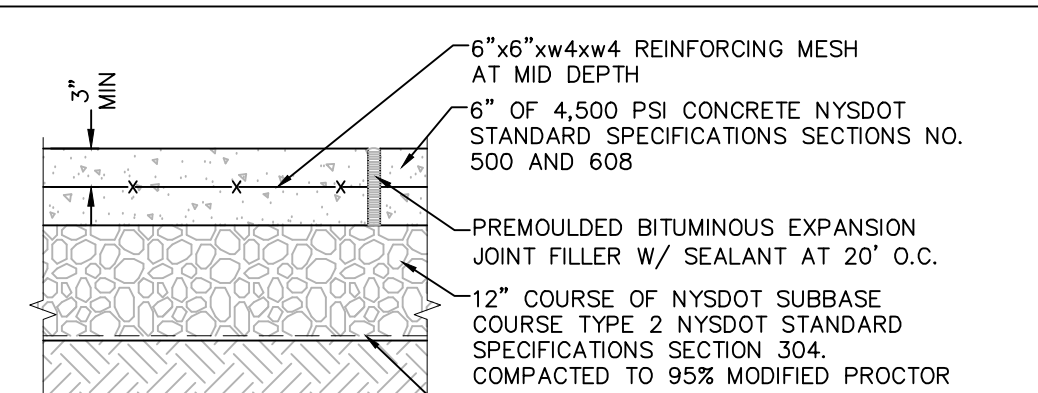
40 PEDESTRIAN RAMP WITH FLARED SLOPES
SCALE: NOT TO SCALE



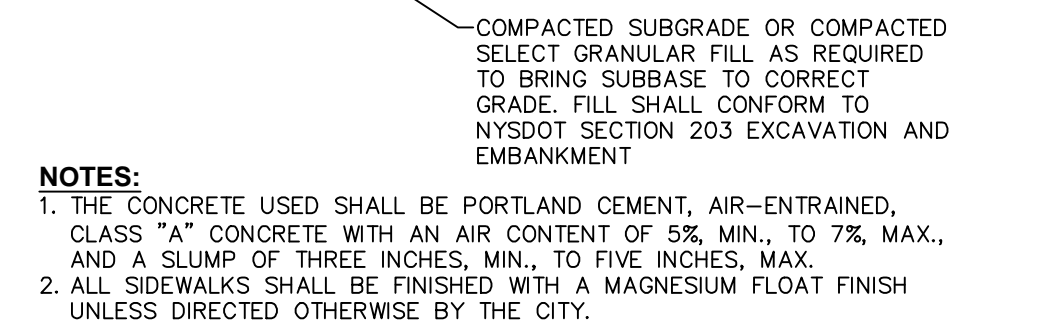
41 SIDEWALK RAMP AT STREET CORNER
SCALE: NOT TO SCALE



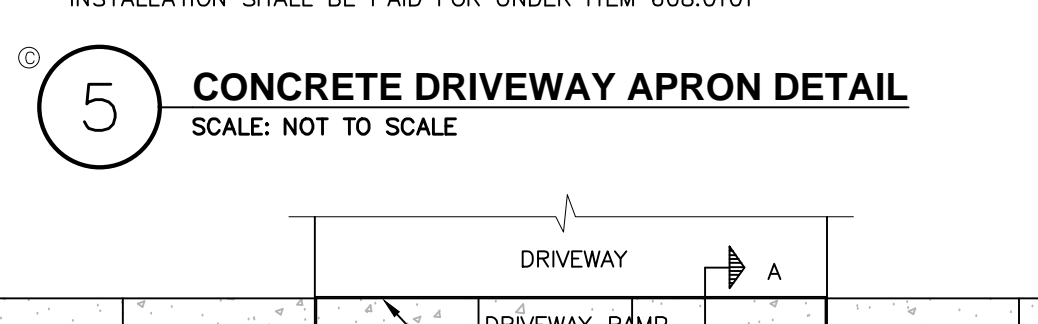
42 GRANITE CURB AT SIDEWALK
SCALE: NOT TO SCALE



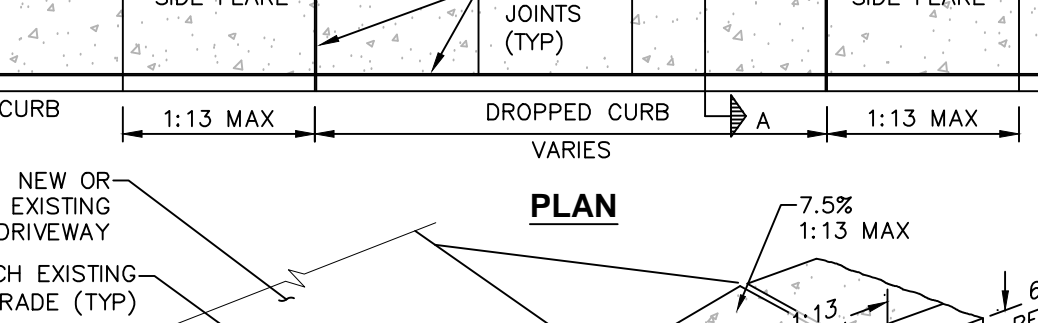
43 CONCRETE SIDEWALK DETAIL
SCALE: NOT TO SCALE



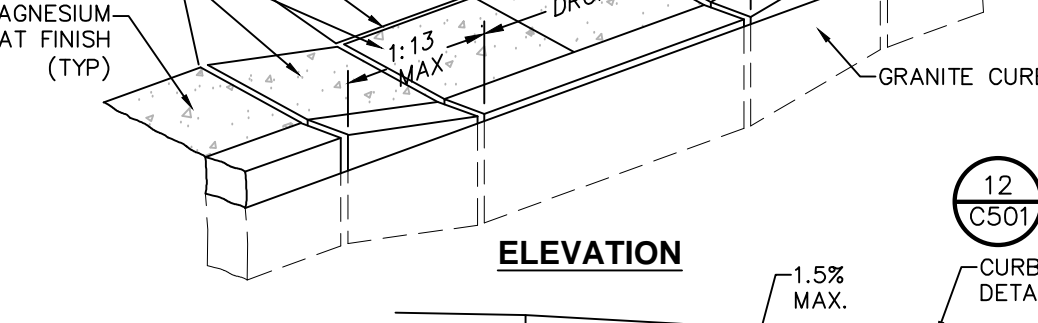
44 DRIVEWAY RAMP WITH DROP CURB
SCALE: NOT TO SCALE



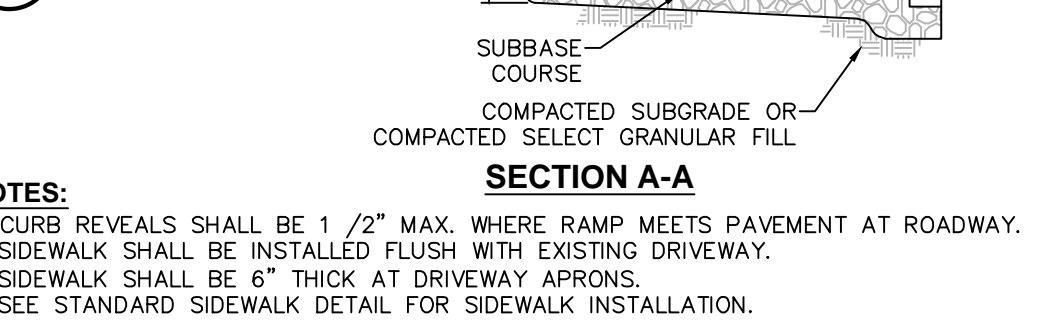
45 PEDESTRIAN RAMP WITH FLARED SLOPES
SCALE: NOT TO SCALE



46 SIDEWALK RAMP AT STREET CORNER
SCALE: NOT TO SCALE



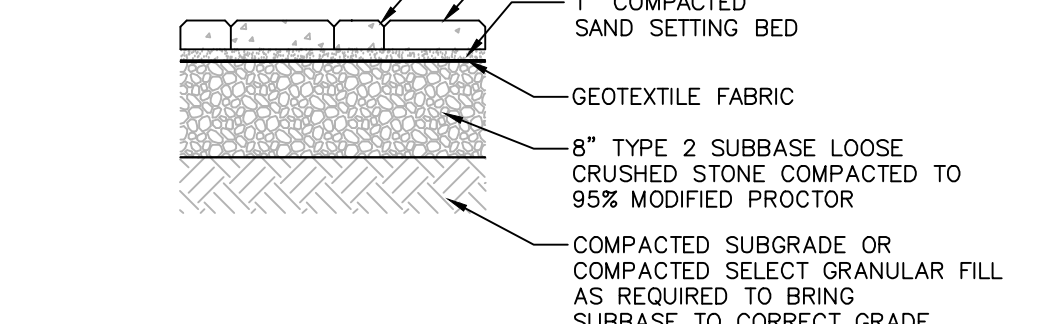
47 GRANITE CURB AT SIDEWALK
SCALE: NOT TO SCALE



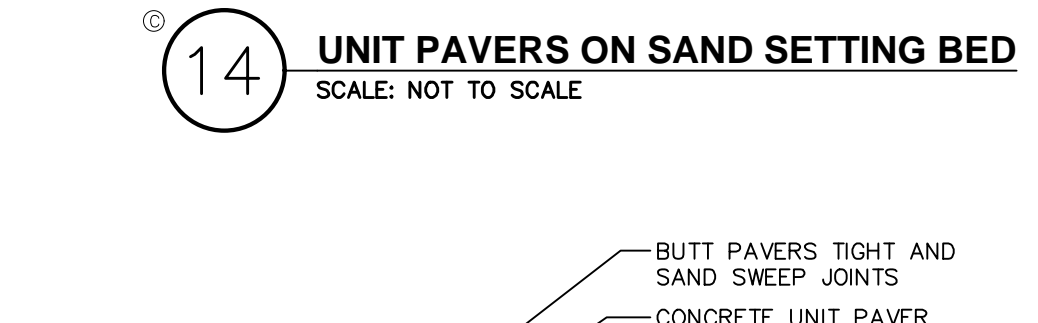
48 GRANITE CURB
SCALE: NOT TO SCALE



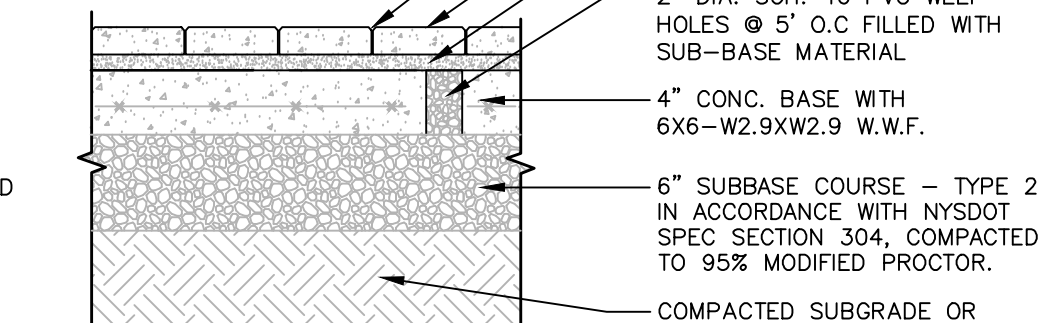
49 UNIT PAVERS ON SAND SETTING BED
SCALE: NOT TO SCALE



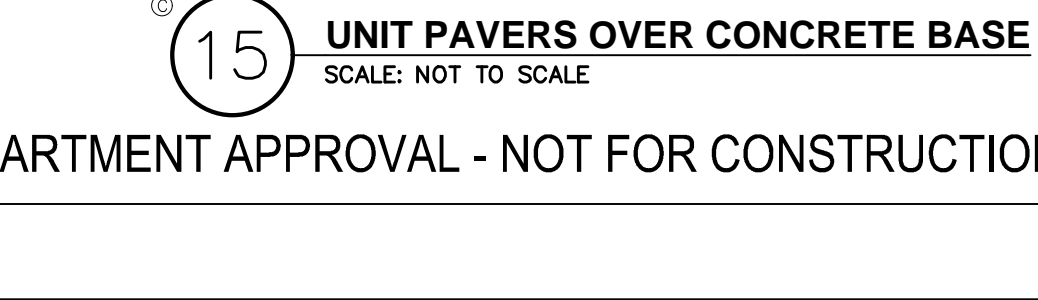
50 UNIT PAVERS OVER CONCRETE BASE
SCALE: NOT TO SCALE



51 PEDESTRIAN RAMP WITH FLARED SLOPES
SCALE: NOT TO SCALE



52 SIDEWALK RAMP AT STREET CORNER
SCALE: NOT TO SCALE



53 GRANITE CURB AT SIDEWALK
SCALE: NOT TO SCALE

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



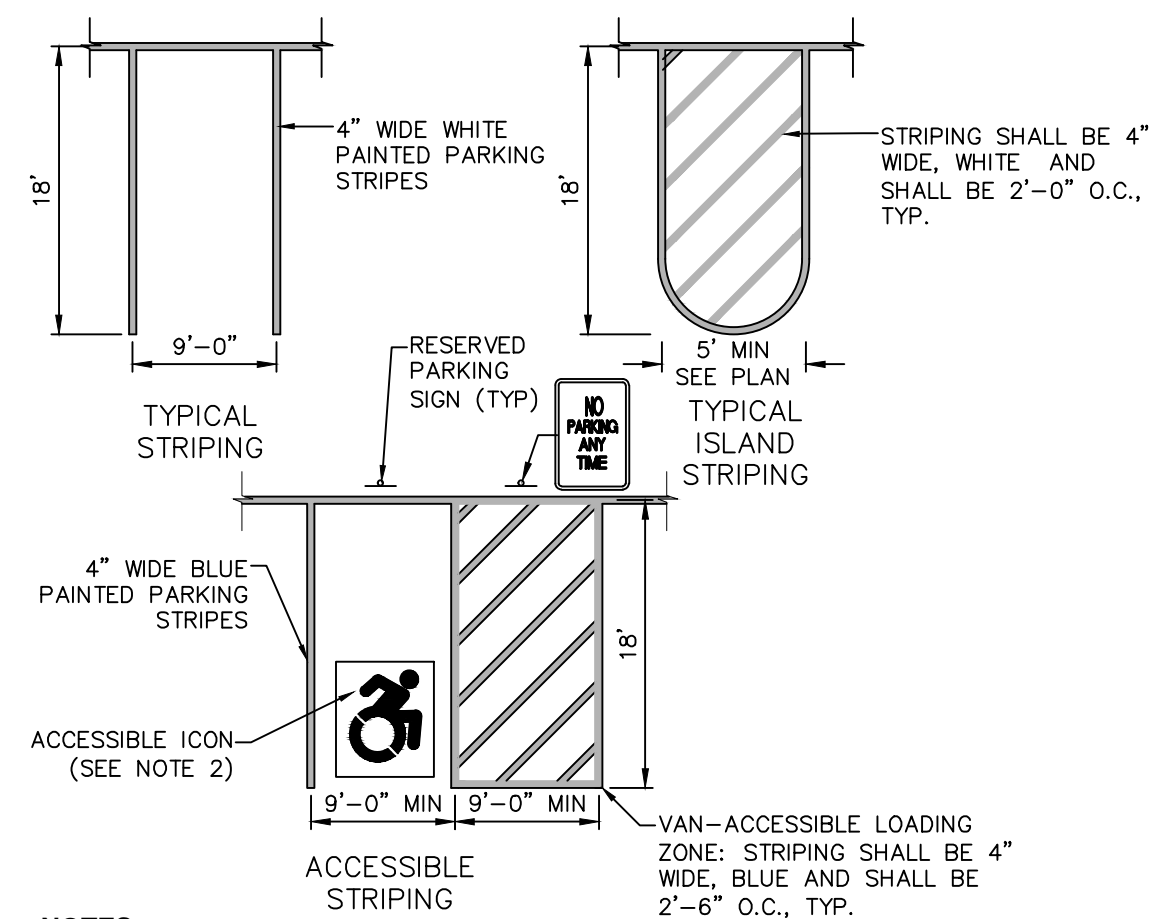
DOB Stamp & Signature

DOB Scan:

Drawing Title:
Site Details

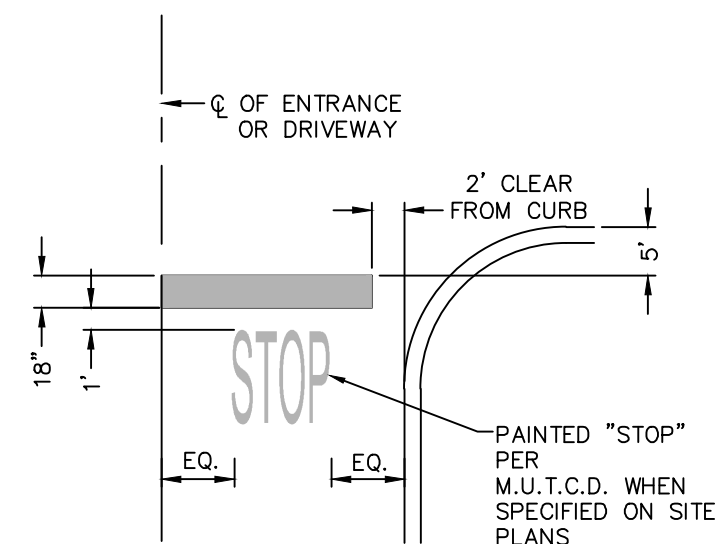
Drawing Number:
C-501

DWG.No:



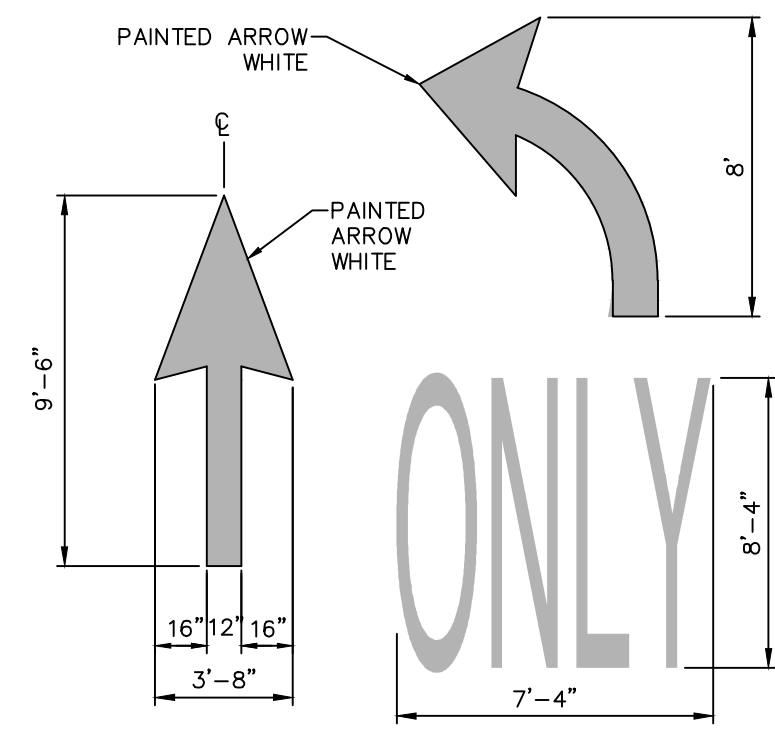
- NOTES:**
1. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH ADA STANDARD AND CURRENT ZONING AND SITE REGULATIONS.
 2. PAINTED ACCESSIBLE LOGO TO BE IN ACCORDANCE W/ NEW YORK STATE LAW.
 3. SLOPE OF PAVEMENT SURFACE IN ACCESSIBLE PARKING AREA SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
 4. SEE PLAN FOR ACTUAL LOCATION OF SIGNAGE.
 5. ALL PAVEMENT MARKINGS WITHIN THE CITY ROW SHALL BE EPOXY TYPE PAINT PER NYSOT STANDARD SPECIFICATIONS 685.XX.

1 PAVEMENT MARKING DETAIL PARKING STRIPING
SCALE: NOT TO SCALE



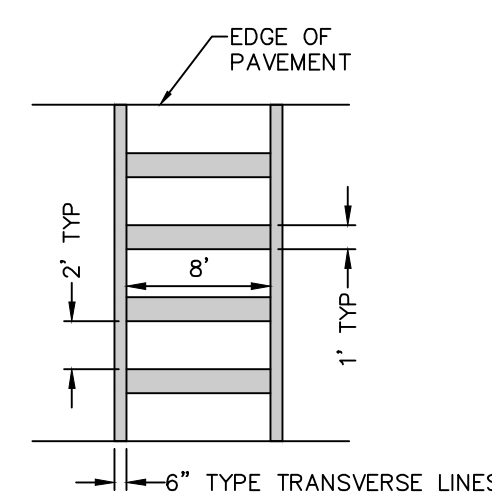
- NOTES:**
1. ALL PAVEMENT MARKINGS WITHIN THE CITY ROW SHALL BE EPOXY TYPE PAINT PER NYSOT STANDARD SPECIFICATIONS 685.XX.

2 PAVEMENT MARKING DETAIL STOP BAR
SCALE: NOT TO SCALE



- NOTES:**
1. ALL PAVEMENT MARKINGS WITHIN THE CITY ROW SHALL BE EPOXY TYPE PAINT PER NYSOT STANDARD SPECIFICATIONS 685.XX.

3 PAVEMENT MARKING DETAIL DIRECTIONAL ARROW
SCALE: NOT TO SCALE

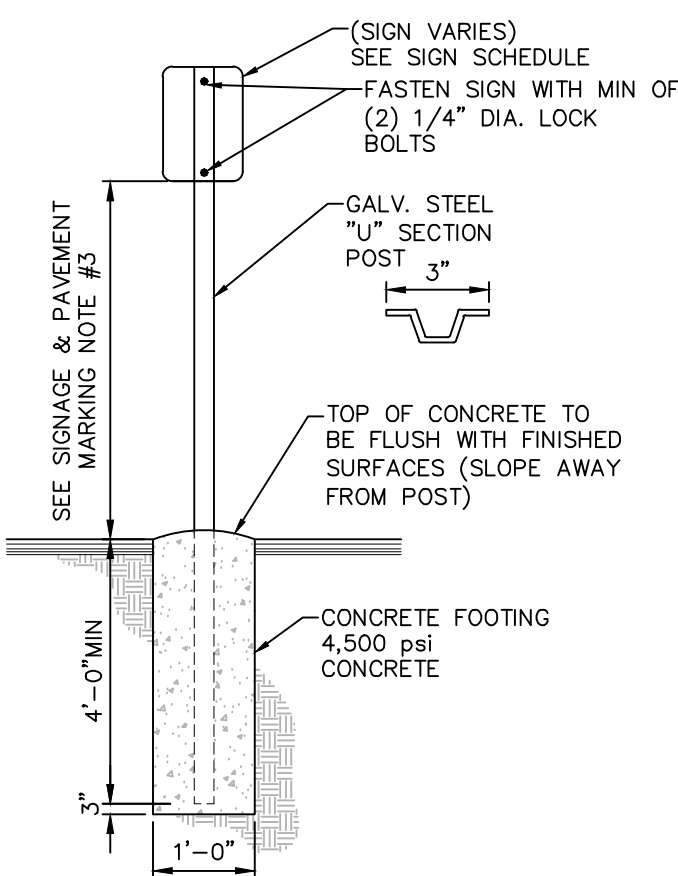


- NOTES:**
1. ALL CROSS WALK STRIPING SHALL BE WHITE.
 2. ALL PAVEMENT MARKINGS WITHIN THE CITY ROW ARE TO BE EPOXY TYPE PAINT NYSOT ITEM 685.XX.

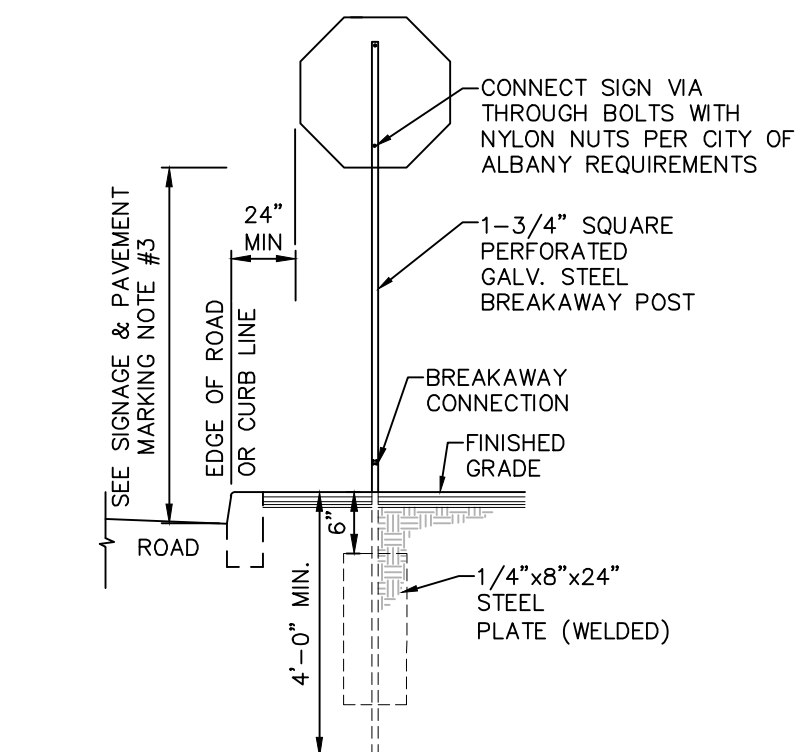
4 PAVEMENT MARKING DETAIL CROSS WALK STRIPING
SCALE: NOT TO SCALE

- STRIPING NOTES:**
1. ALL STRIPING SHALL CONFORM TO THE LATEST EDITION OF THE NYSOT STANDARD SPECIFICATIONS, SECTION 640 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
 2. STRIPE PAVEMENT AS INDICATED ON THE PLANS AND/OR IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
 3. STRIPING WORK WILL BE REVIEWED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.
 4. COLOR: DRIVE LANE DIVIDERS - WHITE OR AOB; NO PARKING ZONE WARNINGS - WHITE OR AOB; PARKING DIVIDERS - WHITE OR AOB; WALKING LINES - WHITE OR AOB; ACCESSIBLE PARKING LINES & SYMBOL - BLUE.
 5. ALL PAVEMENT MARKINGS WITHIN THE CITY ROW SHALL BE EPOXY TYPE PAINT PER NYSOT STANDARD SPECIFICATIONS 685.XX.

- SIGNAGE NOTES:**
1. ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE NYSOT STANDARD SPECIFICATIONS, SECTION 645 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
 2. SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'. MINIMUM MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
 3. SIGN POST SHALL BE IN ACCORDANCE W/ NYSOT STANDARD SPECS SECTION 730.



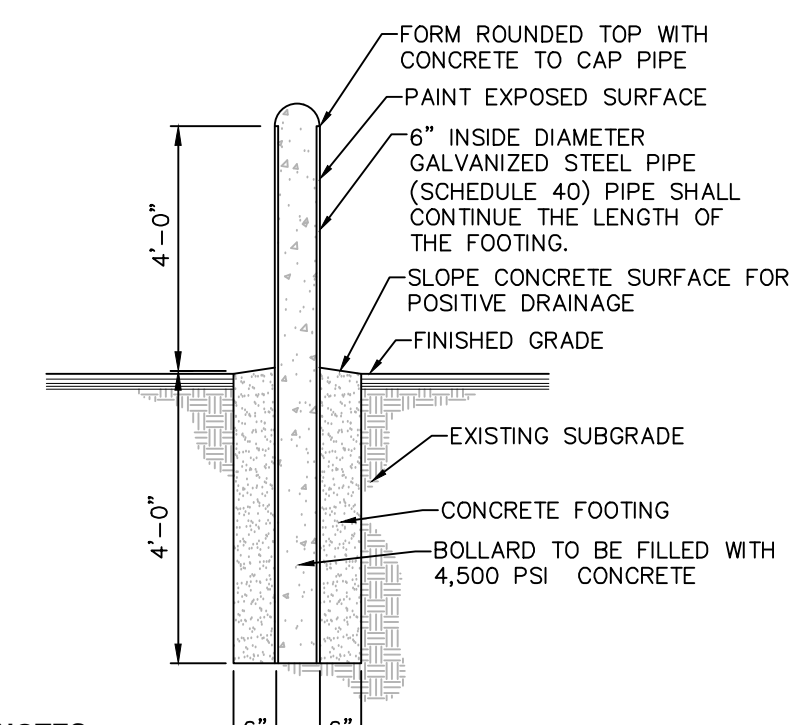
5 SINGLE POST SIGN MOUNTING IN CONCRETE
SCALE: NOT TO SCALE



6 SINGLE POST SIGN MOUNTING IN CITY RIGHT-OF-WAY
SCALE: NOT TO SCALE

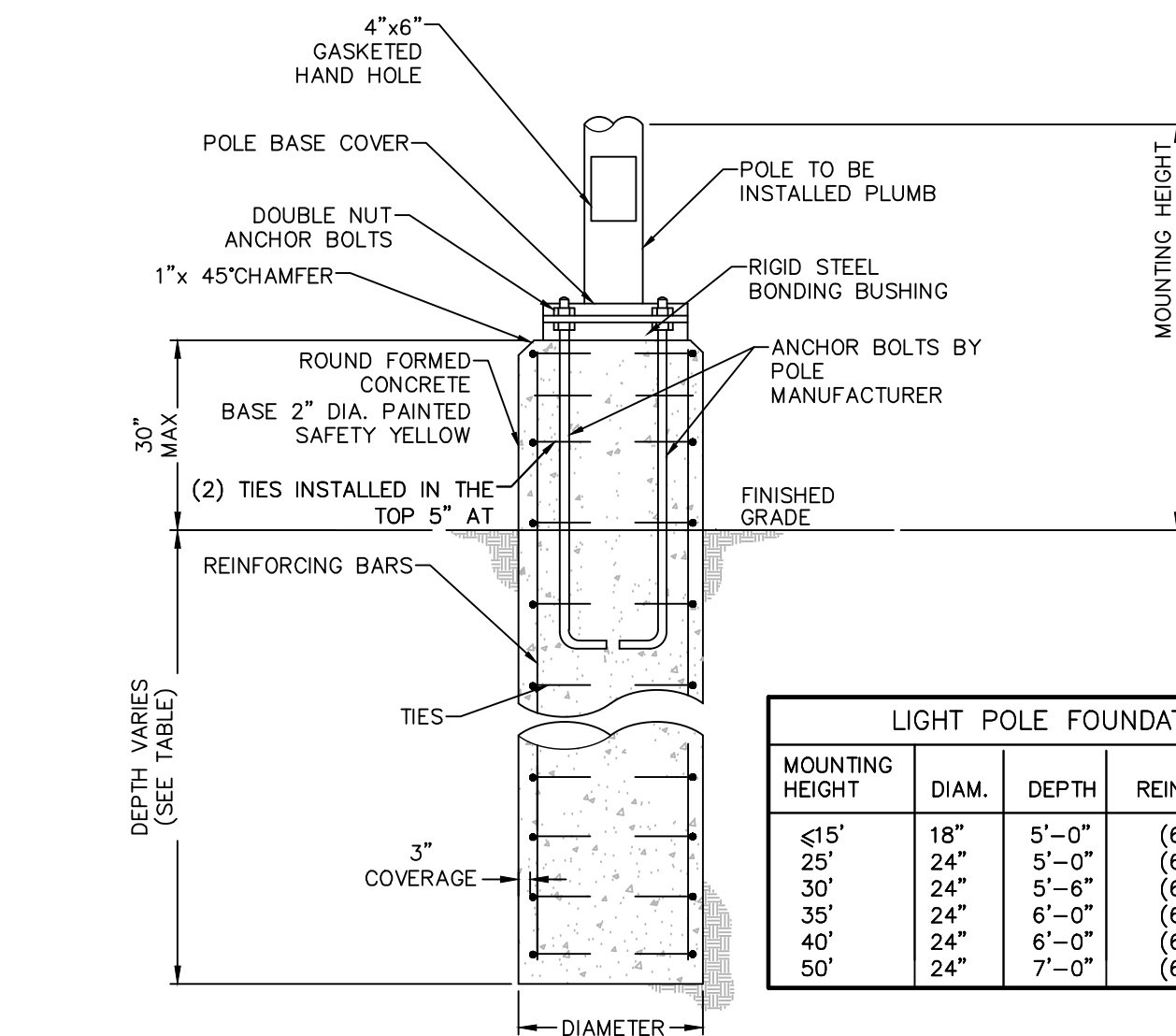
SIGN NO.	SIGN FACE	MUTCD NUMBER	MIN SIZE	COLORS	LEGEND	MOUNTING
1	STOP	R1-1	30"x30"	RED	WHITE	6 (C500)
2	ONE WAY	R6-1L	36"x12"	BLACK	WHITE	6 (C500)
3	ONE WAY	R6-1R	36"x12"	BLACK	WHITE	6 (C500)
4A	WALKING	W11-2	24"x24"	FYG	BLACK	6 (C500)
4B	WALKING	W11-2	24"x24"	FYG	BLACK	6 (C500)
5A	LEFT TURN	W16-7P	24"x12"	FYG	BLACK	6 (C500)
5B	RIGHT TURN	W16-7P	24"x12"	FYG	BLACK	6 (C500)
5C	AHEAD	W16-9P	24"x12"	FYG	BLACK	6 (C500)
6	SPEED LIMIT 30	R2-1	18"x24"	WHITE	BLACK	6 (C500)
7	DO NOT ENTER	R5-1	30"x30"	RED	WHITE	6 (C500)
8	RESERVED PARKING	NY R7-8D	12"x18"	WHITE/BLUE	GREEN/WHITE	5 (C500)
9	VAN ACCESSIBLE	R7-8P	12"x6"	WHITE	BLUE	5 (C500)
10	NO PARKING ANY TIME	R7-1	12"x18"	WHITE	RED	6 (C500)
11	NO PARKING ANY TIME	R7-1	12"x18"	WHITE	RED	6 (C500)
12	NO PARKING ANY TIME	R7-1	12"x18"	WHITE	RED	6 (C500)
13	NO PARKING SCHOOL BUSES ONLY	N/A	12"x18"	WHITE	RED	6 (C500)
14	NO PARKING	R3-2	30"x30"	WHITE	BLACK/RED	6 (C500)
15	ELECTRIC VEHICLE CHARGING STATION	AS SHOWN	12"x18"	WHITE	GREEN	5 (C500)

7 SIGN SCHEDULE
SCALE: NOT TO SCALE



- NOTES:**
1. BOLLARD FINISH: PREPARE GALVANIZED COATING TO RECEIVE PAINTED FINISH. APPLY (1) COAT OF RUST INHIBITOR PRIMER, APPLY (2) COATS OF GLOSS ENAMEL (COLOR TO BE SELECTED BY THE OWNER).
 2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI @ 28 DAYS.
 3. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" (WITH A TOLERANCE OF 1").
 4. ALL CONCRETE SHALL HAVE A 5% ENTRAINED AIR (WITH A TOLERANCE OF 1%) CONFORMING WITH ASTM C260.

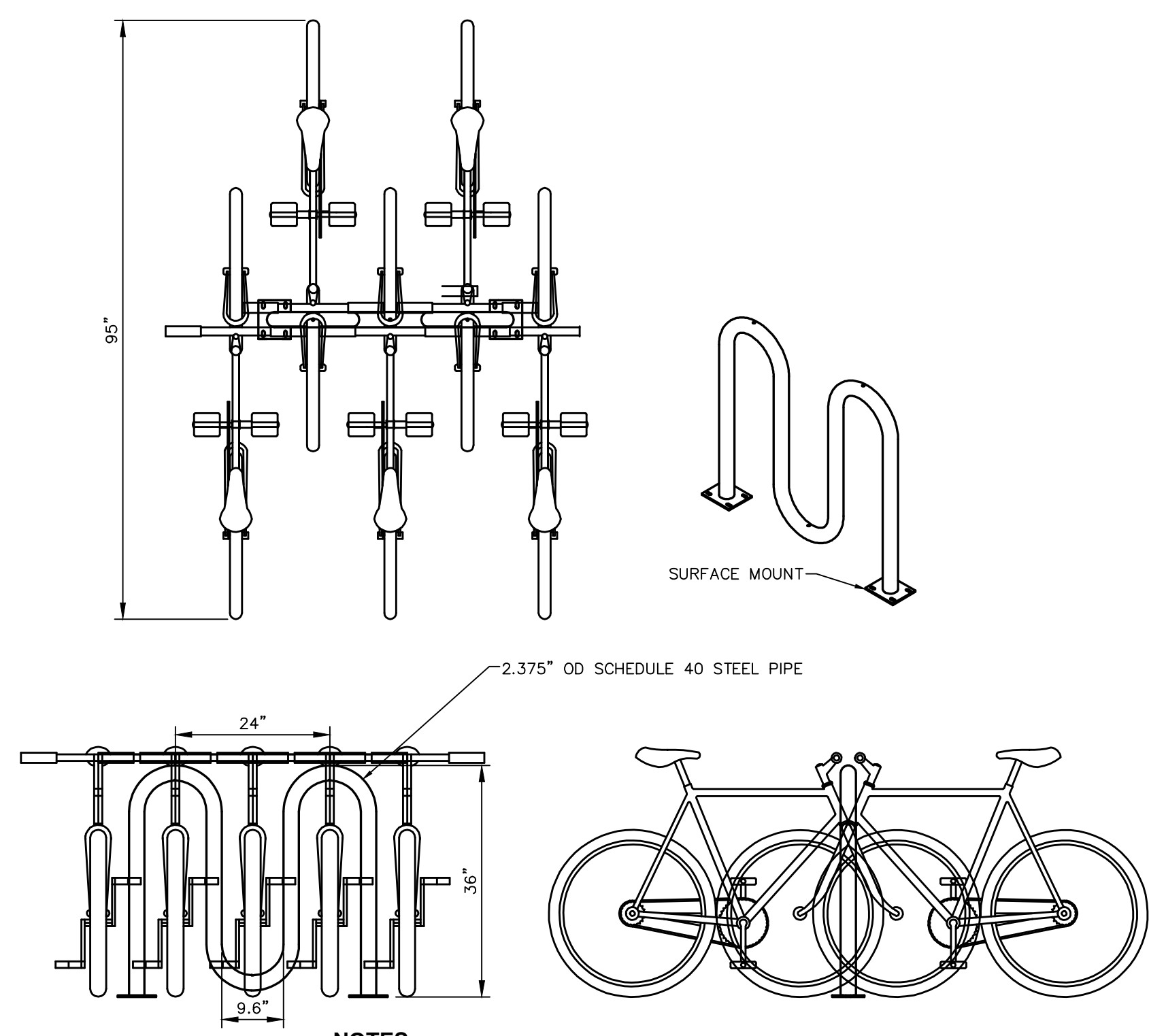
8 STEEL & CONCRETE BOLLARD DETAIL
SCALE: NOT TO SCALE



- NOTES:**
1. CONDUITS AND GROUNDING SHALL BE AS REQUIRED BY THE ELECTRICAL DESIGN.
 2. ALL CONCRETE SHALL BE 4,500 PSI @ 28 DAYS.
 3. ALL REINFORCING STEEL SHALL BE GRADE 60.
 4. DESIGNED FOR 90 MPH WIND WITH FIXTURE AREA OF 13 SF.
 5. FOUNDATION DIAMETER AND REINFORCING CIRCLE SHALL BE COORDINATED WITH ANCHOR BOLT LIMITS.
 6. FOUNDATIONS SHALL BE AUGERED INTO UNDISTURBED NATURAL SOIL OR COMPACTED FILL PER SITE GRADING PLANS.

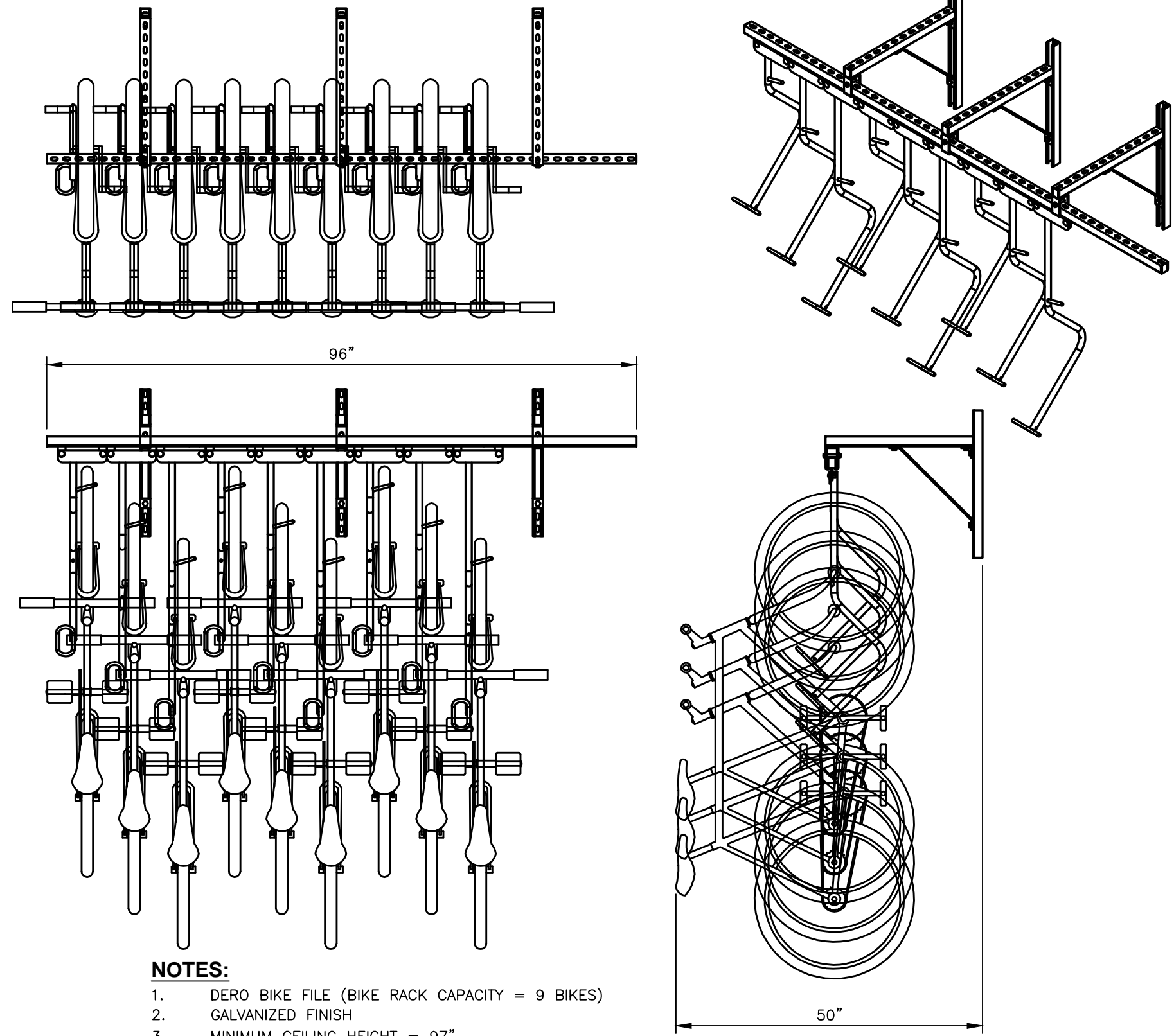
9 SITE LIGHTING CONCRETE BASE
SCALE: NOT TO SCALE

LIGHT POLE FOUNDATIONS				
MOUNTING HEIGHT	DIAM.	DEPTH	REINF BARS	TIES
≤15'	18"	5'-0"	(6)#6	#3@18"
25'	24"	5'-0"	(6)#6	#3@12"
30'	24"	5'-6"	(6)#6	#3@12"
35'	24"	6'-0"	(6)#6	#3@12"
40'	24"	6'-0"	(6)#6	#3@12"
50'	24"	7'-0"	(6)#8	#3@12"



- NOTES:**
1. DERO ROLLING RACK RR2H (BIKE RACK CAPACITY = 5 BIKES)
 2. COLOR & FINISH TO BE DETERMINED BY ARCHITECT.

10 SURFACE-MOUNTED BIKE RACK
SCALE: NOT TO SCALE



- NOTES:**
1. DERO BIKE FILE (BIKE RACK CAPACITY = 9 BIKES)
 2. GALVANIZED FINISH
 3. MINIMUM CEILING HEIGHT = 97"

11 WALL-MOUNTED BIKE RACK
SCALE: NOT TO SCALE

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



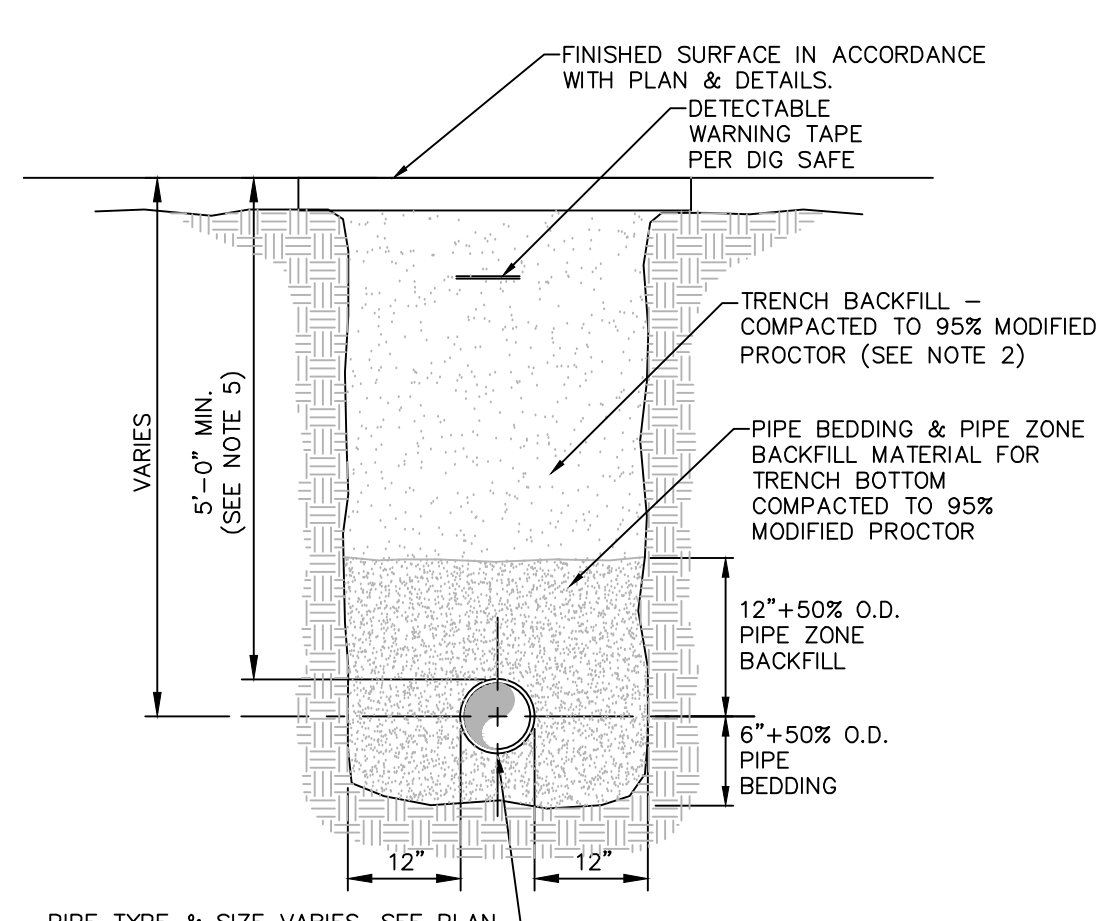
DOB Stamp & Signature

DOB Scan:

Drawing Title:
Site Details

Drawing Number:
C-502

DWG.No:



PIPE TYPE & SIZE VARIES. SEE PLAN

NOTES:

- PIPE BEDDING & PIPE ZONE BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) SAND OR A MIXTURE OF CRUSHED STONE AND GRAVEL, FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. BEDDING GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
3/4"	100%
NO. 40	0-70%
NO. 200	0-10%

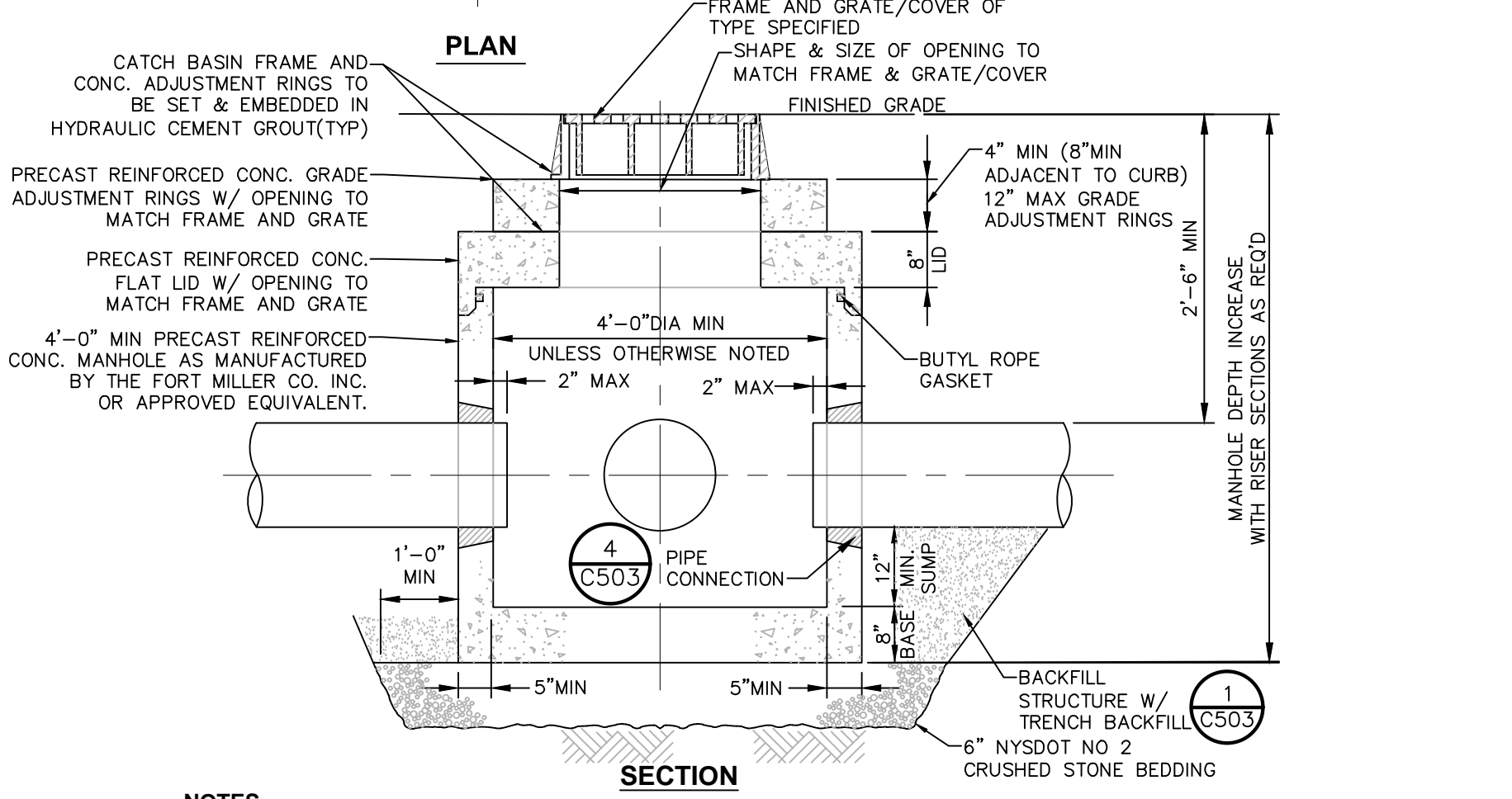
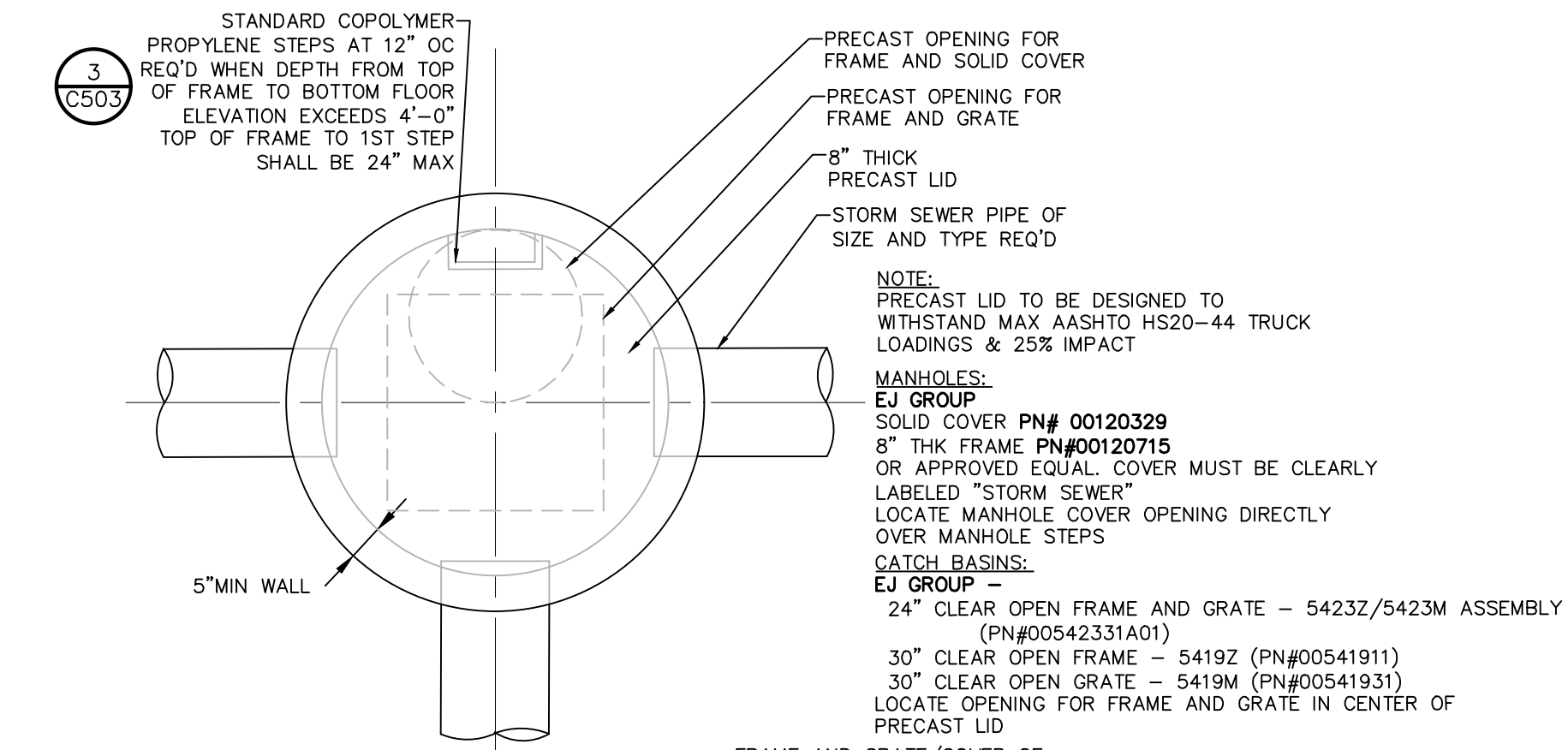
- TRENCH BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) OR PROCESSED GRAVEL, OR EXCAVATED MATERIAL FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. TRENCH BACKFILL GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
4"	100%
NO. 40	0-70%
NO. 200	0-10%

IN NON-TRAFFIC UNPAVED AREAS TRENCH BACKFILL CAN BE MATERIALS EXCAVATED FROM THE TRENCH AS APPROVED BY THE ENGINEER AND COMPACTED TO 90% MODIFIED PROCTOR.

- INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" BELOW FINISHED GRADE, DIRECTLY OVER PIPING, EXCEPT 6" BELOW SUBGRADE UNDER PAVEMENTS & SLAB.
- TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS. 5. 5'-0" MIN COVER SHALL BE APPLIED TO WATER MAIN OR SANITARY SEWER FORCE MAINS ONLY.

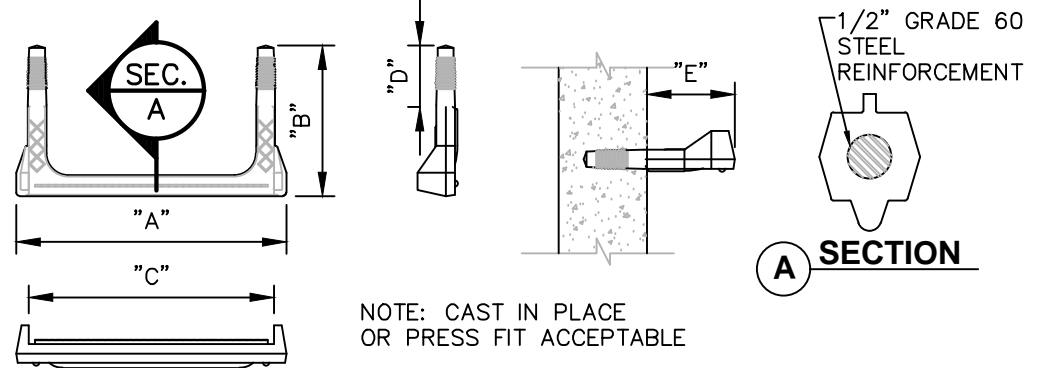
1 PIPE TRENCH DETAIL (TYPICAL)
SCALE: NOT TO SCALE



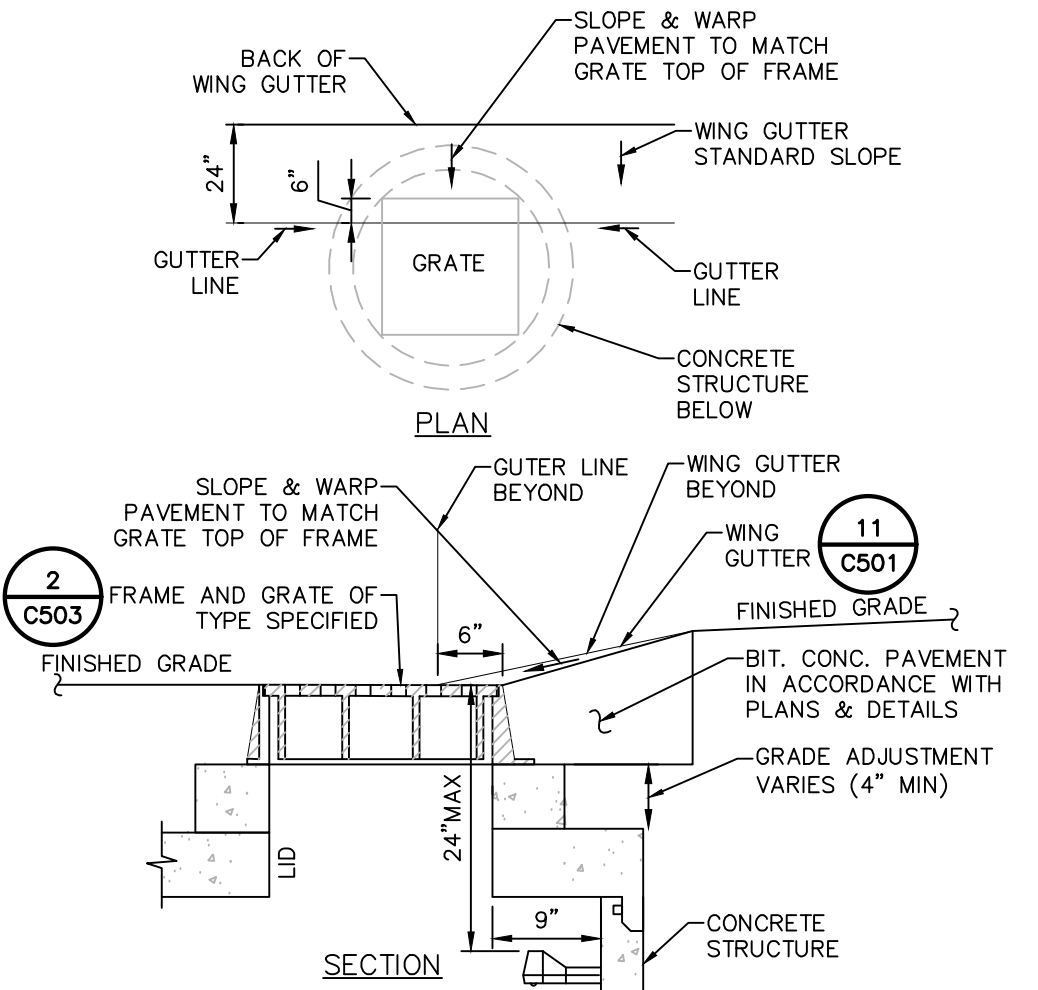
NOTES:

- CATCH BASIN SHALL BE PRECAST CONCRETE, DESIGNED FOR HS20-44 VEHICULAR LOADING AND 25% IMPACT.
- FRAME AND COVER SHALL BE DESIGNED FOR HS20-44 VEHICULAR LOADING & 25% IMPACT.
- CONCRETE CATCH BASIN LID CLEAR OPENING DIMENSION MUST MATCH FRAME AND GRATE CLEAR OPENING DIMENSION.
- CATCH BASINS HAVING A DEPTH GREATER THAN 48" FROM FINISHED SURFACE TO THE FLOOR OF THE CONCRETE BASE SHALL BE PROVIDED WITH STEPS.
- BACKFILL USING TRENCH BACKFILL, COMPACTED IN 6" LIFTS.
- SUMPS FOR CATCH BASINS SHALL BE 12".
- ECCENTRIC CONE TOP CAN BE USED FOR MANHOLES DEPTH GREATER THAN 7 FEET.
- SEE CHART FOR REQUIRED MANHOLES / CATCH BASINS DIAMETERS.
- ALL PRECAST CONSTRUCTION IN ACCORDANCE W/ASTM C478

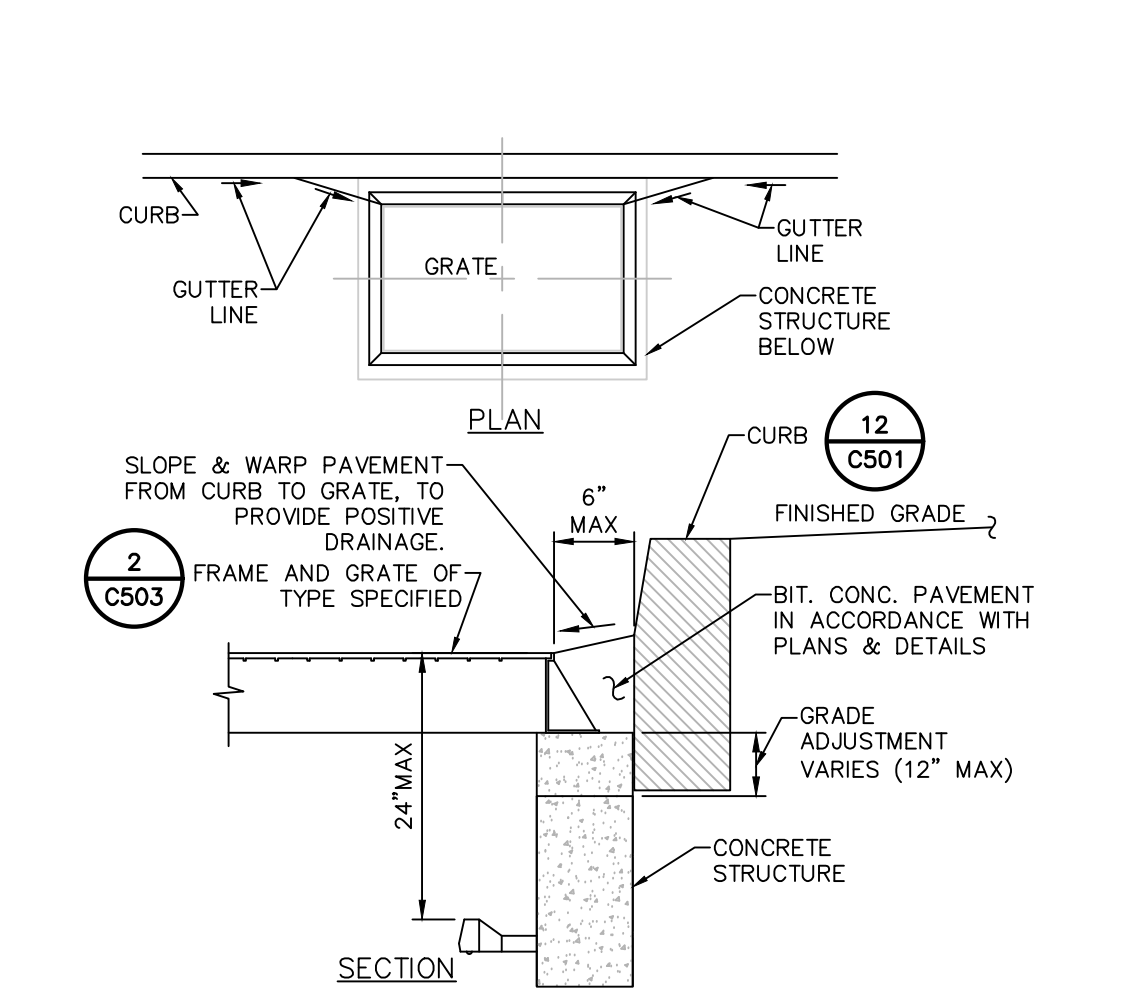
2 PRECAST CONCRETE CATCH BASIN/MANHOLE DETAIL
SCALE: NOT TO SCALE



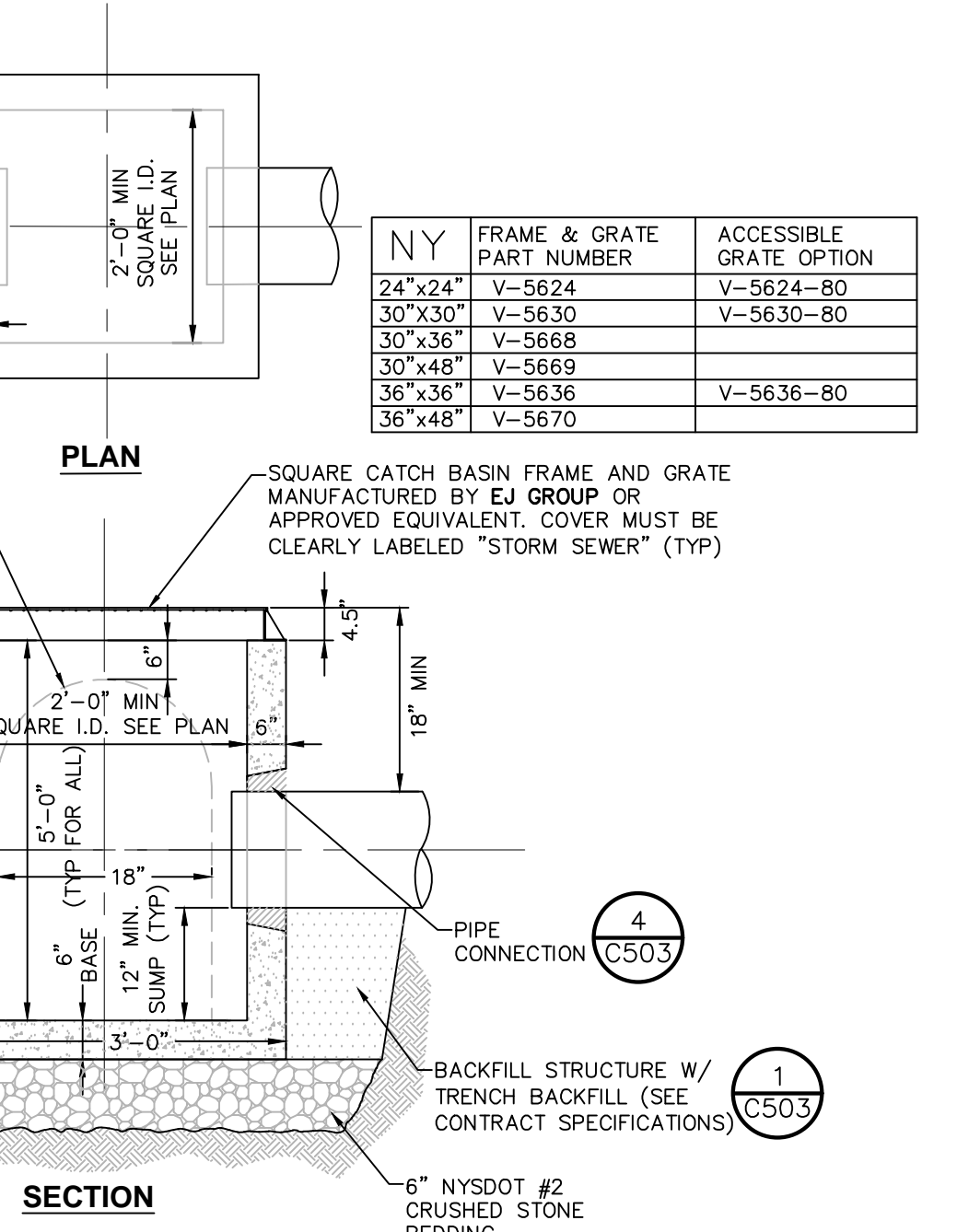
4 PIPE CONNECTION TO DRAINAGE STRUCTURE-CMP OR HDPE CEMENT GROUT SEAL JOINT
SCALE: NOT TO SCALE



5 48\"/>



6 30\"/>



NOTE: ALL PRECAST CONSTRUCTION IN ACCORDANCE W/ ASTM C478

NOTES:

- CATCH BASIN INLET BASINS SHALL BE PRECAST CONCRETE, DESIGNED FOR HS20-44 VEHICULAR LOADING + 25% IMPACT AS MANUFACTURED BY FORT MILLER OR APPROVED EQUAL.
- CATCH BASIN SHALL NOT HAVE A DEPTH GREATER THAN 60" FROM FINISHED SURFACE.
- BACKFILL USING TRENCH BACKFILL, COMPACTED IN 6" LIFTS.
- MAX STORM SEWER PIPE FOR SHALLOW 2' CATCH BASIN IS 15"

7 PRECAST CONCRETE SHALLOW CATCH BASIN DETAIL
SCALE: NOT TO SCALE

STORM SEWER NOTES:

- ALL STORM WATER MANAGEMENT STRUCTURES (I.E. CATCH BASIN, ETC.) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF 1/2 THE AVAILABLE SUMP DEPTH.
- IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT (A.K.A. SUMP PIT) TO TRAP AND FILTER WATER FOR PUMPING TO A SUITABLE DISCHARGE AREA. THE DEWATERING PIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, LATEST EDITION.
- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE AS OUTLINED ON THE EROSION AND SEDIMENT CONTROL PLANS, DETAILS AND NOTES.

MANHOLES AND OTHER BELOW GRADE STRUCTURES:

- STRUCTURAL DESIGN FOR MANHOLES AND OTHER BELOW-GRADE PRECAST CONCRETE STRUCTURES:
 - NON-TRAFFIC LOADS: BELOW GRADE PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO WITHSTAND LOADS IMPOSED BY STRUCTURE WEIGHT, EARTH COVER, LATERAL PRESSURE FROM EARTH AND GROUND WATER, AND LIVE LOADS SUCH AS PEDESTRIAN TRAFFIC OR MACHINERY ON OR ABOVE THE STRUCTURE; AND
 - TRAFFIC LOADS: BELOW GRADE PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ALSO WITHSTAND TRAFFIC LOADS CREATED BY AN HS20-44 TRUCK PLUS 25% IMPACT AS DEFINED IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) DESIGN STANDARDS.
- MATERIAL WHICH SHALL BE UTILIZED IN THE CONSTRUCTION OF PRECAST CONCRETE STRUCTURES:
 - CEMENT: ASTM C-150, TYPES I,II,III,IV
 - SAND: NYS DOT STD. SPEC. SECTION NO. 703-0 CONCRETE SAND
 - STONE: NYS DOT STD. SPEC. SECTION NO. 703-02 COARSE AGGREGATE
 - STEEL BAR REINFORCEMENT: ASTM A615, GRADE 60
 - WIRE MESH REINFORCEMENT: ASTM A185 PLAIN
 - CONCRETE STRENGTH (28 DAY): 4,500 PSI (F'c)
 - ENTRAINED AIR: 5% MIN.
- ALL CASTINGS (FRAMES AND COVERS, FRAMES AND GRATES, ETC.) FOR USE IN CONJUNCTION WITH MANHOLES AND OTHER BELOW GRADE STRUCTURES SHALL BE MANUFACTURED FROM GRAY IRON OR DUCTILE IRON. GRAY IRON SHALL CONFORM WITH ASTM A 48, CLASS 30B AND DUCTILE IRON SHALL CONFORM WITH ASTM A 536 AND BE OF A GRADE APPROPRIATE TO ITS INTENDED USE.
- ALL CASTINGS (FRAMES AND COVERS, FRAMES AND GRATES, ETC.) FOR USE IN CONJUNCTION WITH MANHOLES AND OTHER BELOW GRADE STRUCTURES SHALL BE DESIGNED TO WITHSTAND AASHTO HS 20-44 HIGHWAY LOADING PLUS 25% IMPACT.
- ALL ASTM REFERENCES SHALL BE FOR THE LATEST ACTIVE STANDARD.

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule		
Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

Drawing Title:
Storm Sewer Details

Drawing Number:
C-503

DWG.No:

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

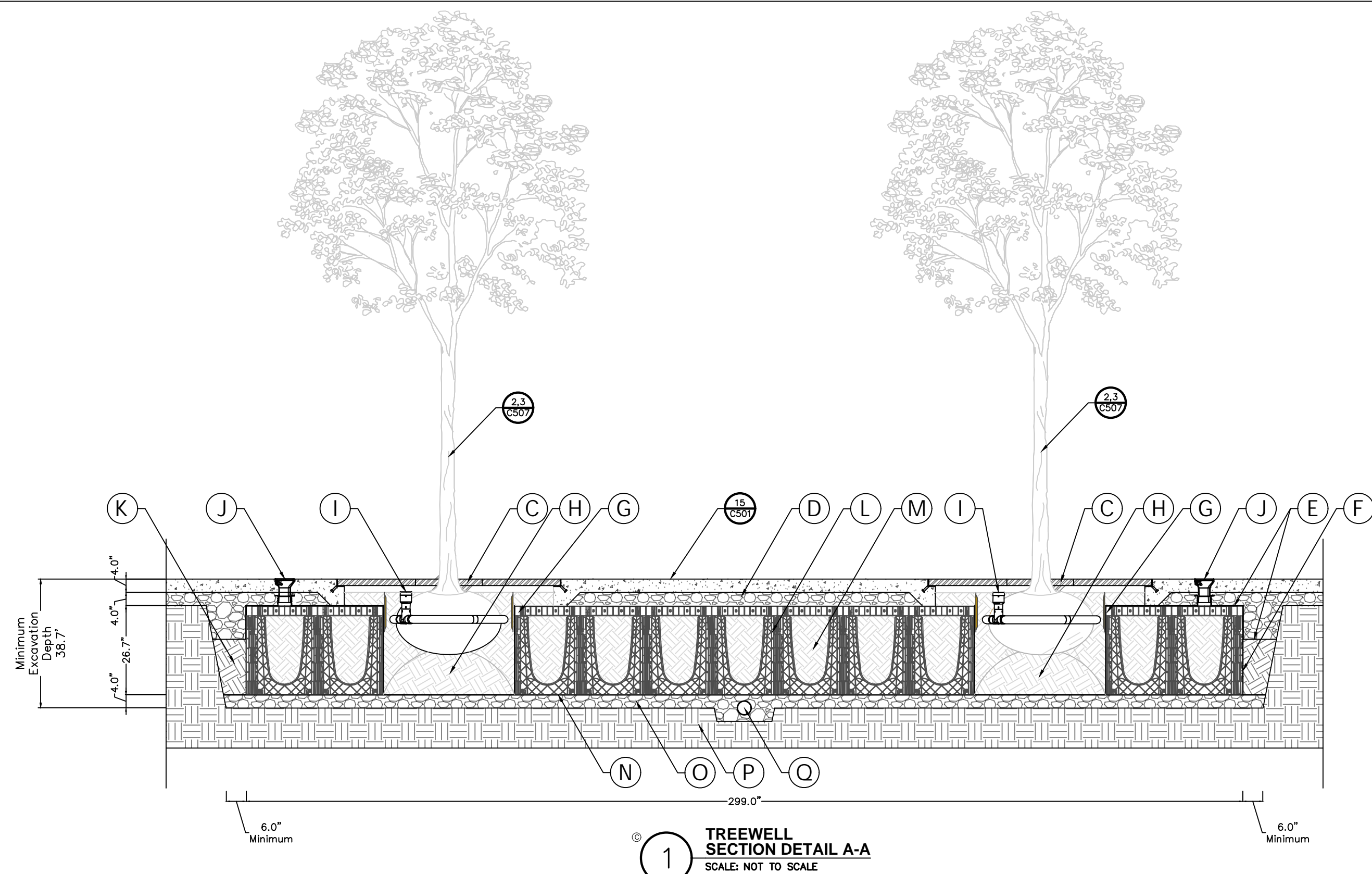
DOB Scan:

Stormwater Management Details

Drawing Number:

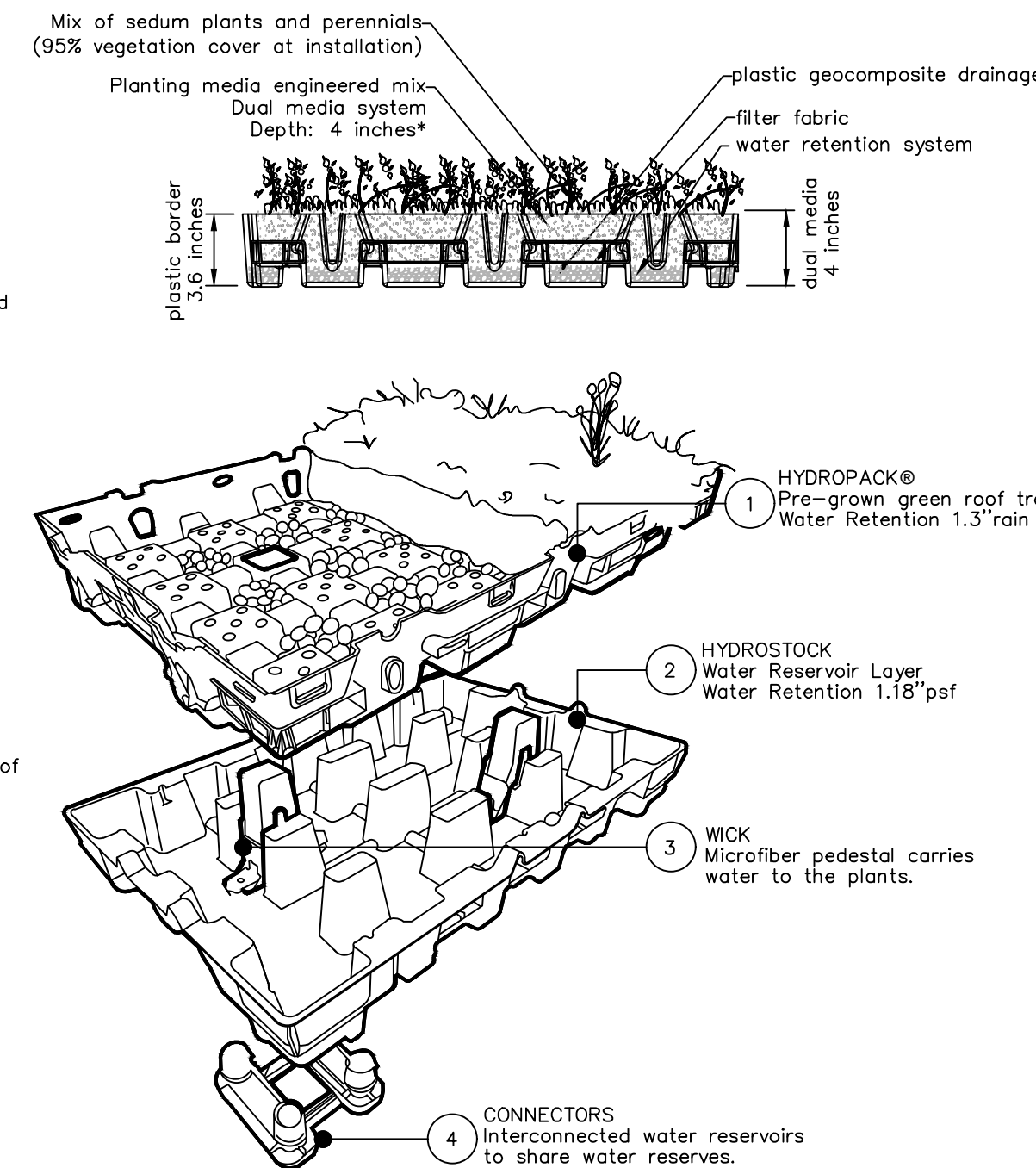
C-504

DWG.No:

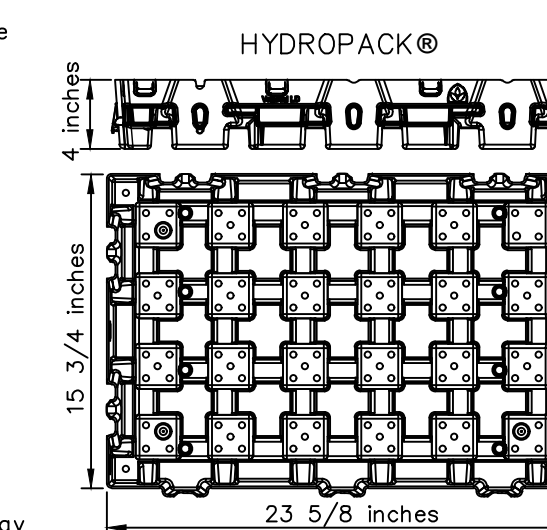


1 TREEWELL SECTION DETAIL A-A
SCALE: NOT TO SCALE

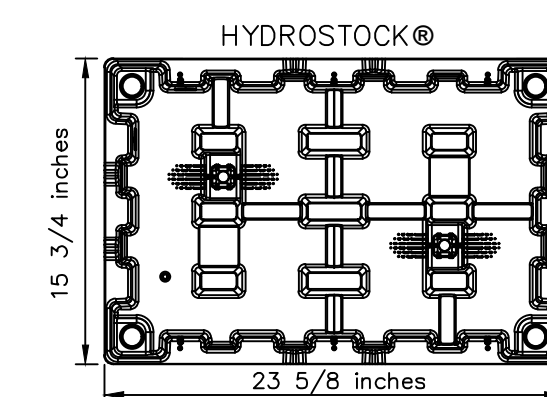
- A. TREE
(See details for proper planting depth.)
- B. PAVEMENT SURFACE
(Per engineers' specifications. Thicken at treestip opening.)
- C. TREE GRATE & FRAME
(Cast in place frame)
- D. GEOCOMPOSITE/GRID
(Placed horizontally on top of the soil cells. Fold the geocomposite/grid down the outer edge 10" - 12" and fold it out horizontally 10" - 12". Overlap seams 10" - 12".
(GreenBlue Urban - www.greenblue.com)
- E. ROOTSTOP™ 600 ROOT BARRIER
(Wraps vertically around the soil cells. Seams must overlap 10" - 12" and be sealed with seam tape.)
(GreenBlue Urban - www.greenblue.com)
- F. REROOT™ 300 ROOT BARRIER
(Wraps vertically around the inside of the treestip opening with the ribs facing the tree. seams must overlap 10" - 12" and be sealed with seam tape.)
(GreenBlue Urban - www.greenblue.com)
- G. COMPACTED SOIL ROOTBALL PEDESTAL
- H. ROOTRAIN™ CIVIC INLET & PIPE
(Rootball irrigation and aeration system.)
(GreenBlue Urban - www.greenblue.com)
- I. ARBORVENT™ 150 INLET & PIPE
(Soil aeration and irrigation system.)
(GreenBlue Urban - www.greenblue.com)
- J. COMPACTED BACKFILL
Backfill shall be free of organic material, trash and other debris, and shall be free of toxic material injurious to plant growth.
(Compact to 95% minimum standard proctor density)
- K. ROOTSPACE® 600 PAVEMENT SUPPORT SYSTEM / 1-LAYER
(Filled with planting soil.)
(GreenBlue Urban - www.greenblue.com)
- L. PLANTING SOIL
(Screened sandy loam w/ 4-8% organics by volume. See Planting Soil Specification for composition. Foot compaction only.)
- M. GEOGRID REINFORCEMENT FOR SOIL
(Place on top of aggregate sub-base)
- N. #57 AGGREGATE SUB-BASE / DRAINAGE LAYER - 4" MINIMUM DEPTH
(Compact to 95% minimum standard proctor density)
- O. COMPACTED SUB-GRADE
- P. PERFORATED UNDERDRAIN (OPTIONAL)
(Connect to stormwater drainage system per engineers' specifications)



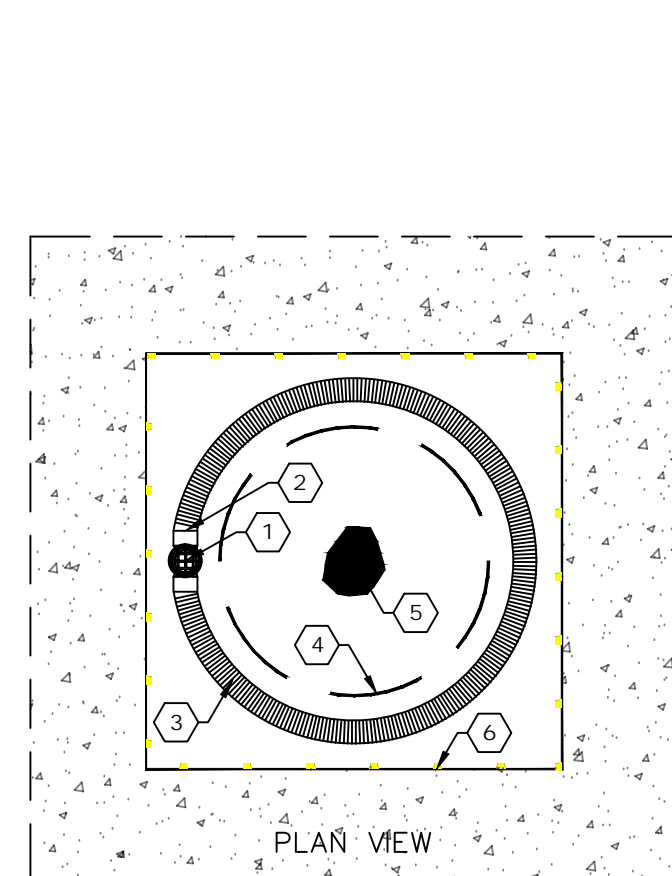
2 VEGETAL I.D. GREEN ROOF SECTION
SCALE: NOT TO SCALE



Max. weight load at full saturation (ASTM E2397): 22 lbs per sq. ft.
Max. water retention: 0.83 gal. per sq. ft. (1.3 inch)
Effective RCN: 88 (ESD Chapter 5.)

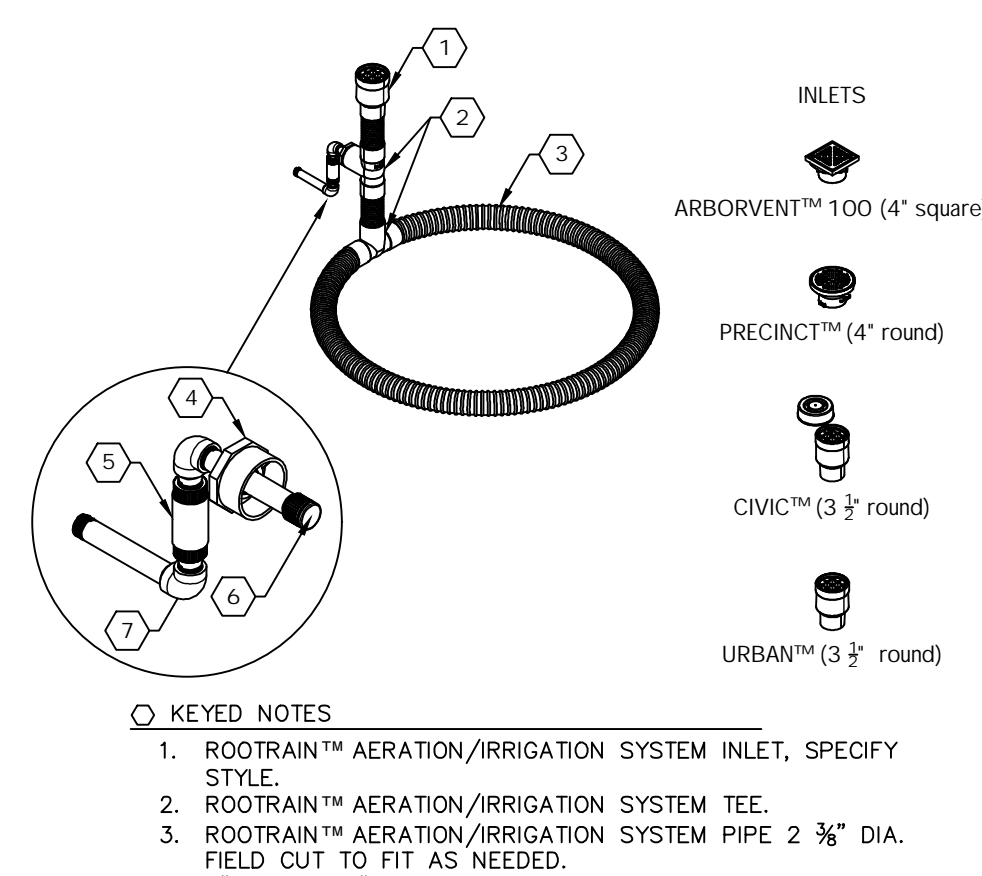


Max. water retention: 1.18 inch per sq. ft. of rainfall when the green roof is fully saturated. The water is stored and released slowly into the sewer system.



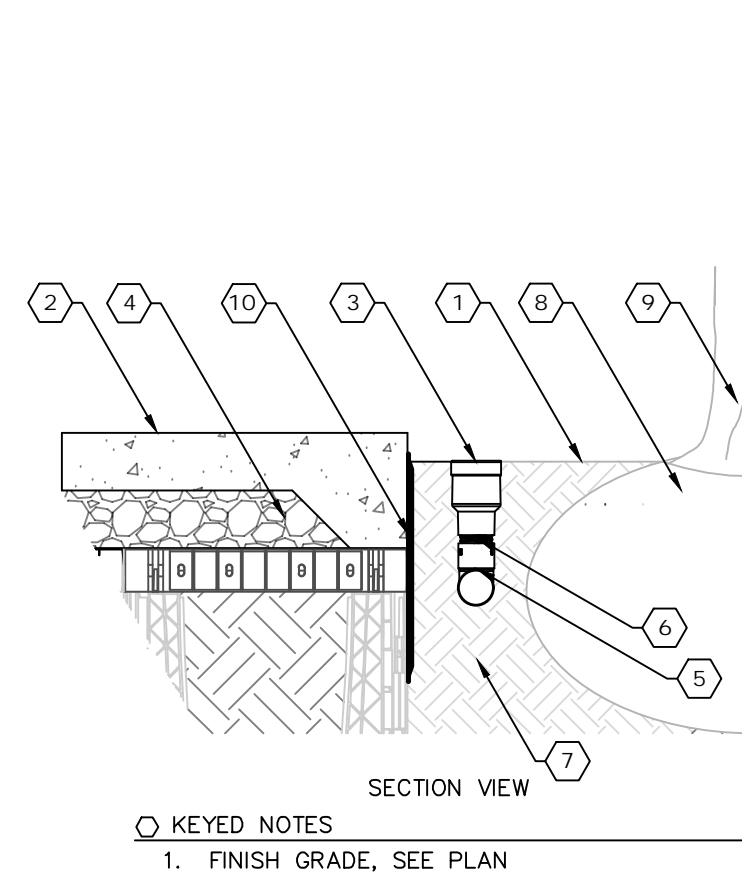
- KEYED NOTES**
1. ROOTRAIN™ AERATION/IRRIGATION SYSTEM INLET.
 2. ROOTRAIN™ AERATION/IRRIGATION SYSTEM TEE.
 3. ROOTRAIN™ AERATION/IRRIGATION SYSTEM PIPE 2 3/8" DIA. FIELD CUT TO FIT AS NEEDED.
 4. 2" MALE X 1" FEMALE PVC REDUCING BUSHING.
 5. IN-LINE ADJUSTABLE SPRING CHECK VALVE, 1/2" MIPX X FIPT PVC, TENSION SPRING. SEE GENERAL NOTE B.
 6. IRRIGATION FLOOD BUBBLER. SEE NOTE C.
 7. PIPE FITTINGS, AS REQUIRED.
- GENERAL NOTES**
- A. ROOTBALL AERATION SYSTEM SHALL BE ROOTRAIN™ AERATION/IRRIGATION SYSTEM AS AVAILABLE FROM GREENBLUE URBAN (866-282-2743).
 - B. SPRING CHECK VALVES ARE FACTORY PRESET TO HOLD BACK A MINIMUM OF 5 PSI OF STATIC PRESSURE. CONTRACTOR SHALL ADJUST CHECK VALVES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.
 - C. FLOOD BUBBLER HEAD, 1/2" THREAD, 1 GPM.

B ROOTRAIN AERATION SYSTEM
SCALE: NOT TO SCALE



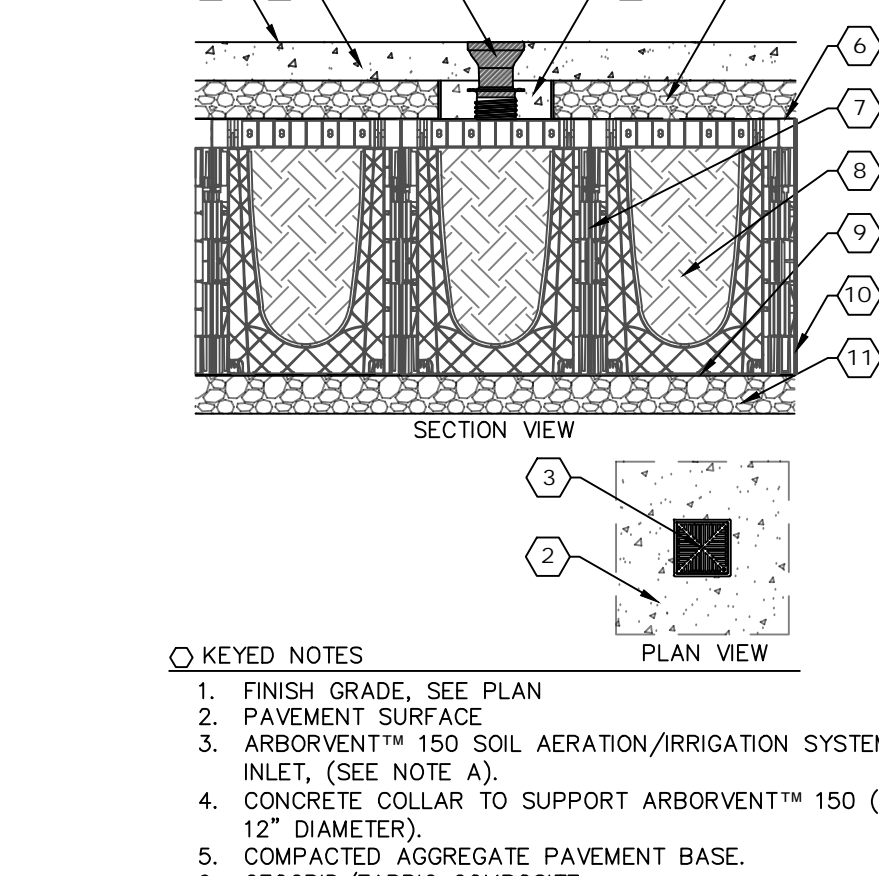
- KEYED NOTES**
1. ROOTRAIN™ AERATION/IRRIGATION SYSTEM INLET, SPECIFY STYLE
 2. ROOTRAIN™ AERATION/IRRIGATION SYSTEM TEE.
 3. ROOTRAIN™ AERATION/IRRIGATION SYSTEM PIPE 2 3/8" DIA. FIELD CUT TO FIT AS NEEDED.
 4. 2" MALE X 1" FEMALE PVC REDUCING BUSHING.
 5. IN-LINE ADJUSTABLE SPRING CHECK VALVE, 1/2" MIPX X FIPT PVC, TENSION SPRING. SEE GENERAL NOTE B.
 6. IRRIGATION FLOOD BUBBLER. SEE NOTE C.
 7. PIPE FITTINGS, AS REQUIRED.
- GENERAL NOTES**
- A. ROOTBALL AERATION SYSTEM SHALL BE ROOTRAIN™ AERATION/IRRIGATION SYSTEM AS AVAILABLE FROM GREENBLUE URBAN (866-282-2743).
 - B. SPRING CHECK VALVES ARE FACTORY PRESET TO HOLD BACK A MINIMUM OF 5 PSI OF STATIC PRESSURE. CONTRACTOR SHALL ADJUST CHECK VALVES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.
 - C. FLOOD BUBBLER HEAD, 1/2" THREAD, 1 GPM.

B ROOTRAIN AERATION/IRRIGATION SYSTEM
SCALE: NOT TO SCALE



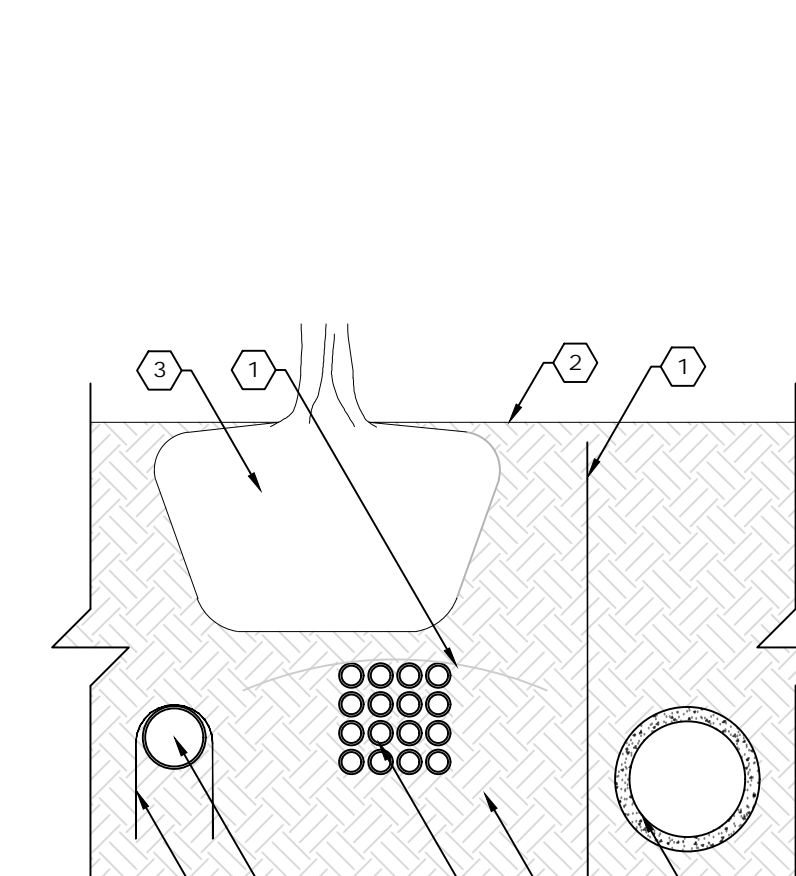
- KEYED NOTES**
1. FINISH GRADE. SEE PLAN
 2. PAVEMENT SURFACE
 3. ROOTRAIN™ AERATION/IRRIGATION SYSTEM INLET.
 4. COMPACTED AGGREGATE PAVEMENT BASE
 5. ROOTRAIN™ AERATION/IRRIGATION SYSTEM TEE.
 6. ROOTRAIN™ AERATION/IRRIGATION SYSTEM PIPE, 2 3/8" DIA. FIELD CUT TO FIT AS NEEDED.
 7. PLANTING SOIL
 8. TREE ROOTBALL
 9. TREE TRUNK
 10. REROOT™ URBAN ROOT MANAGEMENT SYSTEM.
- GENERAL NOTES**
- A. ROOTBALL AERATION SYSTEM SHALL BE ROOTRAIN™ AERATION/IRRIGATION SYSTEM AS AVAILABLE FROM GREENBLUE URBAN (866-282-2743).

A ROOTRAIN AERATION SYSTEM
SCALE: NOT TO SCALE



- KEYED NOTES**
1. FINISH GRADE. SEE PLAN
 2. PAVEMENT SURFACE
 3. ARBORVENT™ 150 SOIL AERATION/IRRIGATION SYSTEM INLET. (SEE NOTE A).
 4. CONCRETE COLLAR TO SUPPORT ARBORVENT™ 150 (TYP. 12" DIAMETER).
 5. COMPACTED AGGREGATE PAVEMENT BASE.
 6. GEOGRID/FABRIC COMPOSITE
 7. ROOTSPACE™ PAVEMENT SUPPORT SYSTEM.
 8. PLANTING SOIL
 9. GEOGRID/SOIL REINFORCEMENT
 10. ROOTSTOP™ ROOT AND MOISTURE BARRIER. INSTALL WITHIN 2" OF FINISH GRADE. OVERLAP SEAMS BY 8" AND SEAL WITH FUSION TAPE. MINIMUM 24" DEPTH RECOMMENDED. (SEE NOTE B).
 11. AGGREGATE SUB-BASE
- GENERAL NOTES**
- A. AERATION INLET SHALL BE ARBORVENT™ 150 SOIL AERATION INLET AS AVAILABLE FROM GREENBLUE URBAN (866-282-2743).
 - B. ROOT AND MOISTURE BARRIER SHALL BE ROOTSTOP™ (SPECIFY DEPTH) AS AVAILABLE FROM GREENBLUE URBAN (866-282-2743).

J/L ARBORVENT 150 SOIL AERATION INLET
SCALE: NOT TO SCALE



- KEYED NOTES**
1. ROOTSTOP™ ROOT AND MOISTURE BARRIER. INSTALL WITHIN 2" OF FINISH GRADE. OVERLAP SEAMS BY 8" AND SEAL WITH FUSION TAPE. (SEE NOTE A).
 2. FINISH GRADE
 3. TREE ROOTBALL
 4. PLANTING SOIL
 5. UTILITY
- GENERAL NOTES**
- A. ROOT AND MOISTURE BARRIER SHALL BE ROOTSTOP™ (SPECIFY DEPTH) AS AVAILABLE FROM GREENBLUE URBAN (866-282-2743).

I ROOT BARRIER AT UTILITY
SCALE: NOT TO SCALE

FOR CITY OF ALBANY DEPARTMENT APPROVAL - NOT FOR CONSTRUCTION

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
547 River St.
Troy, NY 12180
P (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date
-----------------	----------------------	---------------

PLANNING SUBMISSION SET

Scale: AS NOTED

Date: 12/8/2020

Project No: 2005

Drawn by: KC/SM

Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

Drawing Title:
Water System Details

Drawing Number:

C-505

DWG.No:

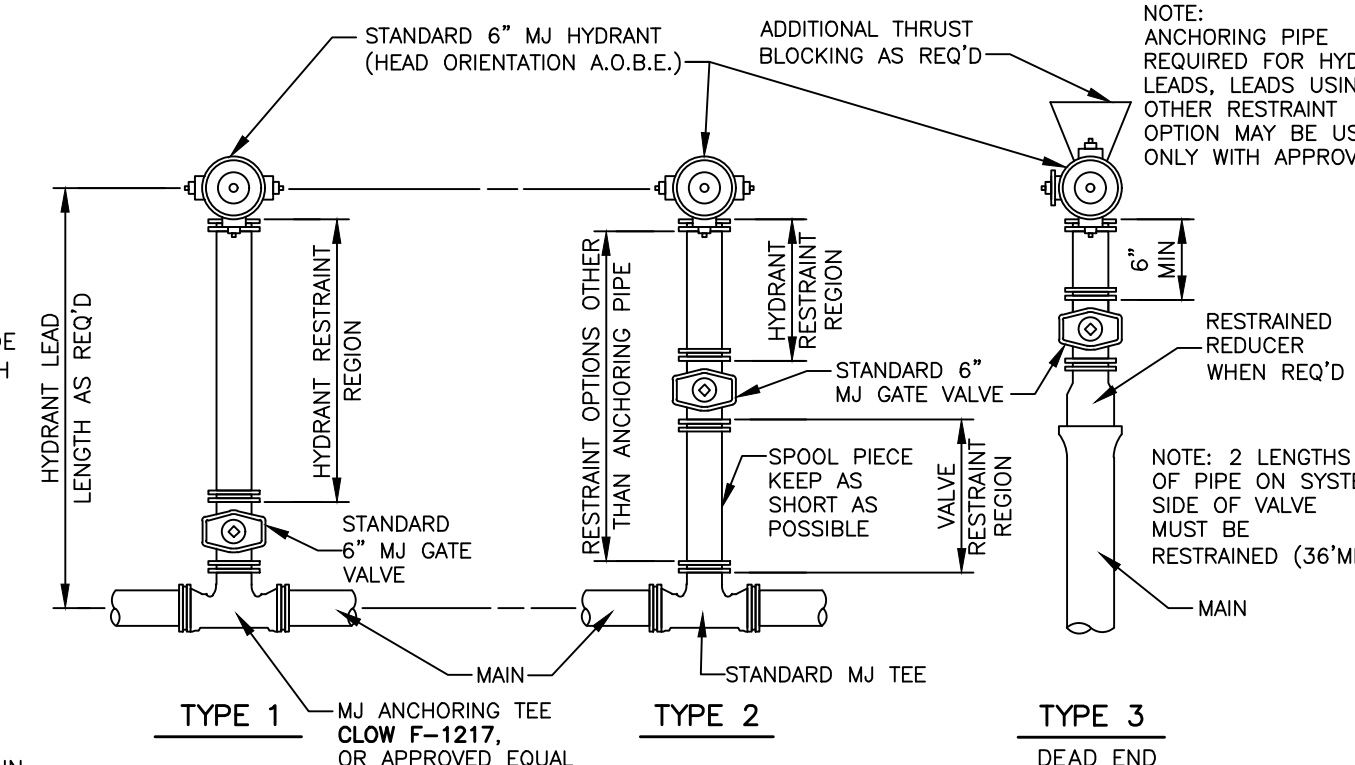
TESTING WATER MAINS:

- THE CONTRACTOR SHALL SUBMIT A TESTING PLAN FOR FLUSHING, PRESSURE TESTING, LEAKAGE TESTING, AND DISINFECTION OF WATER MAINS TO BE APPROVED BY THE ENGINEER PRIOR TO COMMENCING PIPING INSTALLATION.
- AFTER TRENCH HAS BEEN BACKFILLED, HYDROSTATIC ACCEPTANCE TESTS, CONSISTING OF A PRESSURE TEST AND A LEAKAGE TEST, SHALL BE PERFORMED ON ALL SECTIONS OF WATER MAINS INSTALLED. LEAKAGE TEST SHALL BE CONDUCTED CONCURRENTLY WITH PRESSURE TEST. TEST SECTION SHALL BE LIMITED TO ABOUT 2,000 FT (MAX.) OR FOR EACH DIFFERENT PIPE MATERIAL SEGMENT, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- AFTER ALL TESTS AND INSPECTIONS HAVE BEEN PERFORMED EVIDENCE OF COMPLIANCE SHALL BE FORWARDED TO OWNER/ENGINEER AND THE MUNICIPALITY PRIOR TO ACCEPTANCE.
- ALL WATER FOR TESTS SHALL BE FURNISHED AND DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. SOURCE AND/OR QUALITY OF WATER WHICH THE CONTRACTOR PROPOSES TO USE IN TESTING LINES SHALL BE ACCEPTABLE TO THE ENGINEER.
- HYDROSTATIC PRESUMPTIVE TESTS MAY BE PERFORMED WHEN SYSTEM IS PARTIALLY BACKFILLED TO SIMPLY CHECK WORK, BUT ACCEPTANCE OF SYSTEM SHALL BE BASED ON HYDROSTATIC TESTS RUN ON FINISHED SYSTEM AFTER IT HAS BEEN COMPLETELY BACKFILLED.
- HYDROSTATIC TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING, AS MODIFIED HEREIN:
 - SECTION 5 OF AWWA STANDARD C600, LATEST ADDITION, FOR DUCTILE-IRON MAINS.
 - SECTION 7 OF AWWA STANDARD C605, LATEST ADDITION, FOR PVC MAINS.
 - CHAPTER 9 OF AWWA STANDARD M55, LATEST ADDITION, FOR HDPE MAINS.
- PRESSURE TESTING OF DUCTILE-IRON MAINS, THE SYSTEM SHALL BE PRESSURIZED AND MAINTAINED FULLY, WITH FURTHER PUMPING AS REQUIRED, FOR A PERIOD OF AT LEAST FOUR HOURS. THE SECTION UNDER TEST SHALL BE CONSIDERED TO HAVE PASSED THE PRESSURE TEST.
 - FOR PRESSURE TESTING OF PVC MAINS, THE SYSTEM SHALL BE PRESSURIZED AND MAINTAINED SUCCESSFULLY, WITH FURTHER PUMPING AS REQUIRED, FOR A PERIOD OF AT LEAST FOUR HOURS. THE SECTION UNDER TEST SHALL BE CONSIDERED TO HAVE PASSED THE PRESSURE TEST.
 - FOR PRESSURE TESTING OF HDPE MAINS, THE SYSTEM SHALL BE PRESSURIZED AND MAINTAINED SUCCESSFULLY, WITH FURTHER PUMPING AS REQUIRED, FOR A PERIOD OF AT LEAST FOUR HOURS. THE SECTION UNDER TEST SHALL BE CONSIDERED TO HAVE PASSED THE PRESSURE TEST.
- FOR LEAKAGE TESTING OF DUCTILE-IRON MAINS, THE SYSTEM SHALL BE PRESSURIZED AND MAINTAINED SUCCESSFULLY, WITH FURTHER PUMPING AS REQUIRED, FOR A PERIOD OF AT LEAST TWO HOURS. THE SECTION UNDER TEST SHALL BE CONSIDERED TO HAVE PASSED THE LEAKAGE TEST.
 - FOR LEAKAGE TESTING OF PVC MAINS, THE SYSTEM SHALL BE PRESSURIZED AND MAINTAINED SUCCESSFULLY, WITH FURTHER PUMPING AS REQUIRED, FOR A PERIOD OF AT LEAST TWO HOURS. THE SECTION UNDER TEST SHALL BE CONSIDERED TO HAVE PASSED THE LEAKAGE TEST.
 - FOR LEAKAGE TESTING OF HDPE MAINS, THE SYSTEM SHALL BE PRESSURIZED AND MAINTAINED SUCCESSFULLY, WITH FURTHER PUMPING AS REQUIRED, FOR A PERIOD OF AT LEAST TWO HOURS. THE SECTION UNDER TEST SHALL BE CONSIDERED TO HAVE PASSED THE LEAKAGE TEST.
- ALLOWABLE LEAKAGE PER 1,000 FT (305M) OF PIPELINE (GPH)

AVG. TEST PRESSURE	6"	8"	10"	12"	14"	16"
450	0.57	0.86	1.15	1.43	1.72	2.01
400	0.54	0.81	1.08	1.35	1.62	1.89
350	0.51	0.78	1.01	1.26	1.52	1.77
300	0.47	0.70	0.94	1.17	1.40	1.64
275	0.45	0.67	0.90	1.12	1.34	1.57
250	0.43	0.64	0.85	1.07	1.28	1.50
225	0.41	0.61	0.81	1.01	1.22	1.42
200	0.38	0.57	0.76	0.96	1.15	1.34
175	0.36	0.54	0.72	0.89	1.07	1.25
150	0.33	0.50	0.68	0.83	0.99	1.16
125	0.30	0.45	0.60	0.76	0.91	1.06
100	0.27	0.41	0.54	0.68	0.81	0.95
- LEAKAGE IN SYSTEM EXCEEDS THE SPECIFIED AMOUNT, THE CONTRACTOR SHALL, AT NO ADDITIONAL COST TO THE OWNER, LOCATE, REPAIR, AND/OR REPLACE DEFECT(S) AND RE-TEST PIPING SYSTEM.

WATER MAIN NOTES:

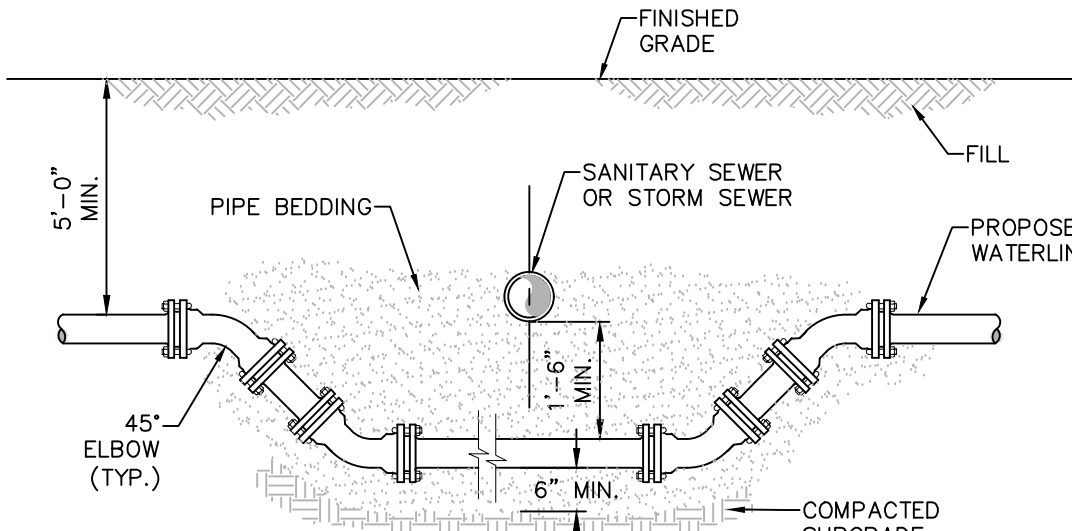
- ALL WATER LINES SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, OR PVC C900 UNLESS OTHERWISE SPECIFIED BY OR APPROVED BY THE ENGINEER.
- THE WATER LINE MAY BE DEFLECTED WITH PIPE SPECIFICATIONS OR LAID DEEPER IN AREAS WHERE CROSSINGS WITH THE SANITARY LINE OCCUR, TO ACHIEVE THE REQUIRED 1.5' VERTICAL SEPARATION DISTANCE. (SEE WATERLINE OFFSET DETAIL FOR FURTHER INFORMATION).
- THE WATER MAIN IS TO BE INSTALLED AT A CONTINUOUS GRADE WITH NO ABRUPT HIGH OR LOW POINTS.
- THRUST RESTRAINT:
 - A. THE WATER MAIN THRUST RESTRAINT METHOD USED FOR THIS PROJECT SHALL BE RESTRAINED JOINT PIPE AND FITTINGS.
 - B. IN ADDITION TO THE RESTRAINED JOINT PIPE AND FITTINGS, CONCRETE THRUST BLOCKS ARE REQUIRED ON ALL FITTINGS AT CONNECTIONS TO EXISTING WATER MAINS. IF THE CONNECTION TO AN EXISTING MAIN IS MADE WITH A STRAIGHT RUN OF PIPE AND THE CONNECTION TO THE EXISTING MAIN FALLS WITHIN THE RESTRAINED LENGTH REQUIRED FOR THE FIRST PROPOSED FITTING BEYOND THE CONNECTION THEN A CONCRETE THRUST BLOCK SHALL BE INSTALLED AT THAT FITTING.
 - C. IN REPLACE, THE RESTRAINED JOINT PIPE AND FITTINGS WHERE NEEDED.



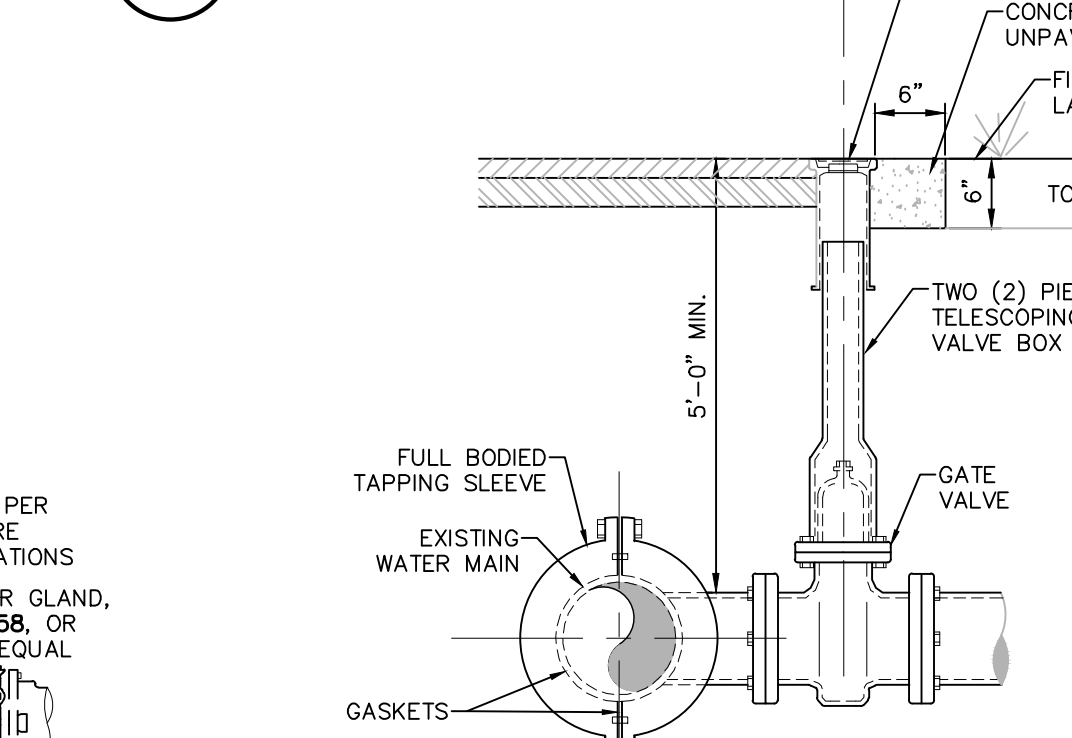
- NOTES:
- HYDRANTS SHALL BE WATEROUS PACER WB-67-250 AS REQUIRED BY CITY OF ALBANY STANDARDS.
 - HYDRANTS SHALL BE CAST IRON BODY, DRY BARREL DESIGN, COMPRESSION-TYPE VALVE, OPENING AGAINST PRESSURE AND CLOSING WITH PRESSURE, 6-INCH MECHANICAL JOINT INLET FOOT PIECE, 5 1/4 INCH MAIN VALVE OPENING, O-RING TYPE PACKING, RATED FOR 250-PSI WORKING PRESSURE, TWO (2) 2 1/2 INCH HOSE NOZZLES AND ONE (1) 4 1/2 INCH PUMPER NOZZLE.
 - NOZZLE OUTLET THREADS SHALL MEET LOCAL FIRE DEPARTMENT REQUIREMENTS AND HAVE CAST IRON CAPS WITH NON-KINKING STEEL CHAINS, OPERATING AND CAP NUTS; PENTAGON 1 1/2 INCH POINT TO FLAT, HYDRANT VALVES SHALL BE OPENED BY TURNING OPERATING NUT TO THE RIGHT, OR CLOCKWISE.
 - HYDRANTS SHALL BE TRAFFIC TYPE WITH BREAKABLE SAFETY FLANGE WITH RED EXTERIOR ALLOY GLOSS ENAMEL PAINT; HYDRANTS SHALL BE INSTALLED TO REMOVE ANY MARKS OR SCRAPED PAINT CAUSED BY INSTALLATION OR TRANSIT.

DISINFECTION OF POTABLE WATER SERVICE MAINS:

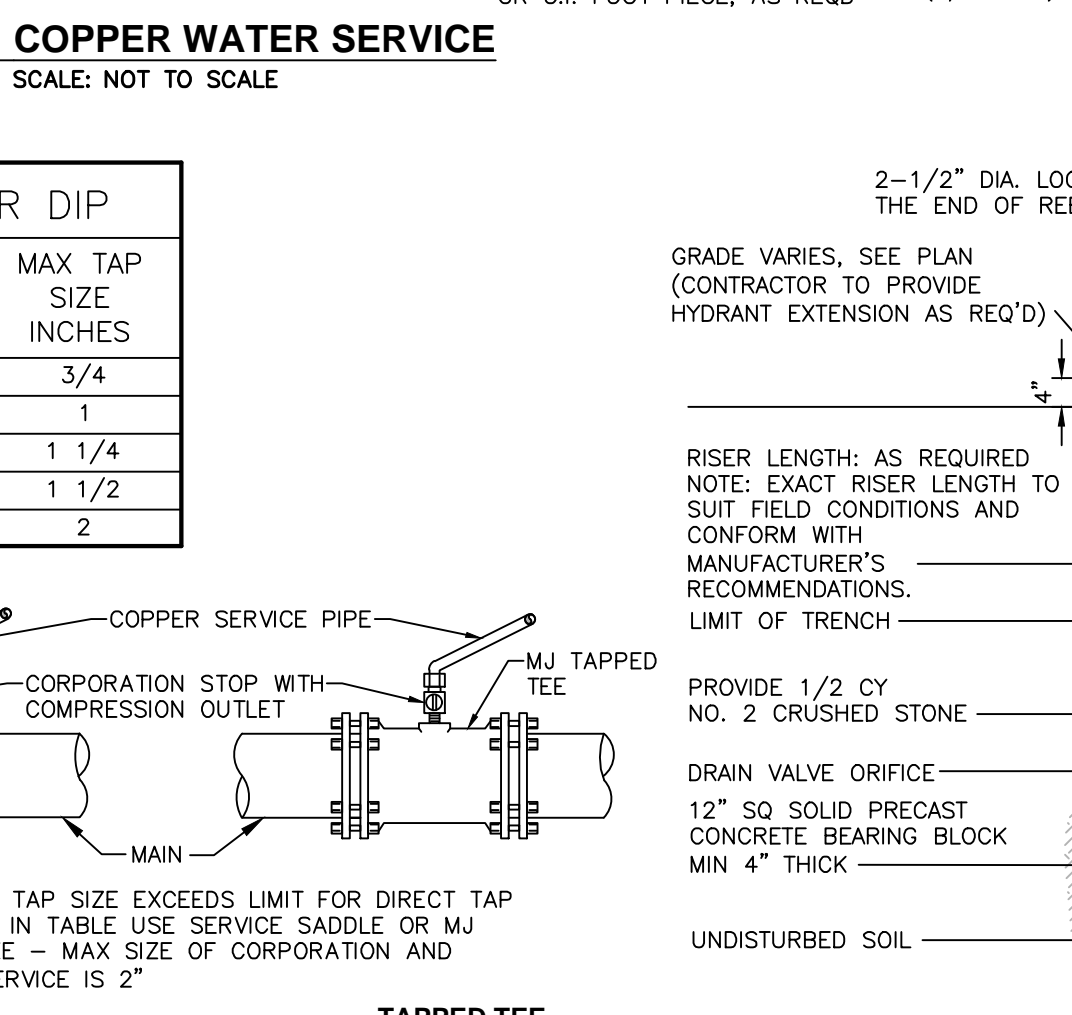
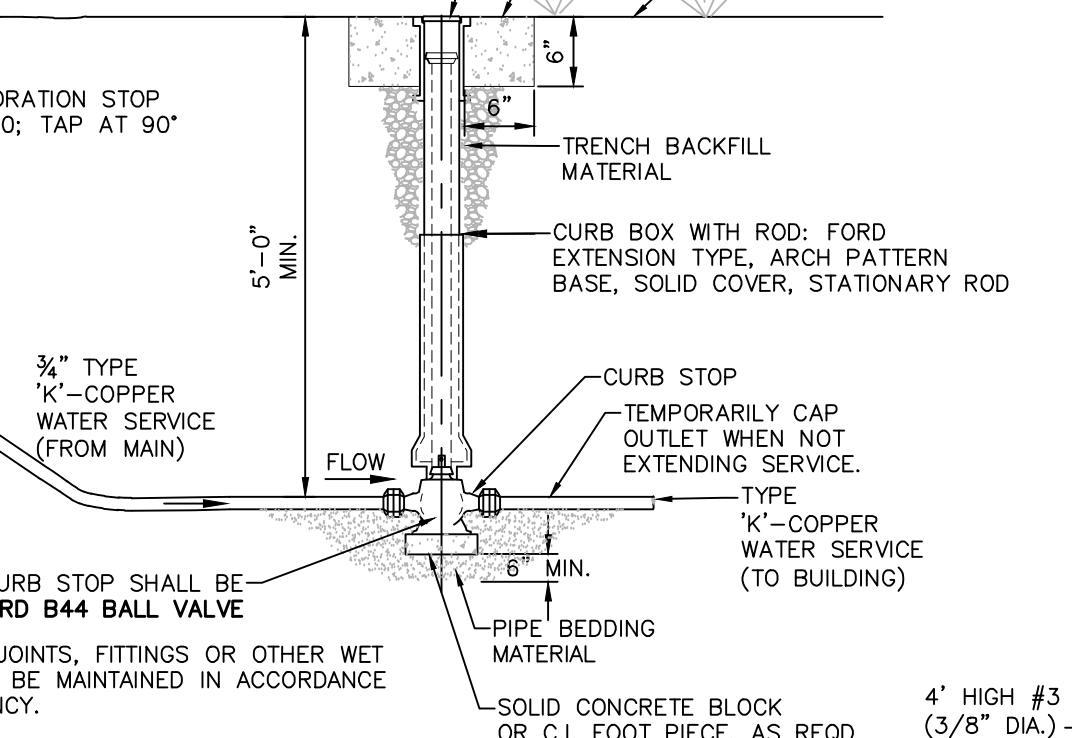
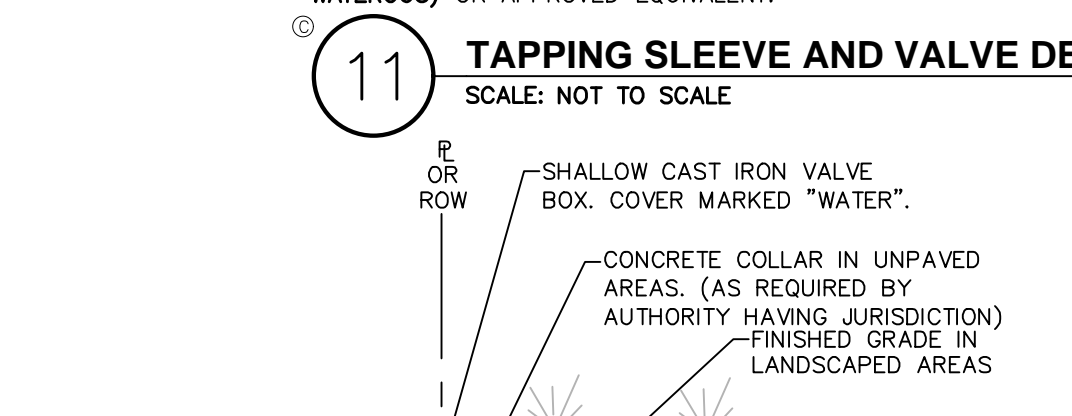
- DISINFECTION WILL BE ACCOMPLISHED AFTER THE PIPE HAS PASSED ANY LEAKAGE TESTS.
 - THE MUNICIPALITY AND ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE START OF PRESSURE TESTING, LEAKAGE TESTING, AND DISINFECTION.
 - DISINFECTION WILL BE PERFORMED IN ACCORDANCE WITH AWWA STANDARD C651-14 OR LATER ADDITION, (EXCLUDING SECTION 4.4.2 COVERING THE TABLE METHOD).
 - DISINFECTION WITH THE FOLLOWING TABLE (VERIFY AGAINST TOWN REQUIREMENTS): CHLORINE REQUIRED TO PRODUCE 25 MG/L CONCENTRATION IN 100 FT. OF PIPE BY DIAMETER PERCENT
- | PIPE SIZE | CHLORINE | SOLUTIONS |
|-----------|----------|-----------|
| IN | LB | GAL |
| 4 | 0.013 | 0.16 |
| 6 | 0.030 | 0.36 |
| 8 | 0.054 | 0.65 |
- NOTE: 1% SOLUTIONS REQUIRE 1 POUND OF SODIUM HYPOCHLORITE IN 8 GAL OF WATER. PRODUCT DETERIORATION MUST BE CONSIDERED IN COMPUTING THE QUANTITY OF SODIUM HYPOCHLORITE REQUIRED FOR THE DESIRED CONCENTRATION.
- CHLORINE-WATER SOLUTION SHALL BE INTRODUCED INTO THE WATER MAIN WITH A GASOLINE OR ELECTRICALLY POWERED CHEMICAL FEED PUMP DESIGNED FOR FEEDING CHLORINE SOLUTIONS. FEED LINES SHALL BE OF SUCH MATERIAL AND STRENGTH TO PERMIT THEM TO WITHSTAND SAFELY THE MAXIMUM PRESSURE THAT MAY BE CREATED BY PUMP. ALL CONNECTIONS SHALL BE CHECKED FOR TIGHTNESS BEFORE HYPOCHLORITE SOLUTION IS APPLIED TO MAIN.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL A CORPORATION STOP JUST DOWNSTREAM FROM THE NEWLY INSTALLED GATE VALVE OR AS OTHERWISE SHOWN ON DRAWINGS OR APPROVED BY THE ENGINEER.
 - GENERALLY, THE FOLLOWING PROCEDURE SHALL BE USED TO DISINFECT THE NEW MAIN. THE CONTRACTOR SHALL, HOWEVER, REVIEW THEIR PROPOSED PROCEDURES WITH THE ENGINEER AT LEAST 48 HOURS PRIOR TO START OF DISINFECTION. ALL DISINFECTION PROCEDURES MUST BE APPROVED BY THE ENGINEER BEFORE DISINFECTION STARTS.
 - ALL GATE VALVES AND HYDRANTS MUST BE CLOSED. THE NEW MAIN SHOULD ALREADY BE FULL OF WATER FROM THE HYDROSTATIC TESTS; IF NOT, IT SHALL BE FILLED.
 - MIX CHLORINE-WATER SOLUTION IN 55 GALLON DRUMS; CONNECT FEED LINE TO PUMP AND NEW MAIN.
 - OPEN GATE VALVE ON THE HYDRANT LEAD OF END HYDRANT; THEN OPEN HYDRANT FULLY. (NOTE: HYDRANT MUST ALWAYS BE EITHER FULLY OPENED OR FULLY CLOSED. THE HYDRANT FLOW MAY BE CONTROLLED BY THROTTLING THE GATE VALVE ON THE HYDRANT LEAD.)
 - START PUMPING CHLORINE-WATER SOLUTION INTO WATER MAIN; THEN OPEN UPSTREAM GATE VALVE SLOWLY UNTIL FLOW FROM HYDRANT IS PROPORTIONATE TO THE AMOUNT OF CHLORINE-WATER SOLUTION BEING PUMPED (30 PARTS WATER TO 1 PART CHLORINE-WATER SOLUTION). IF A WATER METER IS NOT AVAILABLE, DISCHARGE RATE MAY BE DETERMINED BY USING EITHER A PITOT GAUGE IN THE DISCHARGE OR BY MEASURING THE TIME TO FILL A CONTAINER OF KNOWN VOLUME (SUCH AS A 55 GAL. BARREL). THE PUMPING RATE CAN BE DETERMINED BY MEASURING THE DROP IN LIQUID LEVEL IN A GIVEN LENGTH OF TIME. (NOTE: A STANDARD 55 GALLON STEEL BARREL CONTAINS 19.75 GAL/FT OF DEPTH OR 1.64 GAL/IN OF DEPTH).
 - AFTER PREHYPANT FLOW AND PUMPING RATE HAVE BEEN ADJUSTED, MAINTAIN A CONSTANT FLOW SO THAT CHLORINE CONCENTRATION IN THE MAIN IS MAINTAINED AT A MINIMUM OF 25 PPM.
 - PERIODICALLY CHECK HYDRANT DISCHARGE FOR CHLORINE CONCENTRATION BY USING A FIELD GAUGE RESIDUAL TEST KIT. MAINTAIN HYDRANT DISCHARGE AND PUMPING RATE UNTIL THE MINIMUM CHLORINE CONCENTRATION OF 25 PPM HAS BEEN ACHIEVED THROUGHOUT THE ENTIRE MAIN DISINFECTED.
 - AFTER THE REQUIRED CONCENTRATION HAS BEEN ACHIEVED, ALL VALVES AND HYDRANTS ON THE MAIN LINE BETWEEN THE UPSTREAM GATE VALVE AND THE DISCHARGE HYDRANT SHALL BE OPERATED IN ORDER TO DISINFECT THE INTERNAL APPURTENANCES. DO NOT OPERATE ANY GATE VALVE THAT IS LOCATED ON A CONNECTION TO AN EXISTING WATER MAIN THAT IS IN SERVICE.
 - AFTER THE WATER SAMPLES HAVE BEEN TAKEN AND THE MINIMUM CHLORINE CONCENTRATION HAS BEEN VERIFIED, THE CONTRACTOR SHALL RETAIN THE CHLORINATED WATER IN THE MAIN BY THE FOLLOWING METHOD:
 - FIRST, CLOSE THE UPSTREAM GATE VALVE.
 - SECOND, CLOSE THE DISCHARGE HYDRANT.
 - THIRD, SHUT OFF THE PUMP.
 - CHLORINATED WATER SHALL REMAIN IN THE MAIN FOR A MINIMUM OF 24 HOURS.
 - IF THE CHLORINE RESIDUAL IS LESS THAN 10 PPM AT THE END OF THE 24 HOURS, REPEAT SYSTEM TREATMENT.
 - ANY SECTION OF PIPE, VALVES OR FITTINGS, INCLUDING TAPPING SLEEVES AND VALVES WHICH ARE INSTALLED OUTSIDE THE LIMITS OF THE SYSTEM SUBJECT TO THE CHLORINATION PROCEDURES SPECIFIED ABOVE, SHALL BE SPRAYED OR SWABBED WITH A 1% HYPOCHLORITE SOLUTION PRIOR TO INSTALLATION.
 - AFTER THE WATER SAMPLES HAVE BEEN TAKEN AND THE MINIMUM 10 PPM CHLORINE RESIDUAL HAS BEEN VERIFIED, CONTRACTOR SHALL THOROUGHLY FLUSH CHLORINATED WATER FROM THE MAIN BY THE FOLLOWING METHOD:
 - FIRST, OPEN THE DISCHARGE HYDRANT.
 - SECOND, OPEN THE UPSTREAM GATE VALVE.
 - THIRD, OPEN ANY HYDRANTS ON THE MAIN LINE TO REMOVE ALL CHLORINATED WATER FROM THE HYDRANT LEADS.
 - FLUSH THE MAIN WITH POTABLE WATER IN SUCH A MANNER THAT DOES NOT ADVERSELY AFFECT FISH, PLANT, OR ANIMAL LIFE. PROVIDE FOR PROPER DISPOSAL OF HEAVY CHLORINATED WATER OR NEUTRALIZE IN ACCORDANCE WITH APPENDIX C OF AWWA C651-14.
 - THE QUANTITY AND LOCATION OF WATER SAMPLES TO BE TAKEN SHALL BE IN ACCORDANCE WITH AWWA C651-14. MINIMUM 2 CONSECUTIVE SAMPLES TAKEN 24 HOURS APART OR AS OTHERWISE NOTED IN C651-14.
 - WATER SAMPLES SHALL BE TAKEN BY THE CONTRACTOR IN STERILIZED BOTTLES.
 - ANALYZE WATER SAMPLES IN ACCORDANCE WITH STANDARD METHODS FOR EXAMINATION OF WATER AND WASTEWATER, 14TH EDITION, PUBLISHED BY AMERICAN WATERWORKS ASSN., 6666 WEST QUINCY AVE., DENVER, CO 80235.
 - IF A BACTERIOLOGICAL TEST PROVES THE WATER QUALITY TO BE UNACCEPTABLE; REPEAT SYSTEM TREATMENT.
 - IF A BACTERIOLOGICAL TEST PROVES WATER TO BE ACCEPTABLE; REMOVE FEED LINE AND CORPORATION STOP. CORPORATION STOP WILL BE REPLACED WITH A THREADED BRASS PLUG UNLESS OTHERWISE DIRECTED BY ENGINEER.
 - SAMPLES MUST BE BACTERIOLOGICALLY SAFE AND THE MUNICIPALITY, ENGINEER & HEALTH DEPARTMENT MUST PROVIDE APPROVAL BEFORE THE WATERMAIN IS PLACED INTO SERVICE.



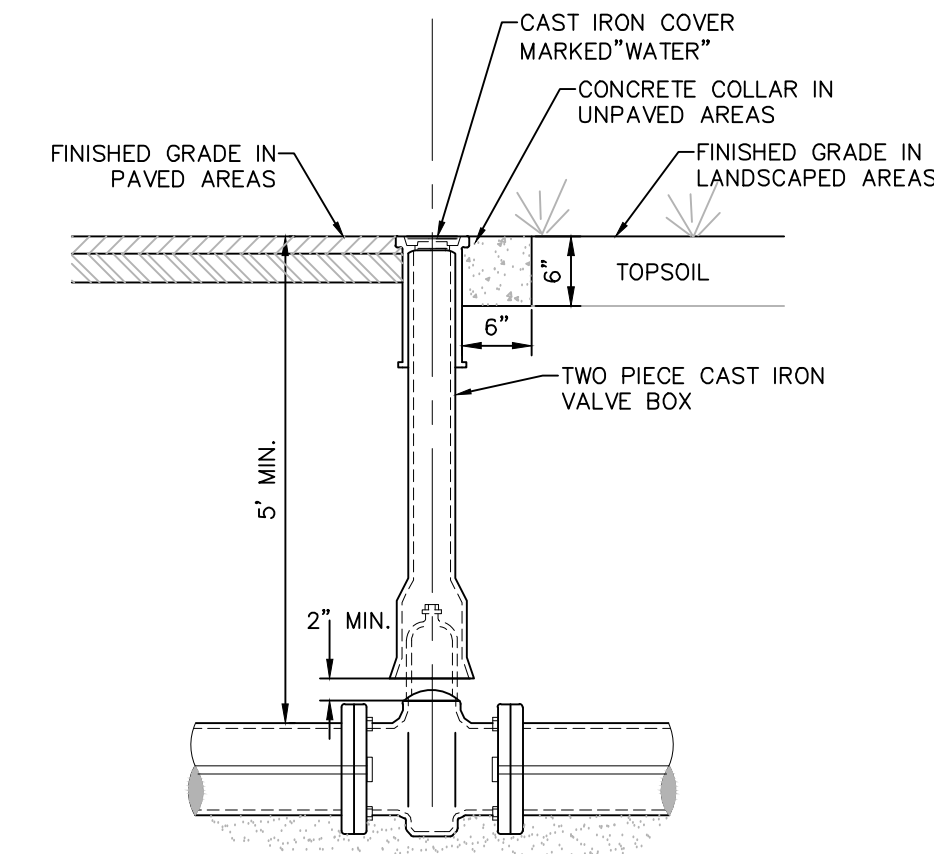
- NOTES:
- WHEN THE ELEVATION OF THE SEWER CAN NOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS REQUIRED SEPARATION.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS INDICATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT, DUCTILE IRON PIPE OR PVC WATER WORKS GRADE PRESSURE PIPE FOR 10' EACH SIDE OF CROSSING AND SHALL BE PRESSURE TESTED TO 150psi TO ASSURE WATER TIGHTNESS.



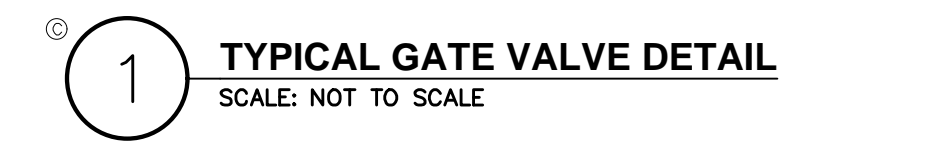
- NOTES:
- WET TAP OF PUBLIC WATER MAIN SHALL BE PERFORMED UNDER THE SUPERVISION OF THE ENGINEER, AND THE AUTHORITY HAVING JURISDICTION.
 - TAPPING SLEEVE AND VALVE SUPPORT SHALL BE COORDINATED WITH THE ENGINEER TO SUIT FIELD CONDITIONS.
 - MINIMUM DISTANCE TO JOINTS, FITTINGS, OR OTHER WET TAPS OR STOPS SHALL BE 3 FEET.
 - VALVE OPERATING DIRECTION SHALL BE CLOCKWISE TO OPEN (TURNING RIGHT).
 - TAPPING SLEEVE SHALL BE SELECTED TO FIT EXISTING PIPE MATERIAL (C.I., D.I., A.C.) AND OUTSIDE DIAMETERS.
 - THRUST BLOCK IS REQUIRED WHERE THE BRANCH OF THE TAPPING SLEEVE DOES NOT HAVE RESTRAINED JOINT.
 - TAPPING SLEEVE, VALVE & VALVE BOX SHALL BE IN ACCORDANCE WITH MUNICIPAL STANDARDS & AS MANUFACTURED BY (MUELLER, CLOW OR WATEROUS) OR APPROVED EQUIVALENT.



- NOTES:
- HYDRANT SHALL MEET REQUIREMENTS OF AWWA C502.



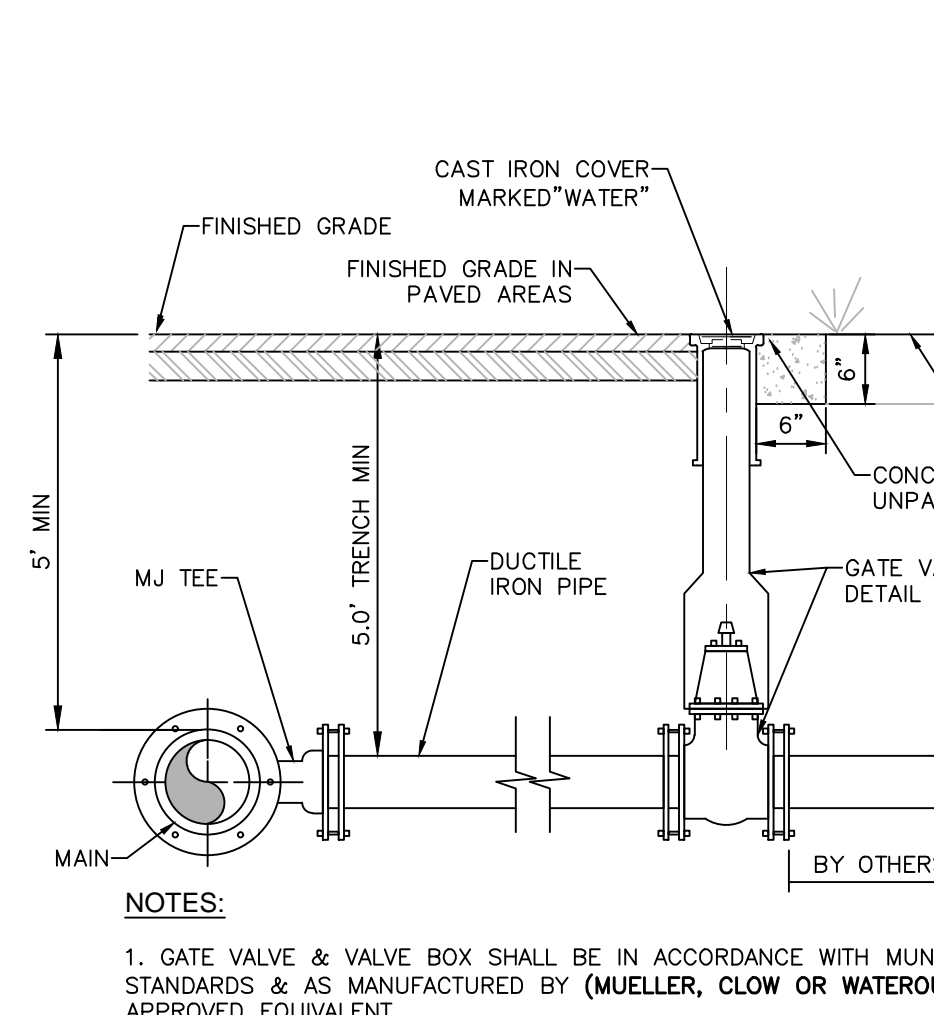
- NOTES:
- NON-RISING STEM GATE VALVE, OPERATING DIRECTION SHALL BE CLOCKWISE TO OPEN.
 - MINIMUM DISTANCE TO JOINTS, FITTINGS, OR OTHER WET TAPS OR STOPS SHALL BE 3 FEET.
 - IF VALVE IS TO BE RODDED, PROVIDE VALVE WITH RODDING FLANGES OR EYEBOULTS. TWO (2) 3/4" DIA. WELDED STEEL RODS WITH MALLEABLE IRON NUTS AT 180" SPACING SHALL BE USED FOR RODDING VALVES. FOR 12" DIA. PIPE OR LESS, FOR LARGER PIPE SIZES, SEE TABLE FOR NUMBER OF THE RODS REQUIRED—JOINT RESTRAINT OPTION DETAILS.)
 - GATE VALVE & VALVE BOX SHALL BE IN ACCORDANCE WITH MUNICIPAL STANDARDS & AS MANUFACTURED BY (MUELLER, CLOW OR WATEROUS) OR APPROVED EQUIVALENT.



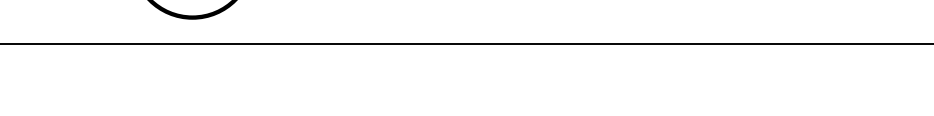
SCHEDULE OF JOINT RESTRAINT—(PVC OR POLYWRAPPED DIP) (LENGTH OF PIPE EACH SIDE OF FITTING TO BE RESTRAINED IN FEET "L")

PIPE SIZE (INCHES)	90'	40'	22'	11'	TEE VALVE END	24"	18"	16"	14"	12"	10"	8"	6"	4"	
30"	241	100	48	24	202	206	206	72	150	145	159				
24"	196	82	39	20	163	166	166	72	91	108	123	136			
18"	149	62	30	15	122	125	125	72	26	49	68	85	99		
16"	134	56	27	14	109	112	112	72	26	48	67	82	95		
14"	118	49	24	12	95	98	98	72	26	47	64	79	89		
12"	102	43	21	11	82	85	85	72	25	45	62	74			
10"	86	36	17	8	68	71	71	72	25	44	58				
8"	71	30	15	7	56	59	59	72	25	43					
6"	54	22	11	6	41	44	44	72	23						
4"	38	16	8	4	28	31	31	72							

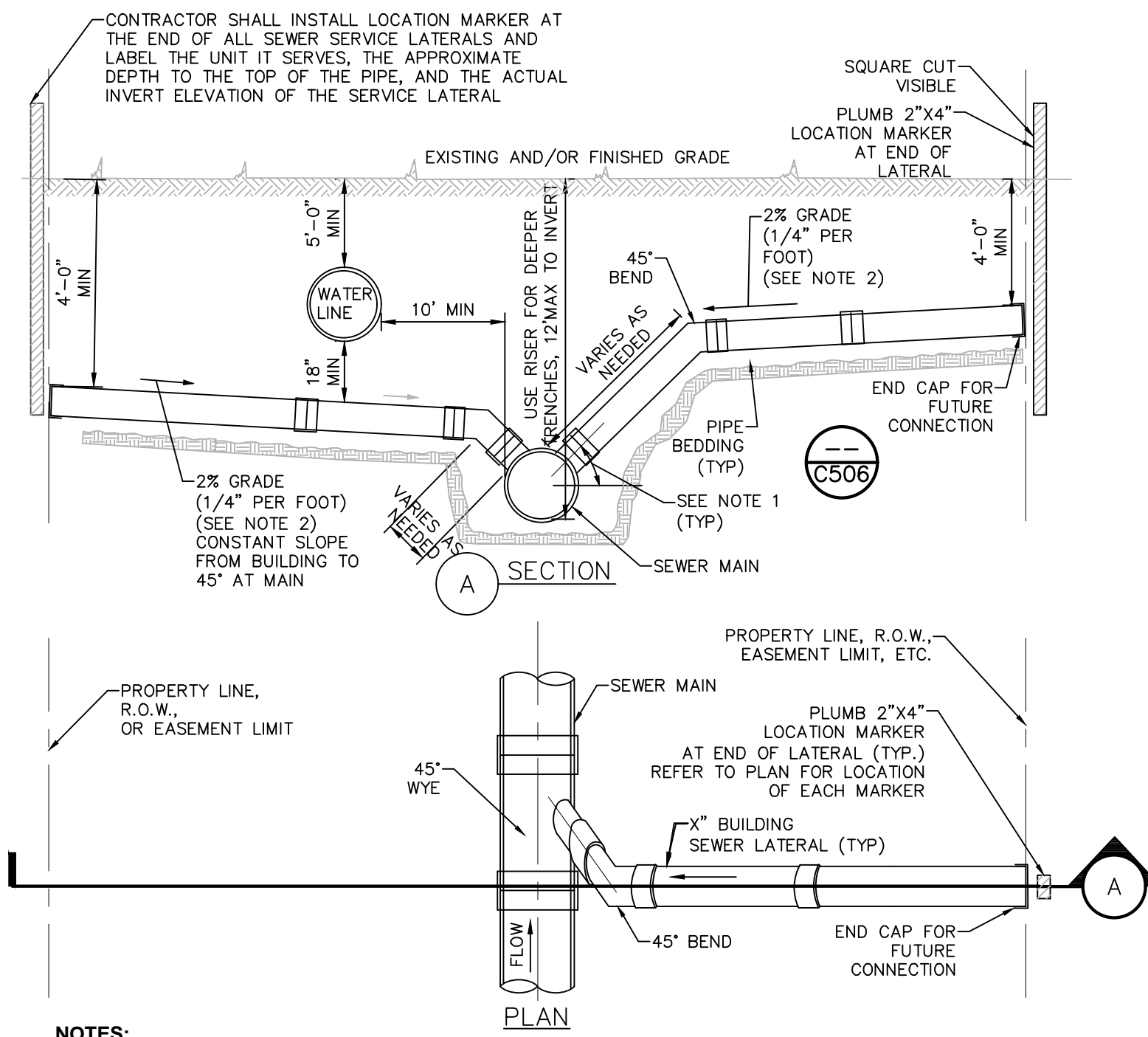
- NOTES:
- THE LENGTH OF PIPE REQUIRING RESTRAINT IS BASED UPON THE FOLLOWING ASSUMPTIONS:
 - BEDDING TYPE 2 — FLAT BOTTOM TRENCH, BACKFILL LIGHTLY CONSOLIDATED TO CENTER LINE OF PIPE.
 - SOIL TYPE CLAY 1 — CLAY OF MEDIUM TO LOW PLASTICITY, LL<50, <25% COARSE PARTICLES [CL & CL-ML];
 - CL — INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
 - ML — INORGANIC SILTS, VERY FINE SAND, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS.
 - PIPE TABLE CALCULATION IS BASED ON PVC OR POLYWRAPPED DIP D. DEPTH TO TOP OF PIPE 5'-0" MINIMUM
 - MAXIMUM OPERATING PRESSURE OF 150 PSI
 - FACTOR OF SAFETY OF 1.5
 - FOR END PLUGS, USE RESTRAIN PIPE LENGTH GIVEN FOR DEAD END FITTING.
 - THE LENGTH ("L") OF NEW PIPE TO BE RESTRAINED IS THE LENGTH FOR EACH SIDE OF THE FITTING.
 - THE ABOVE INFORMATION WAS PROVIDED USING THE THRUST RESTRAINT PROGRAM ISSUED BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION (DIPRA) AND IS BASED ON THE ASSUMPTIONS LISTED IN NOTE 1. RESTRAINED LENGTH REQUIREMENTS FOR FIELD CONDITIONS AND PIPE SIZES DIFFERING FROM THOSE LISTED ABOVE SHOULD BE EVALUATED SEPARATELY.
 - RESTRAINED JOINT PIPE AND FITTINGS SHALL BE USED ONLY AS ALLOWED BY THE PROJECT PLANS AND/OR SPECIFICATION. (IF THRUST BLOCKS ARE USED SEE THRUST BLOCK DETAIL)
 - TEE FITTINGS: PIPE SIZE SHOWN FOR THE TEE IS THE SIZE OF THE RUN. THE RESTRAINED LENGTH SHOWN IS FOR THE BRANCH. THE VALUE OF THE RESTRAINED LENGTH ASSUMES THAT THE SIZE OF THE BRANCH IS EQUAL TO OR LESS THAN THE RUN. THE VALUE OF THE L_r USED IN THE TABLE IS 10 FEET. (L_r = TOTAL LENGTH BETWEEN FIRST JOINTS ON EITHER SIDE OF THE TEE ON THE RUN.)



- NOTES:
- GATE VALVE & VALVE BOX SHALL BE IN ACCORDANCE WITH MUNICIPAL STANDARDS & AS MANUFACTURED BY (MUELLER, CLOW OR WATEROUS) OR APPROVED EQUIVALENT.



- NOTES:
- HYDRANT SHALL MEET REQUIREMENTS OF AWWA C502.



NOTES:
 1. OPTIMUM ANGLE IS 45°. THE ENGINEER MAY CALL FOR OTHER ANGLES TO SUIT JOB CONDITIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING THE SEWER LATERAL AS CONFIGURED AT THE SLOPE SPECIFIED, AND FOR ESTABLISHING THE ELEVATION AT THE TERMINATION POINT OF THE LATERAL, IF EXISTING UTILITIES OR OTHER FEATURES PREVENT INSTALLATION IN THAT MANNER, THE ENGINEER SHALL BE CONSULTED PRIOR TO INSTALLATION.

1 STANDARD SEWER SERVICE CONNECTION PLAN
 SCALE: NOT TO SCALE

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
 45 Main Street
 Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
 547 River St.
 Troy, NY 12180
 p (518) 273-0055
 Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
 Date: 12/8/2020
 Project No: 2005
 Drawn by: KC/SM
 Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

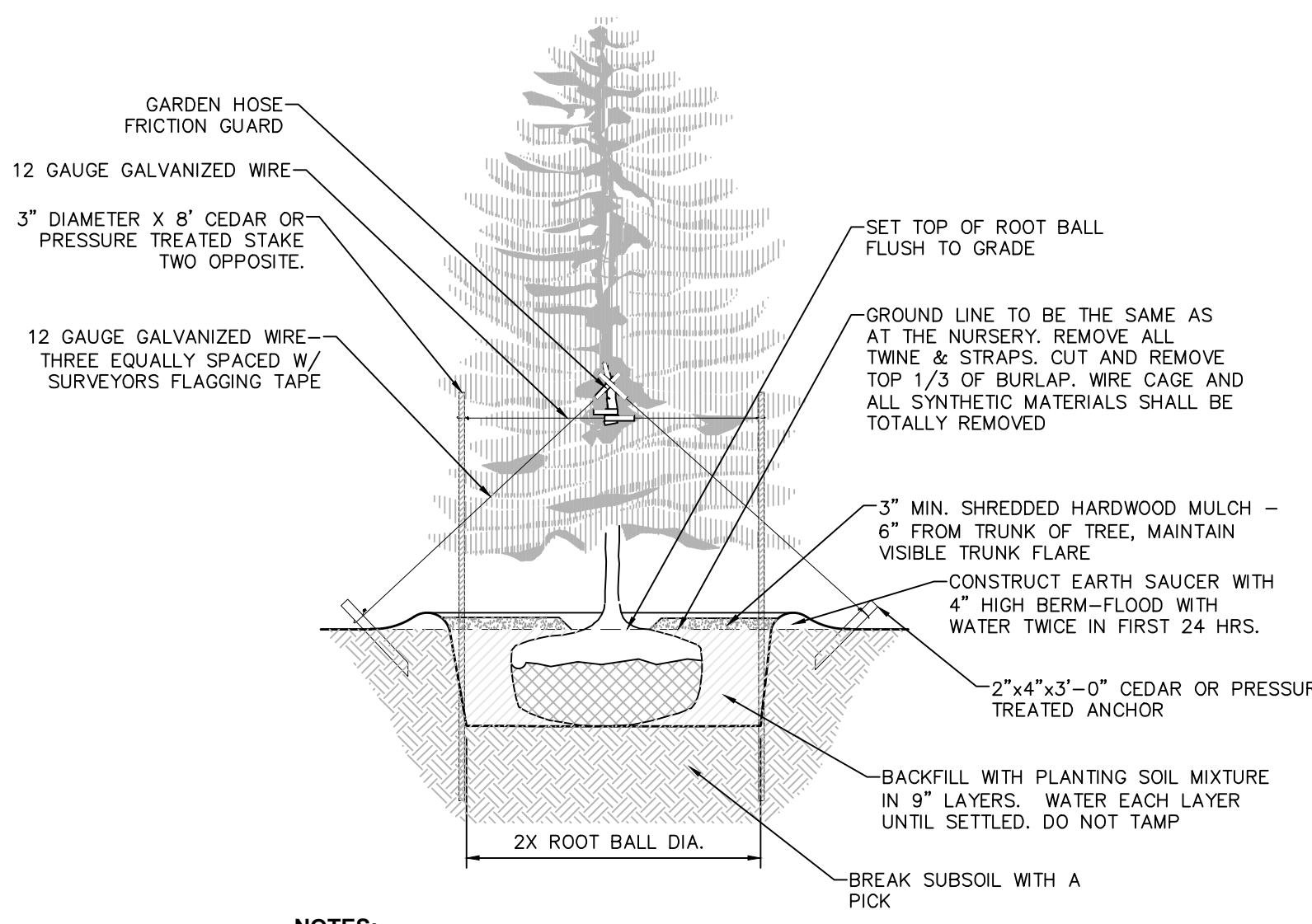
Drawing Title:

Sanitary Sewer System Details

Drawing Number:

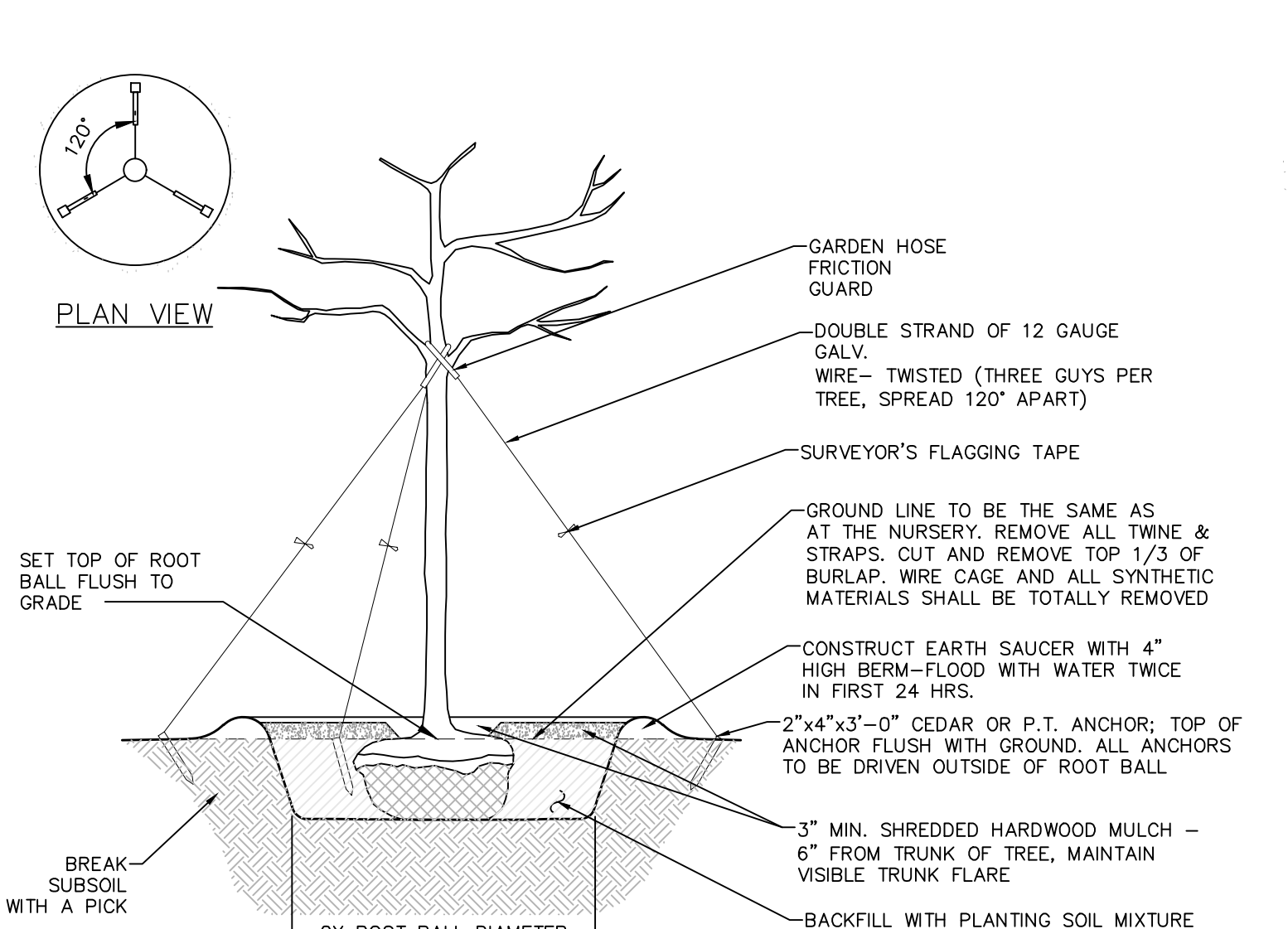
C-506

DWG.No:



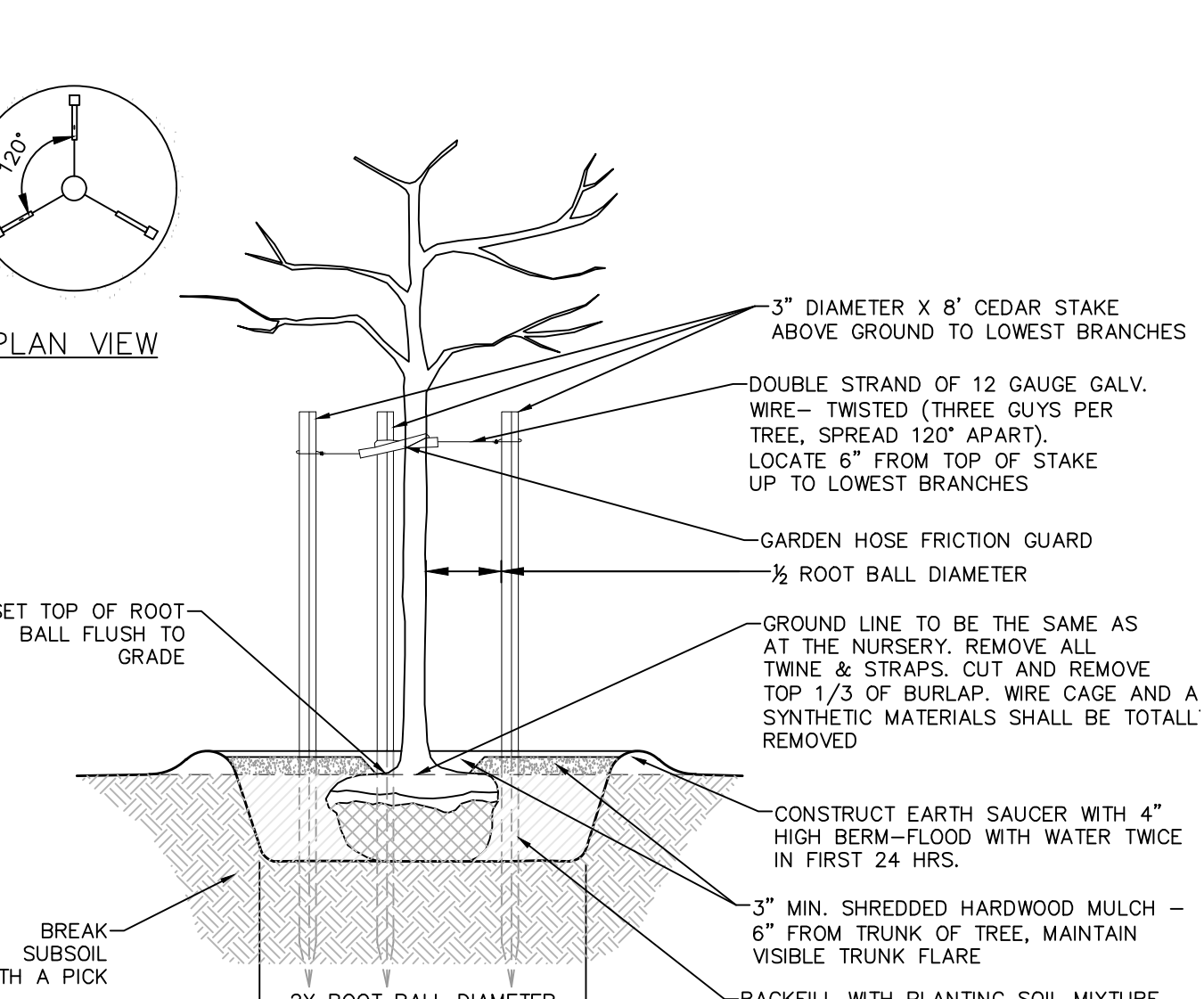
- NOTES:**
1. SPRAY WITH ANTIDESSICANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS.
 2. TREES LESS THAN 3\"/>

1 EVERGREEN PLANTING DETAIL
SCALE: NOT TO SCALE



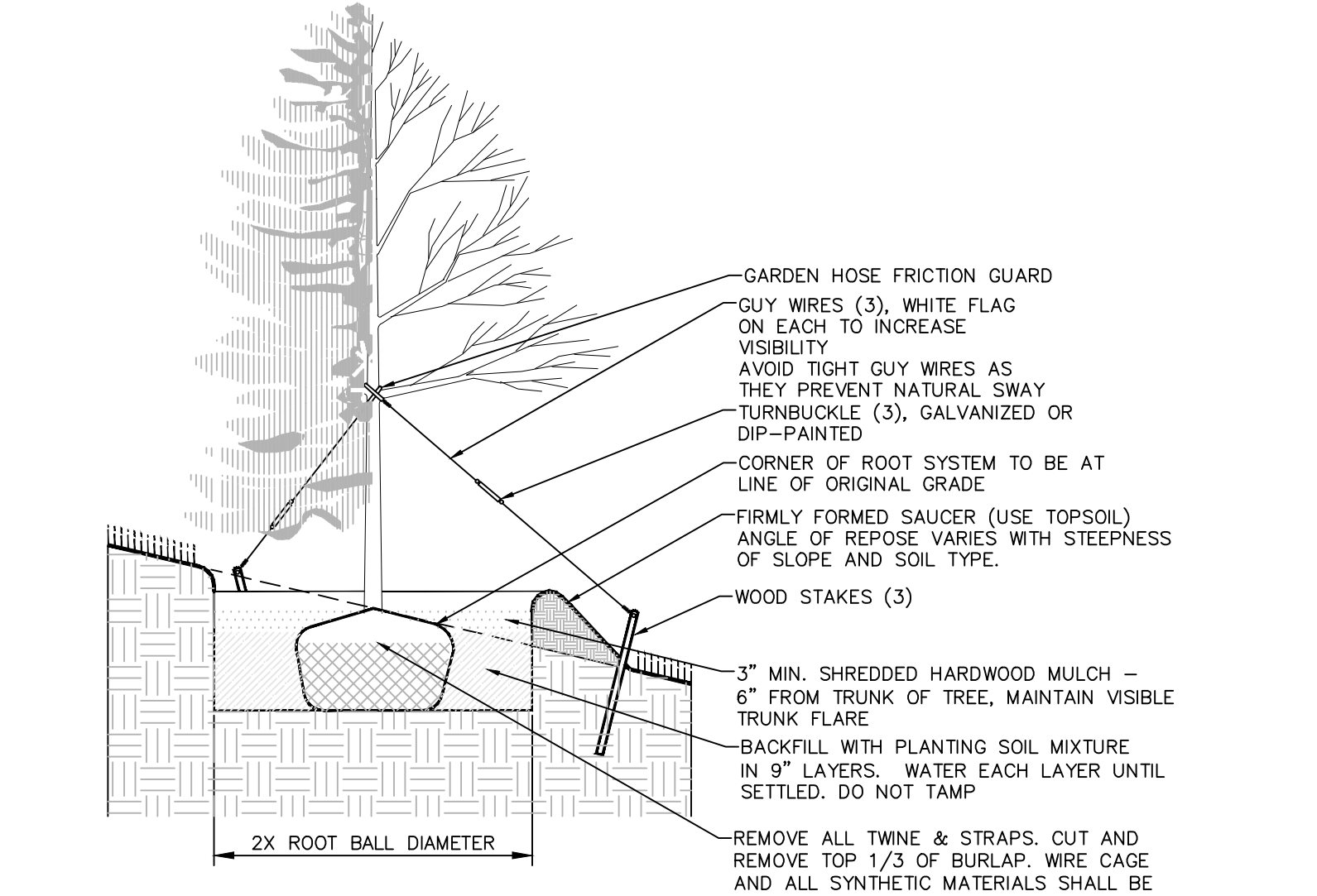
- NOTE:** STAKES SHALL BE REMOVED AT THE END OF THE FIRST GROWING SEASON AFTER PLANTING

2 PLANTING AND GUYING DETAILS FOR TREES 3\"/>



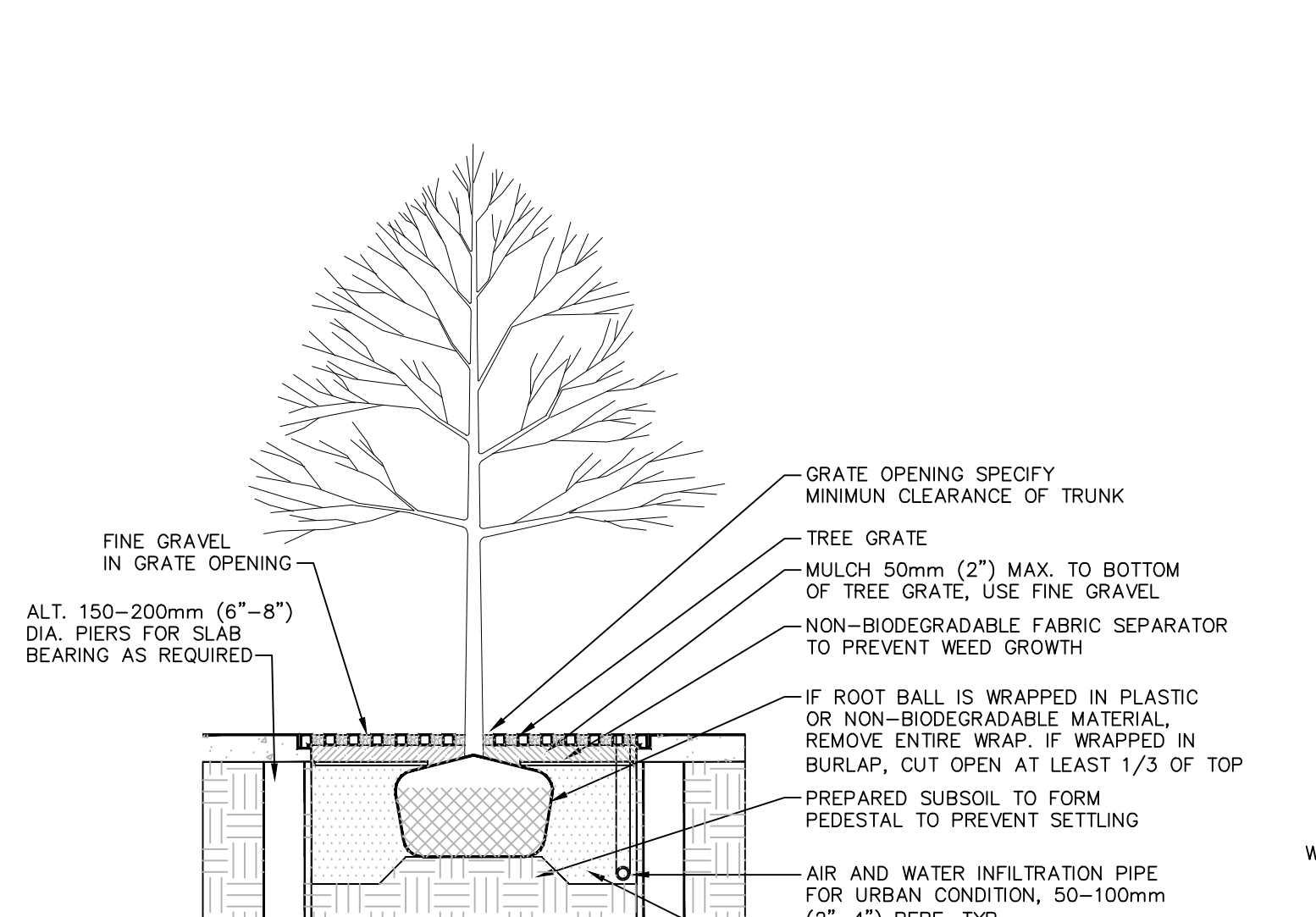
- NOTE:** STAKES SHALL BE REMOVED AT THE END OF THE FIRST GROWING SEASON AFTER PLANTING

3 PLANTING AND GUYING DETAILS FOR TREES SMALLER THAN 3\"/>



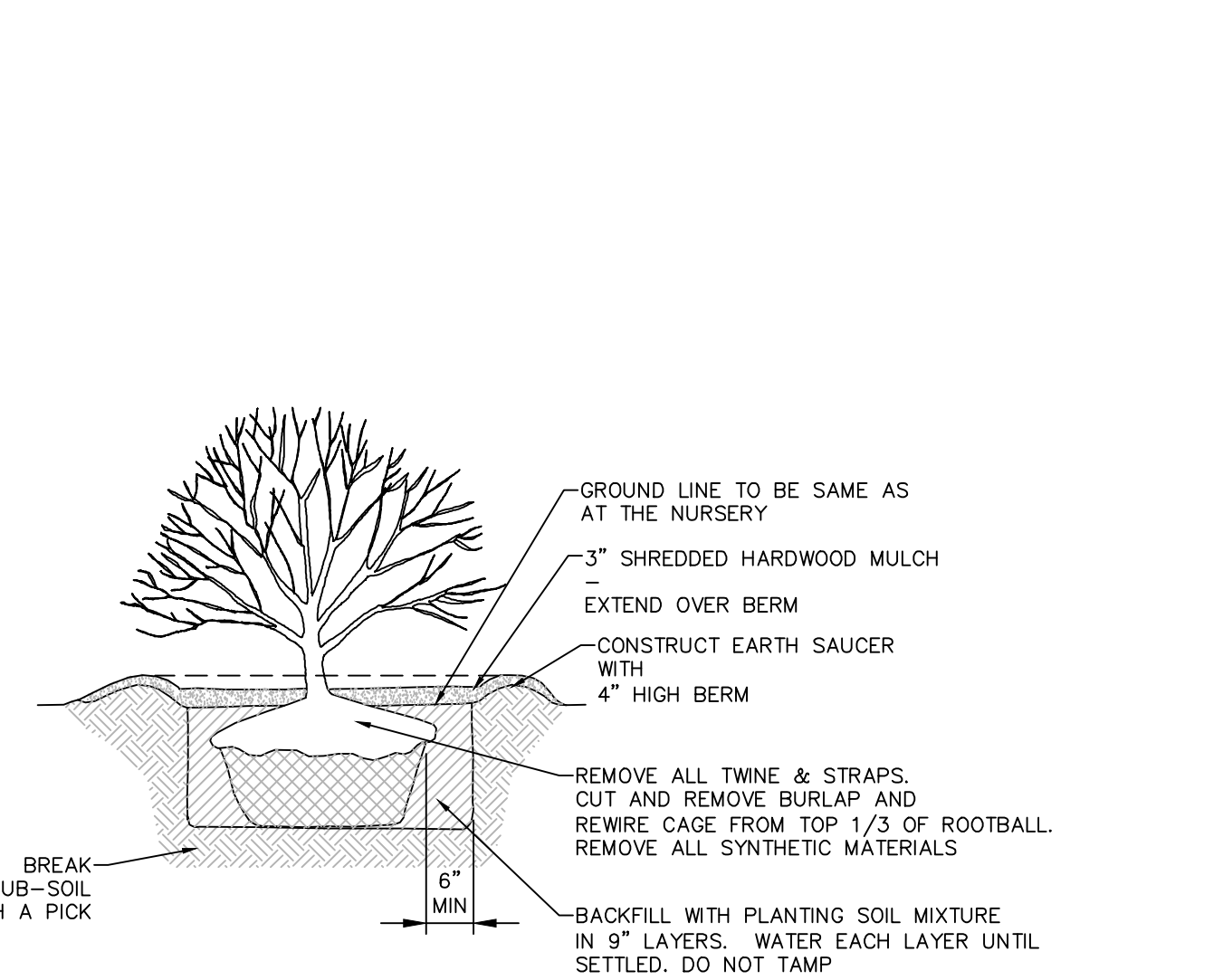
- NOTE:** DETAIL SHALL BE UTILIZED FOR DECIDUOUS AND CONIFEROUS TREE PLANTING ON SLOPE.

4 TREE PLANTING ON SLOPE
SCALE: NOT TO SCALE



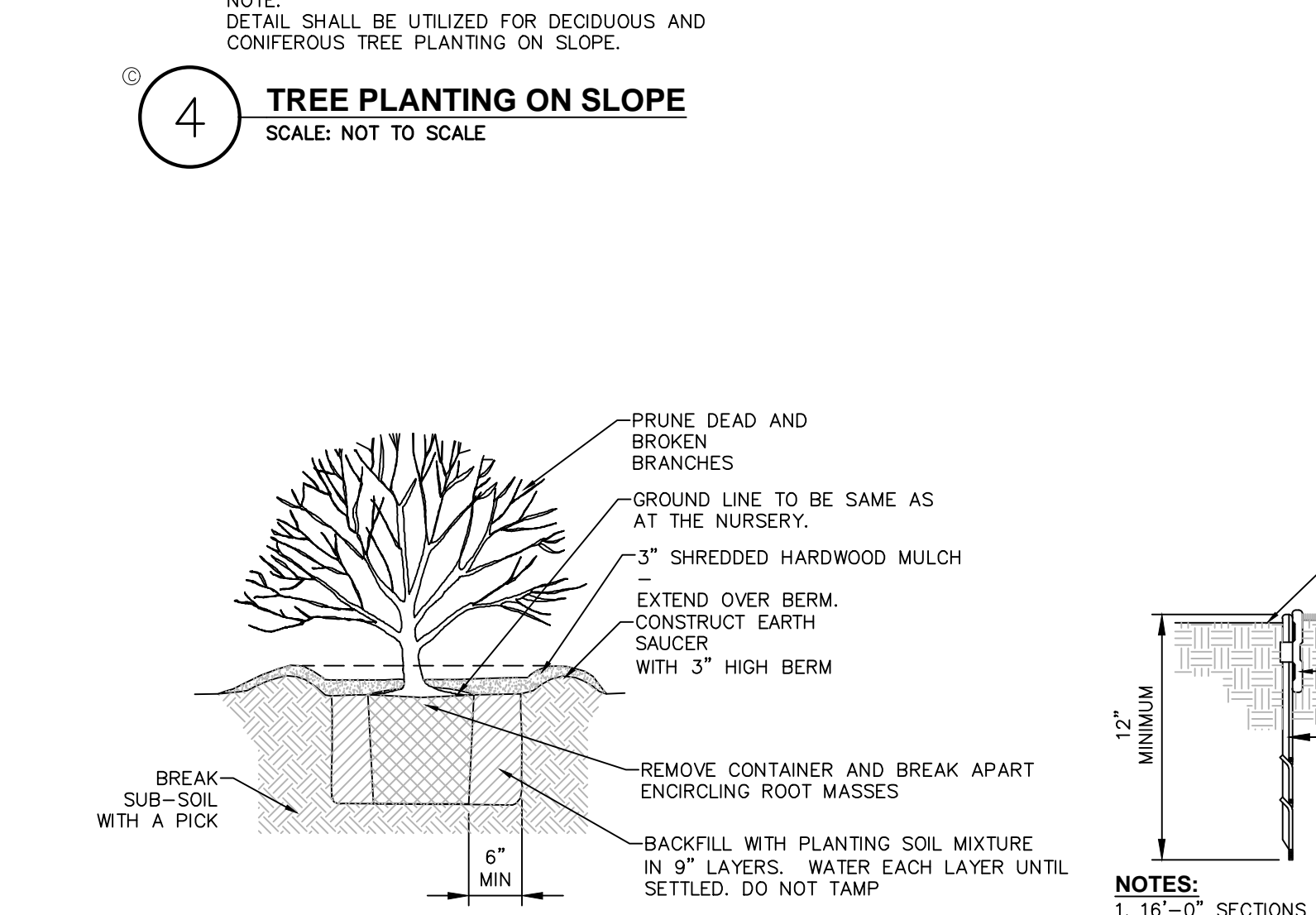
- NOTE:** TREE PIT IS THE FULL SIZE OF GRATE OPENING

5 DECIDUOUS TREE PLANTING IN PAVEMENT WITH METAL GRATE
SCALE: NOT TO SCALE



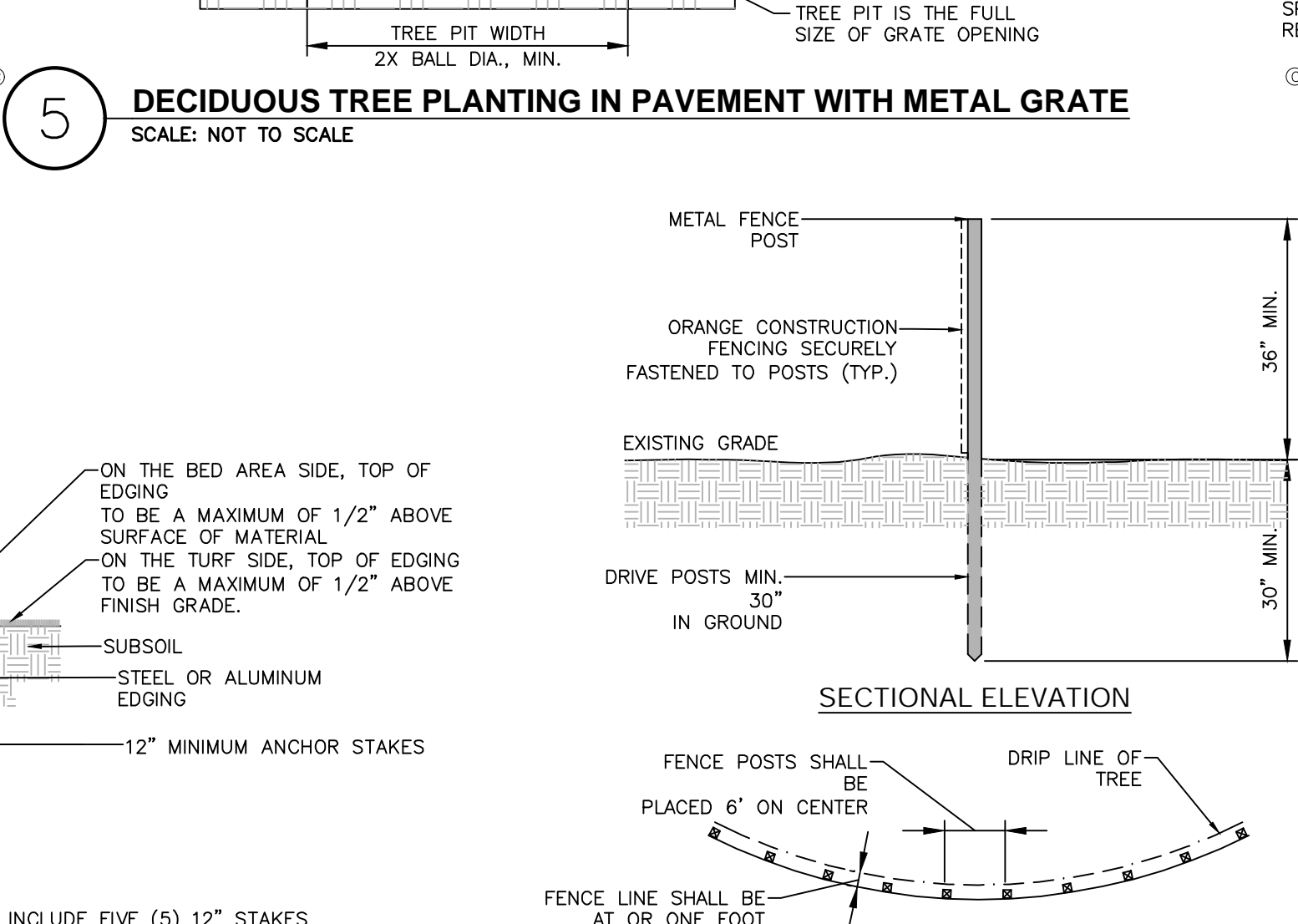
- NOTE:** SPRAY WITH ANTIDESSICANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS IF FOLIAGE IS PRESENT.

6 SHRUB PLANTING DETAIL FOR ALL SHRUBS BALLED AND BURLAPPED
SCALE: NOT TO SCALE



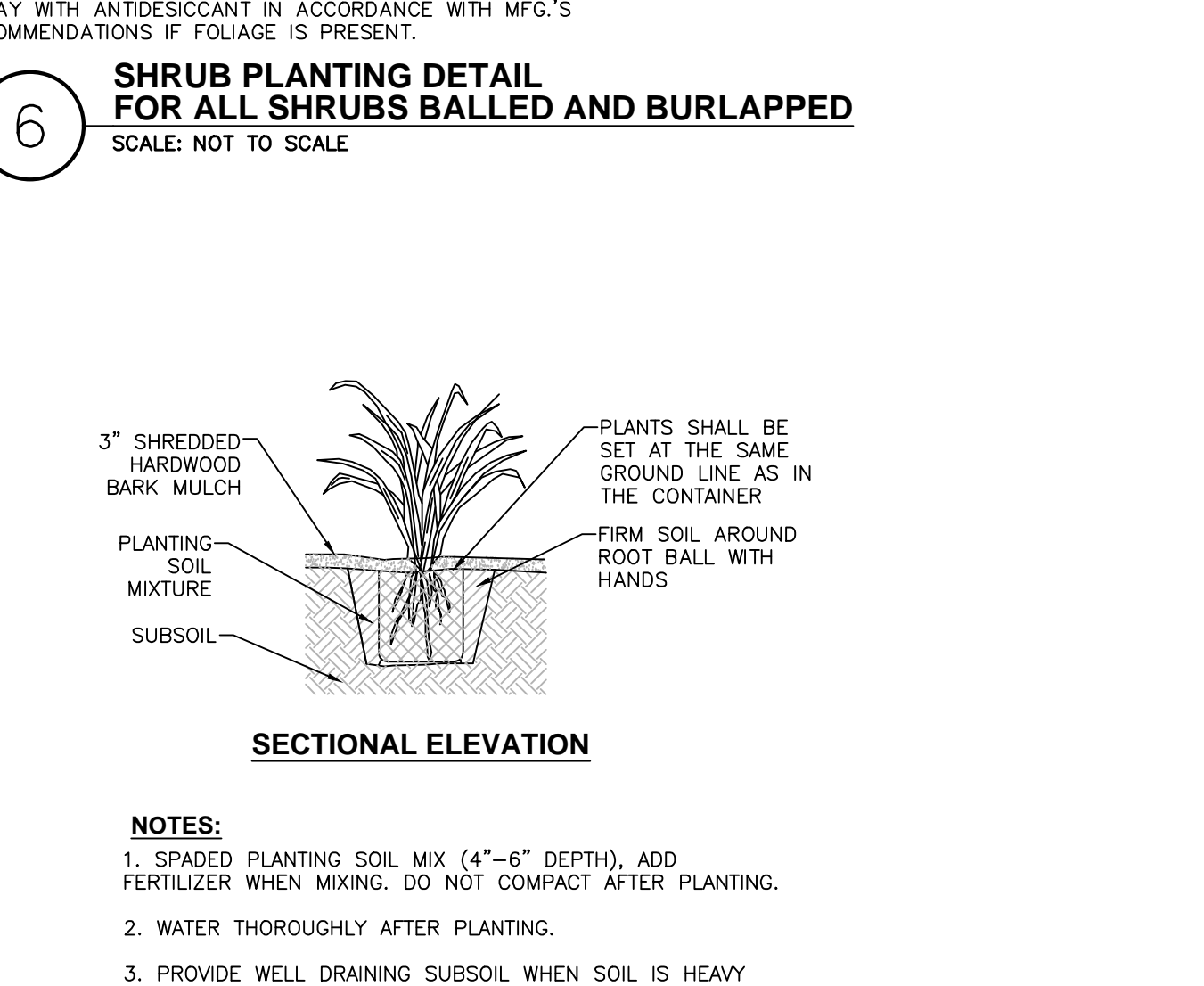
- NOTE:** SPRAY WITH ANTI DESSICANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS IF FOLIAGE IS PRESENT.

7 SHRUB PLANTING DETAIL FOR CONTAINERIZED SHRUBS
SCALE: NOT TO SCALE



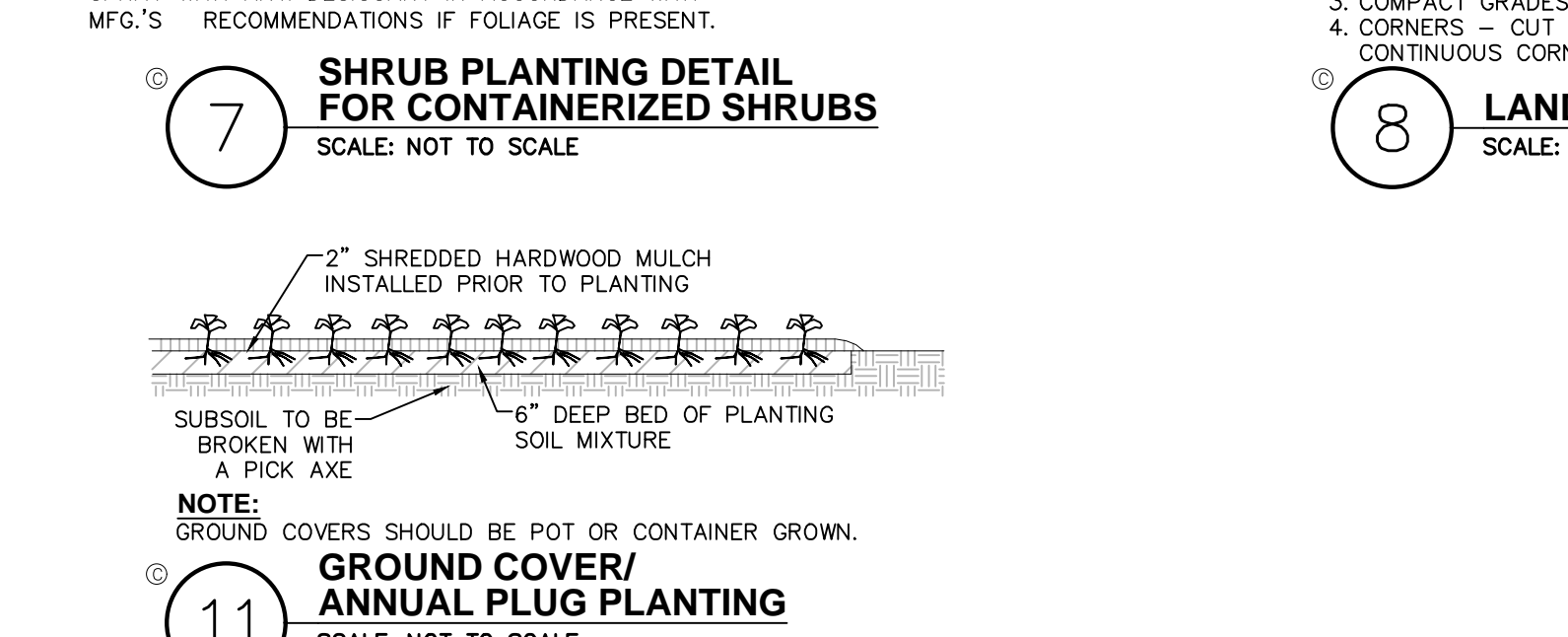
- NOTES:**
1. 16\"/>

8 LANDSCAPE BED EDGING
SCALE: NOT TO SCALE



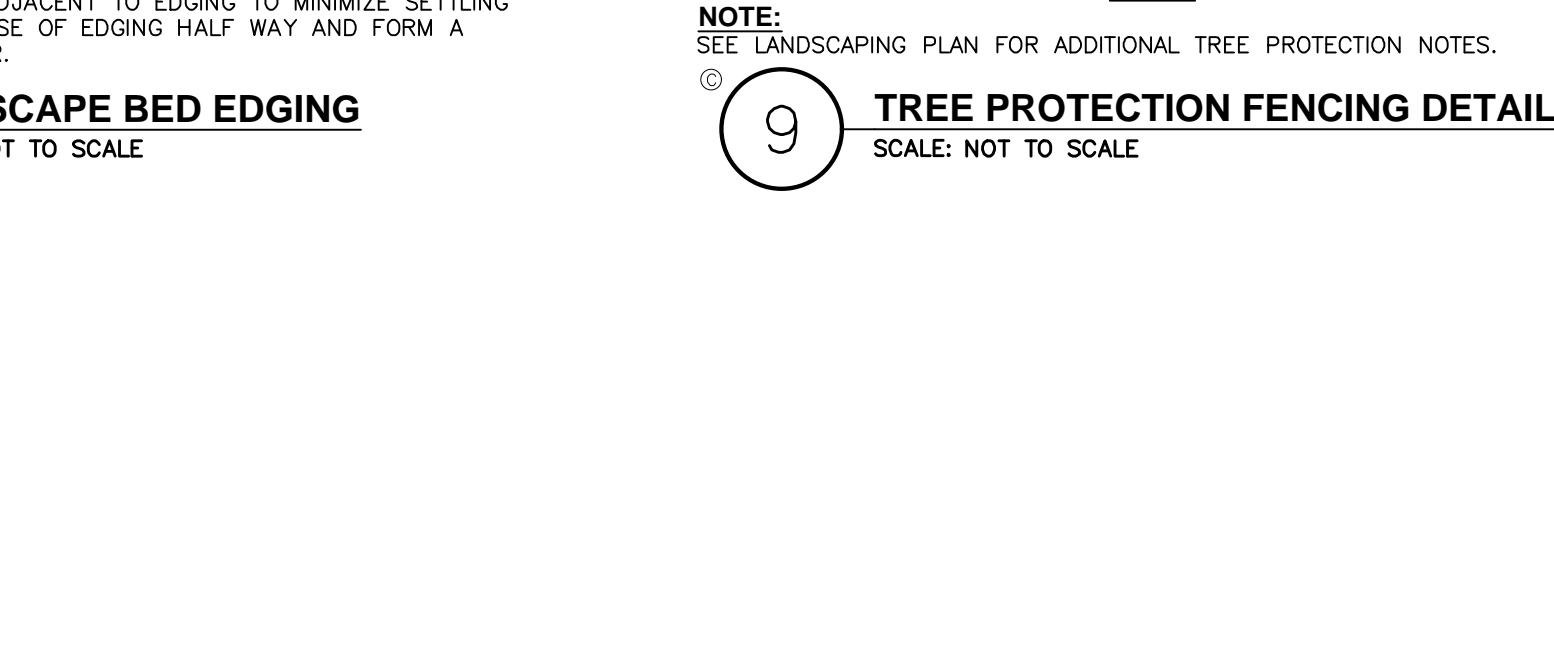
- NOTE:** SEE LANDSCAPING PLAN FOR ADDITIONAL TREE PROTECTION NOTES.

9 TREE PROTECTION FENCING DETAIL
SCALE: NOT TO SCALE



- NOTES:**
1. SPADED PLANTING SOIL MIX (4\"/>

10 CONTAINERIZED PERENNIAL PLANTING
SCALE: NOT TO SCALE



- NOTE:** GROUND COVERS SHOULD BE POT OR CONTAINER GROWN.

11 GROUND COVER/ANNUAL PLUG PLANTING
SCALE: NOT TO SCALE

LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL CAREFULLY COORDINATE CONSTRUCTION ACTIVITIES WITH THAT OF THE EARTHWORK CONTRACTOR AND OTHER SITE DEVELOPMENT.
2. THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS WITH ACTUAL FIELD CONDITIONS AND INSPECT RELATED WORK AND ADJACENT SURFACES. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL FINISH GRADES WITHIN THE WORK AREA. THE CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT/ENGINEER AND OWNER ALL CONDITIONS WHICH PREVENT PROPER EXECUTION OF THIS WORK.
3. THE EXACT LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND UNDERGROUND UTILITIES, WHICH MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES AND IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.
4. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS AT ALL TIMES AND SHALL ARRANGE MATERIAL STORAGE SO AS NOT TO INTERFERE WITH THE OPERATION OF THE PROJECT. ALL UNUSED MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE SITE.
5. NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING OR PROPOSED UTILITY LINES.
6. QUALITY ASSURANCE:
 - A. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE LATEST EDITION OF "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
 - B. SIZE AND GRADING: PLANT SIZES AND GRADING SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (AAN), UNLESS OTHERWISE SPECIFIED.
 - C. NURSERY SOURCE: OBTAIN FRESHLY DUG, HEALTHY, VIGOROUS PLANTS NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS. PLANTS SHALL HAVE BEEN LINED OUT IN ROWS, ANNUALLY CULTIVATED, SPRAYED, PRUNED AND FERTILIZED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. ALL PLANTS SHALL HAVE BEEN TRANSPORTED OR ROOT PRUNED AT LEAST ONCE IN THE PAST 3 YEARS. SALLED AND BURLAPPED PLANTS MUST COME FROM SOIL WHICH WILL HOLD A FIRM ROOT BALL. HEELED IN PLANTS AND PLANTS FROM COLD STORAGE ARE NOT ACCEPTABLE.
 - D. SUBSTITUTIONS: DO NOT MAKE SUBSTITUTIONS OF TREES AND/OR SHRUB MATERIALS. IF REQUIRED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY AND PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WHEN AUTHORIZED, ADJUSTMENTS OF CONTRACT AMOUNT (IF ANY) WILL BE MADE BY CHANGE ORDER.
7. SEEDING & PLANTING SEASONS AND TIMING CONDITIONS:
 - A. UNLESS OTHERWISE DIRECTED IN WRITING, SEED LAWNS FROM MARCH 15 TO JUNE 15, AND FROM AUGUST 15 TO OCTOBER 15.
 - B. UNLESS OTHERWISE DIRECTED IN WRITING PLANT TREES AND SHRUBS FROM MARCH 15 TO JUNE 15 AND FROM AUGUST 15 TO OCTOBER 30.
 - C. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE LAWNS OR PLANTINGS ARE TO BE ESTABLISHED AND WORK IS COMPLETE, SHALL BE RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE. WORK SHALL BE WITHIN THE SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER (TOPSOIL AND TEMPORARY COVER SEED MIX) WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
8. PRODUCTS:
 - A. IMPORTED TOPSOIL: PROVIDE TOPSOIL CONFORMING TO THE FOLLOWING:
 - i. OAM TOPSOIL: WELL DRAINED HOMOGENEOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOIL MATERIAL AND FREE OF DENSE MATERIAL, HARDPAN, CLAY, STONES, SOD OR OTHER OBJECTIONABLE MATERIAL.
 - ii. CONTAINING NOT LESS THAN 5% NOR MORE THAN 20% ORGANIC MATTER IN THAT PORTION OF A SAMPLING PASSING A 1/4\"/>
 - B. SEED MIXTURE: PROVIDE FRESH, CLEAN, NEW-CROP SEED MIXED IN THE PROPORTIONS SPECIFIED FOR SPECIES AND VARIETY, AND CONFORMING TO FEDERAL AND STATE STANDARDS. PROVIDE THE FOLLOWING MIXTURES:
 - i. LAWN SEED MIX:

SIEVE DESIGNATION	% PASSING
1\"/>	
 - ii. TEMPORARY COVER SEED MIX:

AMOUNT BY WEIGHT	SPECIES OR VARIETY	MINIMUM PURITY	MINIMUM GERMINATION
50%	KENTUCKY BLUE GRASS**	95%	80%
20%	PERENNIAL RYE	90%	90%
30%	CREeping RED FESCUE	97%	85%
100%	**MINIMUM 2 (EQUAL PROPORTIONS) VARIETIES AS LISTED IN CORNELL RECOMMENDATIONS FOR TURFGRASS.		

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

Drawing Title:

Landscape Details & Notes

Drawing Number: **C-507**
DWG.No:

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

MAINTENANCE AND PROTECTION OF TRAFFIC (M&PT):

GENERAL NOTES:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC (M&PT) FOR THE DURATION OF THE CONTRACT. M&PT SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING DOCUMENTS:

- A. THE TRAFFIC CONTROL PLAN AND REQUIREMENTS SET FORTH IN THE PLANS AND/OR PROPOSAL OF THIS CONTRACT.
- B. THE MOST CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- C. NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSOT) STANDARD SPECIFICATIONS - CHAPTER 19 WORK ZONE TRAFFIC CONTROL.
- D. NYSOT STANDARD SHEETS FOR WORK ZONE TRAFFIC CONTROL FOR LONG TERM OPERATION - 619 SERIES FOR LONG TERM OPERATIONS. I.E. THE WORK ZONE IS IN EFFECT FOR OVERNIGHT.
- E. NYSOT WORK ZONE TRAFFIC CONTROL MANUAL FOR SHORT TERM OPERATIONS, I.E. THE WORK ZONE IS IN EFFECT ONLY DURING THE DAY AND IS NOT MAINTAINED OVERNIGHT.

2. THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) IS DEFINED AS THE NATIONAL MUTCD FOR STREETS AND HIGHWAYS (US DEPARTMENT OF TRANSPORTATION/FEDERAL HIGHWAY ADMINISTRATION) AS MODIFIED BY THE NEW YORK STATE SUPPLEMENT TO THE NATIONAL MUTCD. WHEN MUTCD IS NOTED IT REFERS TO THE MOST CURRENT EDITION.

3. THE TYPICAL DETAILS PRESENTED IN MUTCD AND NYSOT STANDARD SHEETS REFLECT MINIMUM REQUIREMENTS. ADDITIONAL DEVICES AND/OR METHODS OF TRAFFIC CONTROL MAY BE ORDERED BY THE ENGINEER TO MEET FIELD CONDITIONS.

4. PROPOSED REVISIONS TO THE TRAFFIC CONTROL PLAN MUST BE SUBMITTED FOR APPROVAL BY THE CONTRACTOR TO THE REGULATORY AGENCY WITH AUTHORITY OVER THE ROADWAY, OR ITS REPRESENTATIVE, I.E. ENGINEER. PROPOSED REVISIONS MUST BE SUBMITTED FIVE (5) WORK DAYS PRIOR TO THE PLANNED IMPLEMENTATION OF THE PROPOSED REVISIONS.

5. THE CONTRACTOR SHALL PROVIDE THE ENGINEER, IN WRITING, WITH CONTACT INFORMATION FOR STAFF AUTHORIZED TO SECURE LABOR, MATERIALS, AND EQUIPMENT FOR EMERGENCY REPAIRS OUTSIDE OF NORMAL WORK HOURS. THE CONTACT INFORMATION SHALL INCLUDE NAMES, ADDRESSES, AND TELEPHONE NUMBERS (HOME AND CELL). THE ENGINEER SHALL PROVIDE THE CONTACT INFORMATION TO THE APPROPRIATE REGULATORY AGENCIES, LOCAL POLICE AND NEW YORK STATE POLICE, AND THE LOCAL NYSOT MAINTENANCE RESIDENCY.

6. THE CONTRACTOR SHALL PROVIDE A TENTATIVE SCHEDULE OF OPERATIONS TO THE ENGINEER AND ALL LOCAL AUTHORITIES AND EMERGENCY SERVICE PROVIDERS TWO WEEKS BEFORE BEGINNING CONSTRUCTION ACTIVITIES. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE NOTIFICATION TO THE ENGINEER, LOCAL AUTHORITIES, AND EMERGENCY SERVICE PROVIDERS OF CHANGES TO THE PREVIOUS WORK PLAN/WORK LOCATIONS. PROVISIONS SHALL BE MADE AT THE PRE-CONSTRUCTION MEETING OR OTHER MEETING PRIOR TO THE START OF WORK BETWEEN THE CONTRACTOR, LOCAL AUTHORITIES AND EMERGENCY SERVICE PROVIDERS TO ADDRESS A SITUATION WHEN EMERGENCY ACCESS IS NEEDED THROUGH A CONSTRUCTION OPERATION OF CONTRACT LIMITS.

PUBLIC ACCESS:

- 1. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS TO EACH ADJACENT PROPERTY DURING ALL CONSTRUCTION OPERATIONS.
- 2. IF CONDITIONS REQUIRE THAT ACCESS TO A PROPERTY BE TEMPORARILY CLOSED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND OCCUPANT AT LEAST 24 HOURS IN ADVANCE.
- 3. ALL PROPERTIES SHALL HAVE AT LEAST ONE ACCESS DRIVE OPEN FOR SAFE USE AT THE END OF EACH WORK DAY.
- 4. FOR MULTIPLE ACCESS PROPERTIES, AT LEAST ONE ACCESS SHALL BE OPEN AT ALL TIMES.
- 5. SUITABLE RAMPS SHALL BE INSTALLED TO MAINTAIN SMOOTH TRANSITIONS FROM RESIDENTIAL AND COMMERCIAL DRIVEWAYS TO AND FROM THE WORK AREA.

WORK LOCATIONS:

- 1. A MINIMUM 500' LONGITUDINAL DISTANCE SHALL BE MAINTAINED BETWEEN WORK OPERATIONS ON ALTERNATE SIDES OF THE ROADWAY, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- 2. IF TWO OR MORE WORK AREAS ARE ADJACENT, OVERLAP, OR IN CLOSE PROXIMITY (LESS THAN 500' APART), THE CONTRACTOR SHALL ENSURE THAT THERE ARE NO CONFLICTING SIGNS OR PAVEMENT MARKINGS, AND THAT LANE CONTINUITY IS MAINTAINED THROUGHOUT ALL WORK AREAS.

LANE CLOSURES:

- 1. THE CONTRACTOR SHALL LOCATE LANE CLOSURES TO PROVIDE OPTIMUM VISIBILITY, I.E. PRIOR TO HORIZONTAL CURVES AND VERTICAL CRESTS, TO THE EXTENT CONDITIONS PERMIT.
- 2. THE CONTRACTOR MAY BE REQUIRED TO RE-OPEN ALL TRAVEL LANES AT ANY TIME IF THE ROUTE IS NEEDED FOR EMERGENCY PURPOSES, INCLUDING INCIDENTS OUTSIDE THE CONTRACT LIMITS.
- 3. LANE CLOSURES MUST CONFORM TO THE TIME REQUIREMENTS OF THE CONTRACT DOCUMENTS AND HIGHWAY WORK PERMITS IF ISSUED.
- 4. TEMPORARY LANE CLOSURES MAY NOT BE PERMITTED DURING THE PEAK TRAVEL PERIODS OF 7:00 TO 9:00 AM AND 3:30 TO 6:00 PM UNLESS APPROVED BY THE ENGINEER.
- 5. TEMPORARY LANE CLOSURES MAY NOT BE PERMITTED DURING THE FOLLOWING HOLIDAY PERIODS: EASTER WEEKEND, MEMORIAL DAY WEEKEND, JULY 4TH, COLUMBUS DAY, THANKSGIVING, CHRISTMAS, AND NEW YEAR'S DAY.

WORK ZONE TRAVEL LANES:

- 1. THE MINIMUM LANE WIDTH FOR WORK ZONE TRAVEL LANES SHALL BE 11' FOR FREEWAYS AND/OR EXPRESSWAYS, AND 10' FOR ALL OTHER TYPES OF ROADWAYS. EXCEPTIONS TO THESE MINIMUM LANE WIDTHS MUST BE AUTHORIZED BY THE ENGINEER.
- 2. WRITTEN NOTICE SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER AT LEAST 21 DAYS IN ADVANCE OF PERFORMING ANY WORK THAT RESULTS IN THE REDUCED WIDTH OF AN EXISTING ROADWAY. NOTICE SHALL BE COVERED BY THE LOCAL NYSOT RESIDENCY PERMIT ENGINEER IN A TIMELY MANNER OF THE CONTRACTOR'S NOTICE.

CHANNELIZING DEVICES:

- 1. WHERE POSSIBLE ALL CHANNELIZING AND GUIDING DEVICES ARE TO BE PLACED SO AS TO PROVIDE A MINIMUM 2' LATERAL CLEARANCE TO THE TRAVELED WAY.

SIGNS:

- 1. ALL SIGNS SHALL BE LOCATED AS SHOWN IN THE WORK ZONE TRAFFIC CONTROL PLANS OR AS SPECIFIED BY THE CURRENT MUTCD, NYSOT STANDARD SHEETS, OR NYSOT WORK ZONE TRAFFIC CONTROL MANUAL. SIGNS SHALL BE LOCATED ALONG THE RIGHT SIDE OF THE ROADWAY FACING ONCOMING TRAFFIC AT RIGHT ANGLES.
- 2. THE LOCATIONS OF SIGNS MAY BE ADJUSTED FROM THAT SHOWN IN THE WORK ZONE TRAFFIC CONTROL PLANS BASED ON SIGHT DISTANCE AND OTHER CONSIDERATIONS. THE FINAL LOCATIONS OF SIGNS ARE SUBJECT TO THE ENGINEER'S APPROVAL.
- 3. EXISTING SIGNS THAT CONFLICT IN MESSAGE OR VISIBILITY WITH THE SIGNS REQUIRED BY THE WORK ZONE TRAFFIC CONTROL PLAN LAYOUT SHALL BE COVERED, REMOVED, STORED OR RESET AS APPROVED BY THE ENGINEER. ALL APPROPRIATE EXISTING SIGNS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND/OR LOCATION UNLESS REPLACED UNDER THIS CONTRACT.
- 4. SIGNS AT OR NEAR INTERSECTIONS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT A MOTORIST'S LINE OF SIGHT.
- 5. WARNING AND REGULATORY SIGNS SHALL BE POSTED ON BOTH SIDES OF MULTI-LANE DIVIDED HIGHWAYS, MULTI-LANE RAMPS, AND ONE WAY STREETS. IF LANE RESTRICTIONS REDUCE THE TRAVEL WAY TO ONE LANE, SIGNS SHALL BE PLACED ON THE RIGHT SIDE OF THE ACTIVE TRAVEL LANE, UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.
- 6. THE DIMENSIONS OF WORK ZONE TRAFFIC CONTROL SIGNS ARE DESCRIBED IN THE MUTCD AND OTHER DOCUMENTS NOTED IN "GENERAL NOTES". ANY CHANGES TO THE DIMENSIONS SHALL BE APPROVED BY THE ENGINEER.
- 7. SIGN INSTALLATION NOTES:
 - A. SIGN SUPPORT - THE CONTRACTOR SHALL SUPPLY ADEQUATE SUPPORTS SO THAT THE SIGNS ARE IMPROPER POSITION AND ALIGNMENT AS SHOWN IN THE WORK ZONE TRAFFIC CONTROL PLAN, AND OTHER M&PT REQUIREMENT DOCUMENTATION. ALL WOOD SUPPORTS SHALL BE PAINTED WITH TWO (2) COATS OF WHITE PAINT.
 - B. SIGN PANELS MAY BE MADE OF ALUMINUM SHEET OR PLYWOOD. THE BACKS OF ALL PLYWOOD PANELS SHALL BE PAINTED WITH TWO (2) COATS OF WHITE PAINT.
 - C. SIGN LEGEND - SIGN LEGEND, BORDERS AND MARGINS SHALL BE IN ACCORDANCE WITH THE MUTCD.
 - D. SIGN COLOR - THE COLOR OF THE SIGN BACKGROUND AND LEGEND SHALL BE AS SPECIFIED IN THE MUTCD. THE MARGIN SHALL BE THE SAME COLOR SPECIFIED FOR THE BACKGROUND, AND THE BORDER SHALL BE THE SAME COLOR SPECIFIED FOR THE LEGEND.
 - E. SIGN SHAPE - THE SHAPE OF ALL SIGNS SHALL BE AS SPECIFIED IN THE MUTCD. CORNERS OF SIGNS SHALL BE ROUNDED.
 - F. REFLECTORIZATION - ALL SIGNS SHALL BE REFLECTIVE USING HIGH INTENSITY REFLECTORIZED TAPE OR PAINT. ALL SIGNS SHALL BE REVIEWED AT NIGHT AFTER ERECTION FOR VISIBILITY AND REFLECTORIZATION. ANY SIGNS NOT MEETING PROPER REFLECTION REQUIREMENTS SHALL BE REPLACED.
- 8. THE CONTRACTOR SHALL KEEP SIGNS CLEANED AND CLEARED AT ALL TIMES. ALL SIGNS ARE THE PROPERTY OF THE CONTRACTOR AND SHALL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONTRACT. ALL SIGNS SHALL BE REMOVED FROM THE WORK SITE WHEN THE CONTRACT WORK IS ACCEPTED.

PAVEMENT MARKINGS:

- 1. ALL TEMPORARY PAVEMENT MARKINGS SHALL BE PLACED (LOCATED) IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE MUTCD.
- 2. ALL TEMPORARY PAVEMENT MARKINGS SHALL CONFORM TO THE MATERIAL AND PLACEMENT REQUIREMENTS OF THE CONTRACT DOCUMENTS, MUTCD, AND NYSOT STANDARD SPECIFICATIONS.
- 3. IF REQUIRED TEMPORARY PAVEMENT MARKINGS CONFLICT IN MESSAGE OR LOCATION WITH EXISTING PAVEMENT MARKINGS, THE EXISTING PAVEMENT MARKINGS WILL BE REMOVED OR COVERED FOR THE DURATION OF THE USE OF THE TEMPORARY MARKINGS AS APPROVED BY THE ENGINEER. ALL APPROPRIATE EXISTING MARKINGS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND/OR LOCATION UNLESS REPLACED UNDER THIS CONTRACT.

TEMPORARY TRAFFIC SIGNALS:

- 1. THE OPERATION, I.E. PHASING AND TIMING, OF TEMPORARY TRAFFIC SIGNALS OR EXISTING TRAFFIC SIGNAL MODIFIED TO CONTROL WORK ZONE ACTIVITY, SHALL BE APPROVED BY THE REGULATORY AUTHORITY HAVING CONTROL OVER THE ROADWAY AND/OR EXISTING TRAFFIC SIGNAL.
- 2. TEMPORARY TRAFFIC SIGNALS INSTALLED FOR WORK ZONE ACTIVITIES SHALL CONFORM TO THE REQUIREMENTS OF THE MUTCD AND NYSOT STANDARD SHEET 619-62, EFFECTIVE DATE 01/08/09.
- 3. ALL WORK ZONE OPERATIONS AND WORK SHALL BE COMPLETED AND ACCEPTED BY THE ENGINEER PRIOR TO THE REMOVAL OF THE TEMPORARY TRAFFIC SIGNAL(S) INSTALLED TO CONTROL TRAFFIC FOR THOSE ACTIVITIES.
- 4. THE CONTRACTOR SHALL PROVIDE THE ENGINEER, IN WRITING, WITH CONTACT INFORMATION FOR STAFF AUTHORIZED TO PERFORM MAINTENANCE AND REPAIRS TO TEMPORARY TRAFFIC SIGNALS DURING AND OUTSIDE OF NORMAL WORK HOURS. THE CONTACT INFORMATION SHALL INCLUDE NAMES, ADDRESSES, AND TELEPHONE NUMBERS (HOME AND CELL). THE ENGINEER SHALL PROVIDE THE CONTACT INFORMATION TO THE APPROPRIATE REGULATORY AGENCIES, LOCAL POLICE, AND NEW YORK STATE POLICE.

WORK DURATION

WORK DURATION DIRECTLY INFLUENCES THE REQUIREMENTS FOR WORK ZONE TRAFFIC CONTROL. TO FACILITATE THE UNDERSTANDING OF THE INFORMATION PRESENTED IN THE CONTRACT PLANS AND DOCUMENTS, ESPECIALLY THE NYSOT DOCUMENTS REFERENCED IN THE M&PT GENERAL NOTES, THE FOLLOWING DEFINITIONS ARE PRESENTED.

- 1. LONG TERM STATIONARY WORK - WORK THAT OCCUPIES A LOCATION MORE THAN THREE CONSECUTIVE DAYS. TYPICALLY THE WORK AREA IS OCCUPIED BY EXCAVATIONS, MATERIALS, AND/OR EQUIPMENT AT TIMES WHEN WORKERS ARE NOT PRESENT.
- 2. INTERMEDIATE-TERM STATIONARY WORK - WORK THAT OCCUPIES A LOCATION MORE THAN ONE DAYLIGHT PERIOD UP TO THREE CONSECUTIVE DAYS, OR NIGHTTIME WORK LASTING MORE THAN ONE HOUR, TYPICALLY THE WORK AREA IS OCCUPIED BY EXCAVATIONS, MATERIALS, AND/OR EQUIPMENT AT TIMES WHEN WORKERS ARE NOT PRESENT.
- 3. SHORT-TERM STATIONARY WORK - DAYTIME WORK THAT OCCUPIES A LOCATION FOR MORE THAN ONE HOUR WITHIN A SINGLE DAYLIGHT PERIOD. EXAMPLES ARE GUIDELINE REPAIR, DITCH MAINTENANCE, AND BRIDGE INSPECTION.
- 4. SHORT DURATION WORK - WORK THAT OCCUPIES A LOCATION UP TO ONE HOUR. EXAMPLES ARE POT HOLE REPAIR, MINOR GUIDELINE REPAIR, AND SIGN REPAIR.
- 5. MOBILE WORK - WORK THAT MOVES INTERMITTENTLY OR CONTINUOUSLY. EXAMPLES ARE PAINT STRIPING OPERATIONS, SWEEPING OPERATIONS, AND HERBICIDE SPRAYING.

THE ABOVE DEFINITIONS ARE ON PER NYSOT STANDARD SHEET 619-11, EFFECTIVE DATE 01/08/09, AND THE NYSOT WORK ZONE TRAFFIC CONTROL MANUAL.

LONG-TERM AND INTERMEDIATE-TERM WORK ZONE TRAFFIC CONTROL REQUIREMENTS ARE COVERED BY THE 619 SERIES OF THE NYSOT STANDARD SHEETS.

SHORT-TERM, SHORT DURATION, AND MOBILE WORK ZONE TRAFFIC CONTROL REQUIREMENTS ARE COVERED BY THE NYSOT WORK ZONE TRAFFIC CONTROL MANUAL.

TABLE NY1-A BARRIER VEHICLE USE REQUIREMENTS (LONG TERM, INTERMEDIATE TERM, AND SHORT TERM STATIONARY CLOSURES)						
CLOSURE TYPE	EXPOSURE CONDITION ¹	USE REQUIREMENTS ^{4,5}				
		FREEMAY	PRECONSTRUCTION POSTED SPEED LIMIT	W 45 MPH	35-40 MPH	30 MPH
LANE CLOSURE	WORKERS ON FOOT OR IN VEHICLES EXPOSED TO TRAFFIC	REQUIRED ³	REQUIRED ³	REQUIRED ³	OPTIONAL ²	OPTIONAL ²
	NON-TRANSVERSABLE HAZARD (E. EQUIPMENT, MATERIALS/EXCAVATION) ONLY NO WORKERS EXPOSED	REQUIRED ³	REQUIRED ³	OPTIONAL ²	OPTIONAL ²	OPTIONAL ²
SHOULDER CLOSURE	WORKERS ON FOOT OR IN VEHICLES EXPOSED TO TRAFFIC	REQUIRED ³	REQUIRED ³	OPTIONAL ²	OPTIONAL ²	OPTIONAL ²
	NON-TRANSVERSABLE HAZARD (E. EQUIPMENT, MATERIALS/EXCAVATION) ONLY NO WORKERS EXPOSED	REQUIRED ³	OPTIONAL ²	OPTIONAL ²	OPTIONAL ²	OPTIONAL ²

- 1. THE EXPOSURE CONDITIONS DESCRIBED IN TABLE NY1-A ASSUMES THERE IS NO POSITIVE PROTECTION (TEMPORARY TRAFFIC BARRIER) PRESENT. WHERE WORKERS OR HAZARDS ARE PROTECTED BY A TEMPORARY TRAFFIC BARRIER, BARRIER VEHICLES ARE NOT REQUIRED.
- 2. WHERE THE REQUIREMENT IS "OPTIONAL", EITHER A BARRIER VEHICLE OR THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6C-2) SHALL BE PROVIDED.
- 3. REQUIREMENTS SHALL INCLUDE PROVIDING A SEPARATE BARRIER VEHICLE FOR EACH CLOSED LANE AND EACH CLOSED PAVED SHOULDER 8' OR GREATER IN WIDTH. IF THE WORK SPACE MOVES WITH IN THE STATIONARY CLOSURE, THE BARRIER VEHICLE SHALL BE REPOSITIONED ACCORDINGLY.
- 4. BARRIER VEHICLES PROTECTING NON-TRANSVERSABLE HAZARDS SHALL REMAIN IN PLACE DURING BOTH WORKING AND NON-WORKING HOURS UNTIL THE HAZARD NO LONGER EXISTS. EXCEPTIONS TO THESE REQUIREMENTS MAY BE MADE, AS APPROVED BY THE REGIONAL DIRECTOR OR HIS/HER DESIGN EE WHERE BARRIER VEHICLE PLACEMENT WOULD BE INEFFECTIVE OR WOULD INTERFERE WITH THE SAFE OPERATION OF TRAFFIC.
- 5. BARRIER VEHICLES ARE NOT REQUIRED FOR MILLING AND/OR PAVING OPERATIONS, BUT THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6C-2) SHALL BE PROVIDED. BARRIER VEHICLES ARE NOT REQUIRED FOR FLAGGING OPERATIONS, BUT THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6C-2) SHALL BE PROVIDED.

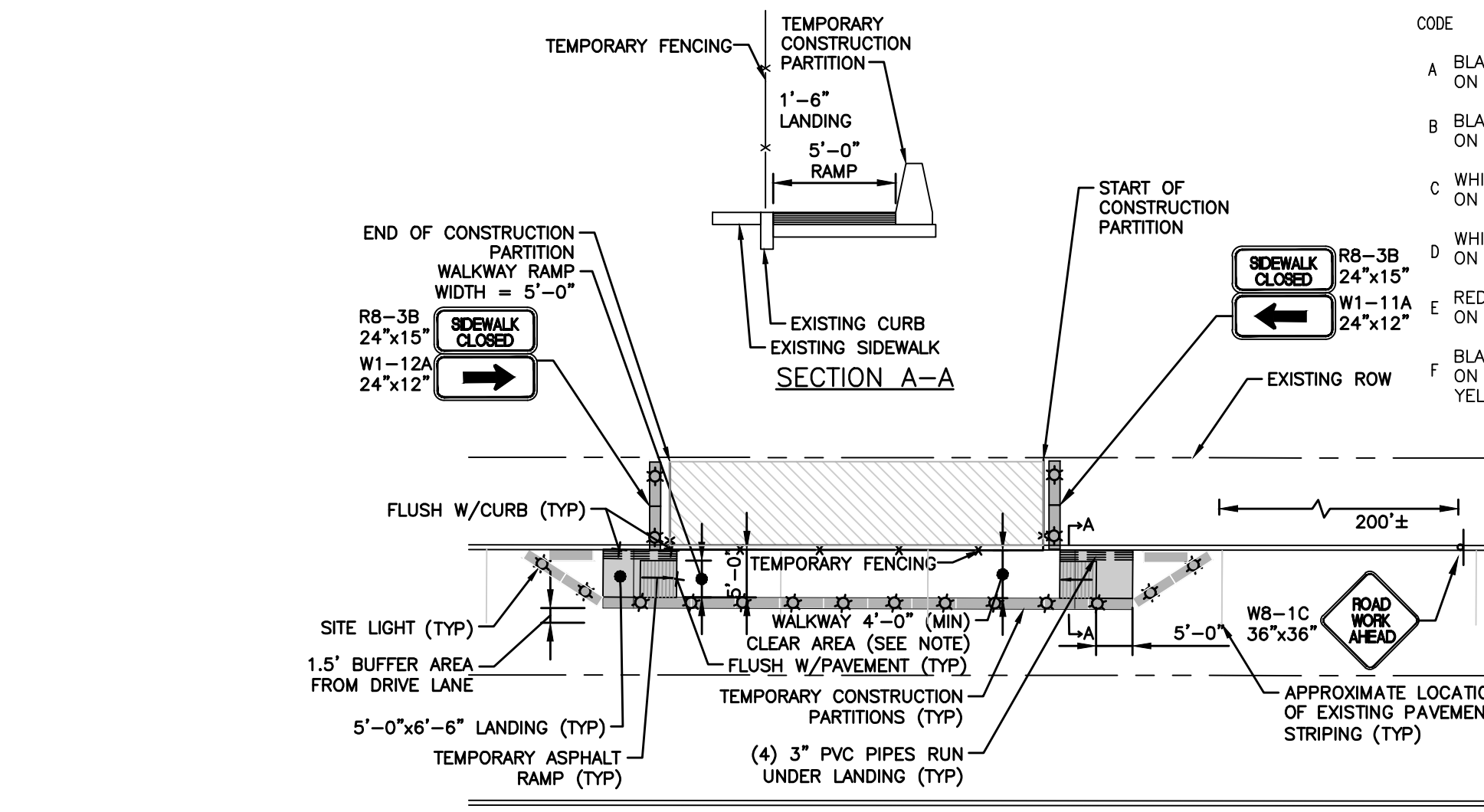
ROAD TYPE	TABLE NYH-3 ADVANCE WARNING SIGN SPACING					TABLE 6C-3 TAPER LENGTH FOR TEMPORARY TRAFFIC CONTROL ZONES	
	A (FT.)	B (FT.)	C (FT.)	XX	YY	TYPE OF TAPER	TAPER LENGTH (L)
URBAN (10-30 MPH)	100	100	100	AHEAD	AHEAD	SHIFTING TAPER	L/2
URBAN (35-40 MPH)	200	200	200	AHEAD	AHEAD	SHOULDER TAPER	L/3
URBAN (W 45 MPH)	350	350	350	1000 FT. AHEAD	AHEAD	ONE-LANE, TWO-WAY TRAFFIC TAPER	100 FT. MAXIMUM
RURAL	500	500	500	500 FT. 1000 FT.	AHEAD	DOWNSTREAM TAPER	100 FT. PER LANE
EXPRESSWAY / FREEWAY	1000	1500	2840	1 MILE	1/2 MILE		

PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	TABLE NY2-A PLACEMENT DISTANCE FOR BARRIER VEHICLES*			
	18000 LBS.		24000 LBS.	
	MINIMUM	MAXIMUM	MINIMUM	MAXIMUM
> 55	100 FT.	200 FT.	100 FT.	200 FT.
45 - 55	100 FT.	200 FT.	85 FT.	165 FT.
< 45	85 FT.	165 FT.	50 FT.	100 FT.

* AS DEFINED IN NYSOT STANDARD SPECIFICATION 619:
 BARRIER VEHICLE - VEHICLE USED FOR STATIONARY SHOULDER CLOSURES, LANE CLOSURES, AND OTHER STATIONARY WORK ZONES.
 MINIMUM DISTANCE SHOWN REFLECTS THE ACTUAL ROLL AHEAD DISTANCE FROM MANUFACTURER.
 FREEWAYS/INTERSTATE: LOCAL OR INTER REGIONAL HIGHWAY DIVIDED HIGH-VOLUME FACILITIES WITH FULL OR PARTIAL CONTROL OF ACCESS.

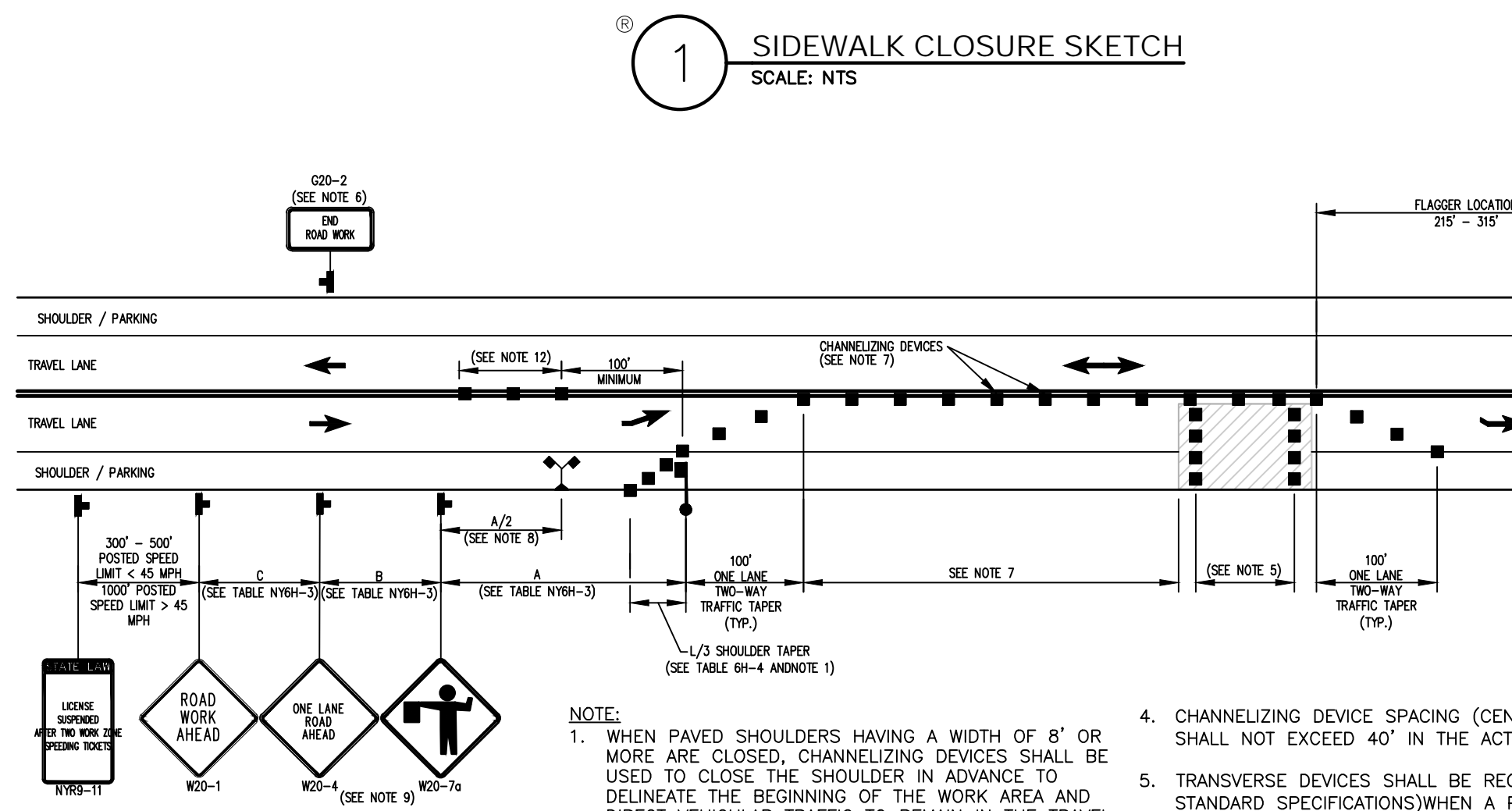
LATERAL SHFT OF TRAFFIC FLOW PATH	TABLE 6H-4 FORMULAS FOR DETERMINING TAPER LENGTHS									
	(25 MPH)	(30 MPH)	(35 MPH)	(40 MPH)	(45 MPH)	(50 MPH)	(55 MPH)	(60 MPH)	(65 MPH)	(70 MPH)
4	45	60	85	110	180	200	220	240	260	280
5	55	75	105	135	225	250	275	300	325	350
6	65	90	125	160	270	300	330	360	390	420
7	75	105	145	190	315	350	385	420	455	490
8	85	120	165	215	360	400	440	480	520	560
9	95	135	185	240	405	450	495	540	585	630
10	105	150	205	270	450	500	550	600	650	700
11	115	165	225	295	495	550	605	660	715	770
12	125	180	245	320	540	600	660	720	780	840

IF WARRANTED CONTRACTOR CAN SUBMIT ALTERNATE M&PT PLANS TO FACILITATE CONSTRUCTION ACTIVITIES TO THE CITY & THE ENGINEER FOR REVIEW & APPROVAL PRIOR TO START OF CONSTRUCTION.

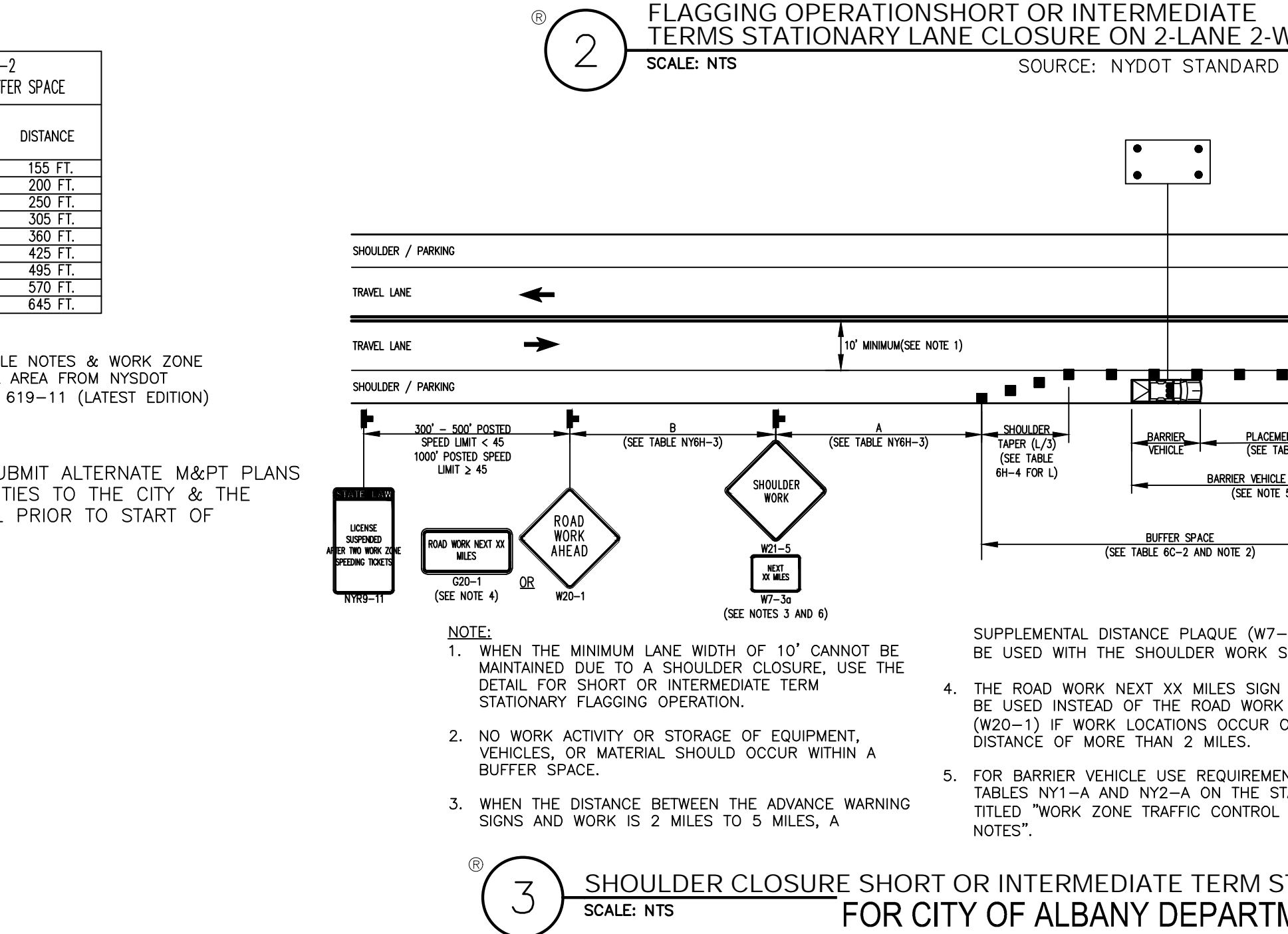


LEGEND:
 [Symbol] TEMPORARY CONSTRUCTION SIGN
 [Symbol] TEMPORARY CONSTRUCTION PARTITION (WOODOCK MODEL 2001M)
 [Symbol] TEMPORARY ASPHALT CURB RAMP
 [Symbol] TYPE A FLASHING LIGHT
 [Symbol] CONSTRUCTION PARTITION
 [Symbol] WORK AREA

NOTE:
 SURFACE CONDITIONS OF ALL TEMPORARY PEDESTRIAN ACCESS ROUTES SHALL AT A MINIMUM, BE A STABLE, FIRM, AND SLIP RESISTANT ALL WEATHER COMPACTED GRAVEL SURFACE OR OTHER MATERIAL CAPABLE OF MEETING ADAAG REQUIREMENTS.
 CONTRACTOR SHALL CLOSE & DETOUR SIDEWALKS AS NECESSARY TO FACILITATE CONSTRUCTION ACTIVITIES AS LONG AS THE CLOSURES DO NOT AFFECT THE EXISTING RESIDENCES ACCESS ON & AROUND THE SITE TO THEIR HOMES.
 ALL SIDE WALK LANE AND OR ROAD CLOSURES SHALL BE COORDINATED WITH THE CITY OF ALBANY.



- 1. WHEN PAVED SHOULDERS HAVING A WIDTH OF 8' OR MORE ARE CLOSED, CHANNELIZING DEVICES SHALL BE USED TO CLOSE THE SHOULDER IN ADVANCE TO DELINEATE THE BEGINNING OF THE WORK AREA AND DIRECT VEHICULAR TRAFFIC TO REMAIN IN THE TRAVEL WAY.
- 2. WHEN A SIDE ROAD OR DRIVEWAY INTERSECTS THE ROADWAY WITHIN A WORK ZONE TRAFFIC CONTROL AREA, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES AND/OR FLAGGERS SHALL BE PLACED AS NEEDED. ADDITIONAL FLAGGERS SHALL BE LOCATED AT ALL INTERSECTIONS AND COMMERCIAL DRIVEWAYS LOCATED WITHIN OR NEAR THE ACTIVE WORK SPACE.
- 3. NO WORK ACTIVITY, EQUIPMENT, OR STORAGE OF VEHICLES, OR MATERIAL SHALL OCCUR WITHIN THE BUFFER SPACE AT ANY TIME.
- 4. CHANNELIZING DEVICE SPACING (CENTER TO CENTER) SHALL NOT EXCEED 40' IN THE ACTIVE WORK SPACE.
- 5. TRANSVERSE DEVICES SHALL BE REQUIRED (AS PER 619 STANDARD SPECIFICATIONS) WHEN A PAVED SHOULDER HAVING A WIDTH OF 8' OR GREATER IS CLOSED FOR A DISTANCE GREATER THAN 1500'.
- 6. THE END ROAD WORK SIGN (G20-2) SHALL BE PLACED A MAXIMUM OF 500' PAST THE END OF THE WORK SPACE.
- 7. WHERE DIRECTED BY THE ENGINEER, A BUFFER SPACE SHALL BE PROVIDED IN ORDER TO LOCATE THE ONE-LANE, TWO-WAY TRAFFIC TAPER PRIOR TO ANY HORIZONTAL OR VERTICAL CURVE, IN ORDER TO PROVIDE ADEQUATE SIGHT DISTANCE FOR THE FLAGGERS AND/OR A QUEUE OF STOPPED VEHICLES.
- 8. THE FLAG TREE SHALL BE LOCATED ON THE SHOULDER, AT APPROXIMATELY THE DISTANCE BETWEEN THE FLAGGER SIGN (W20-7A) AND THE FLAGGER.
- 9. FLAGGER SIGN (W20-7A) AND ONE LANE ROAD AHEAD SIGN (W20-4) SHALL BE REMOVED, COVERED OR TURNED AWAY FROM ROAD USERS WHEN FLAGGING OPERATIONS ARE NOT OCCURRING.
- 10. FLAGGER AND FLAG TREE SHALL BE ILLUMINATED TO LEVEL II ILLUMINATION DURING NIGHT TIME OPERATIONS.
- 11. ALL FLAGGERS SHALL USE 24" (MIN.) OCTAGON SHAPED STOP/SLOW PADDLES HAVING 6" STAFF.
- 12. CENTERLINE CHANNELIZING DEVICES ARE OPTIONAL AND MAY BE ELIMINATED WHERE SPACE CONSTRAINTS EXIST.



TABLES, TABLE NOTES & WORK ZONE TRAFFIC CONTROL AREA FROM NYSOT STANDARD SHEET 619-11 (LATEST EDITION)

SIGNAGE COLOR CODE LEGEND

CODE	DESCRIPTION	SYMBOL
A	BLACK LEGEND AND BORDER ON A ORANGE BACKGROUND	[Symbol]
B	BLACK LEGEND AND BORDER ON A WHITE BACKGROUND	[Symbol]
C	WHITE LEGEND AND BORDER ON A GREEN BACKGROUND	[Symbol]
D	WHITE LEGEND AND BORDER ON A RED BACKGROUND	[Symbol]
E	RED LEGEND AND BORDER ON A WHITE BACKGROUND	[Symbol]
F	BLACK LEGEND AND BORDER ON A FLORESCENT YELLOWGREEN BACKGROUND	[Symbol]

WORK ZONE TRAFFIC CONTROL LEGEND

SYMBOL	DESCRIPTION
[Symbol]	ARROW PANEL
[Symbol]	ARROW PANEL, CAUTION MODE
[Symbol]	ARROW PANEL TRAILER OR SUPPORT
[Symbol]	CHANGEABLE MESSAGE SIGN (PMS)
[Symbol]	CHANNELIZING DEVICE
[Symbol]	CRASH CUSHION/TEMPORARY IMPACT ATTENUATOR
[Symbol]	DIRECTION OF TEMPORARY TRAFFIC DETOUR
[Symbol]	DIRECTION OF TRAFFIC
[Symbol]	FLAGGER
[Symbol]	FLAG TREE
[Symbol]	LUMINAIRE
[Symbol]	PAVEMENT MARKINGS THAT SHALL BE REMOVED FOR A LONG TERM PROJECT
[Symbol]	SIGN, TEMPORARY
[Symbol]	TEMPORARY BARRIER
[Symbol]	TEMPORARY BARRIER WITH WARNING LIGHTS
[Symbol]	TRAFFIC OR PEDESTRIAN SIGNAL
[Symbol]	TYPE III BARRICADE
[Symbol]	WARNING LIGHTS
[Symbol]	WORK SPACE
[Symbol]	WORK VEHICLE
[Symbol]	WORK VEHICLE WITH TRUCK MOUNTED ATTENUATOR

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect: Garrison-Architects
 45 Main Street
 Brooklyn, NY 11201

Civil Engineer: The Chazen Companies
 547 River St.
 Troy, NY 12180
 p (518) 273-0055
 Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
 Date: 12/8/2020
 Project No: 2005
 Drawn by: KC/SM
 Checked by: RK

Seal & Signature:



DOB Stamp & Signature

DOB Scan:

Work Zone Traffic Control Details & Notes

Drawing Number: C-508

DWG.No:

THE SEVENTY-SIX

Parcel 76, 76 Second Avenue, City of Albany, NY

Owner: South End Development LLC

Architect:
Garrison-Architects
45 Main Street
Brooklyn, NY 11201

Civil Engineer:
The Chazen Companies
547 River St.
Troy, NY 12180
p (518) 273-0055
Chazen Project No. 32019.00

Revision Schedule

Revision Number	Revision Description	Revision Date

PLANNING SUBMISSION SET

Scale: AS NOTED
Date: 12/8/2020
Project No: 2005
Drawn by: KC/SM
Checked by: RK

Seal & Signature:



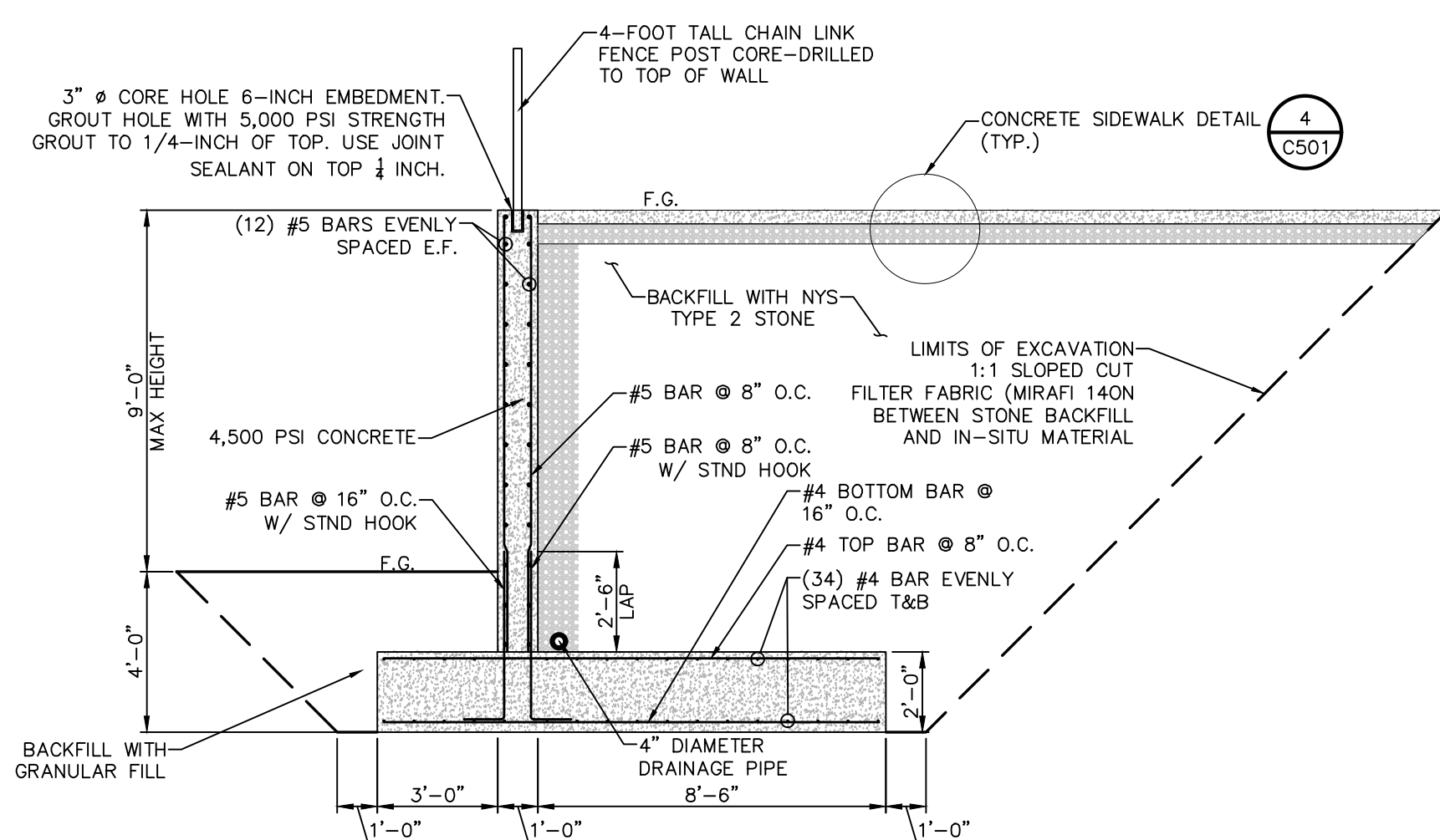
DOB Stamp & Signature

DOB Scan:

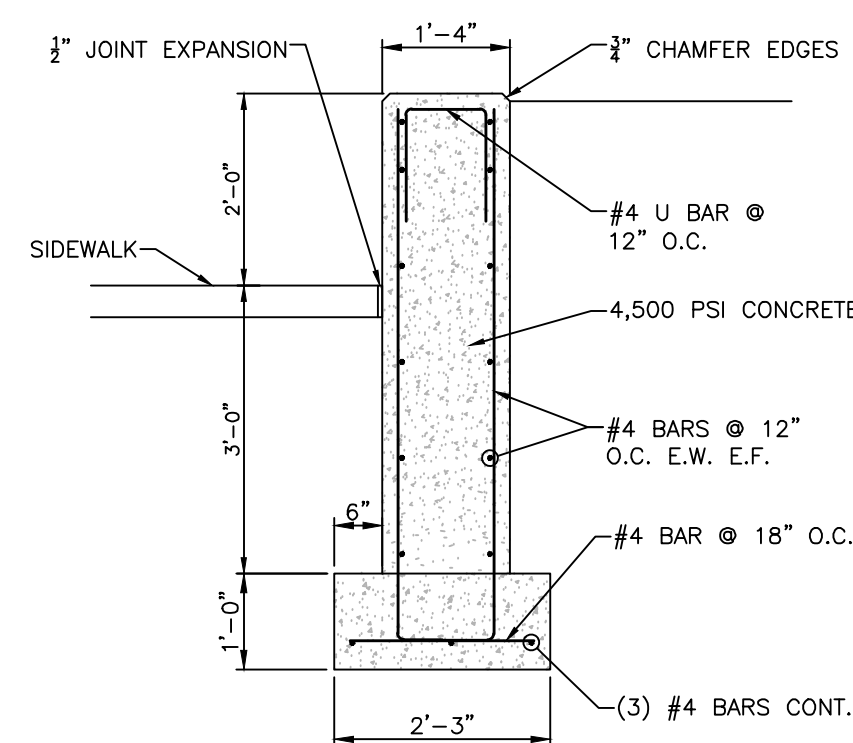
Drawing Title:
Retaining Wall Details

Drawing Number:
C-509

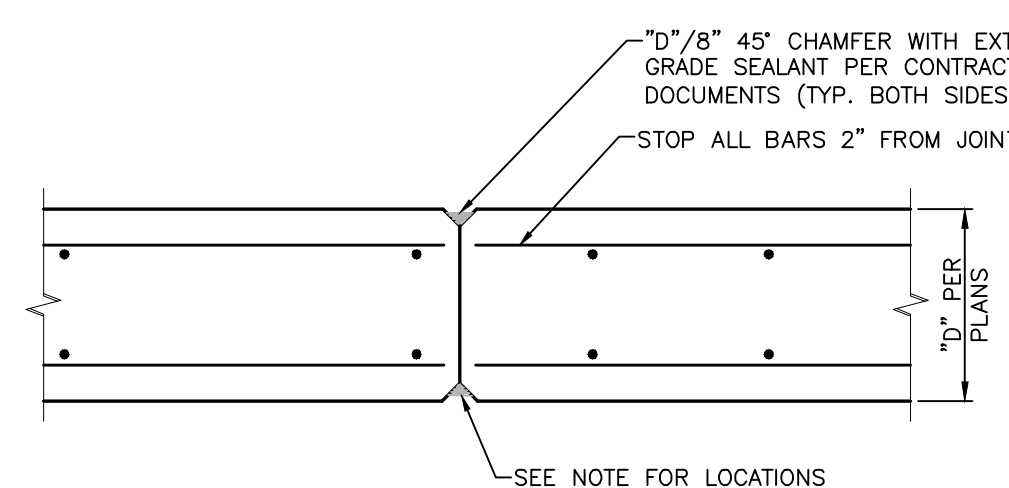
DWG.No:



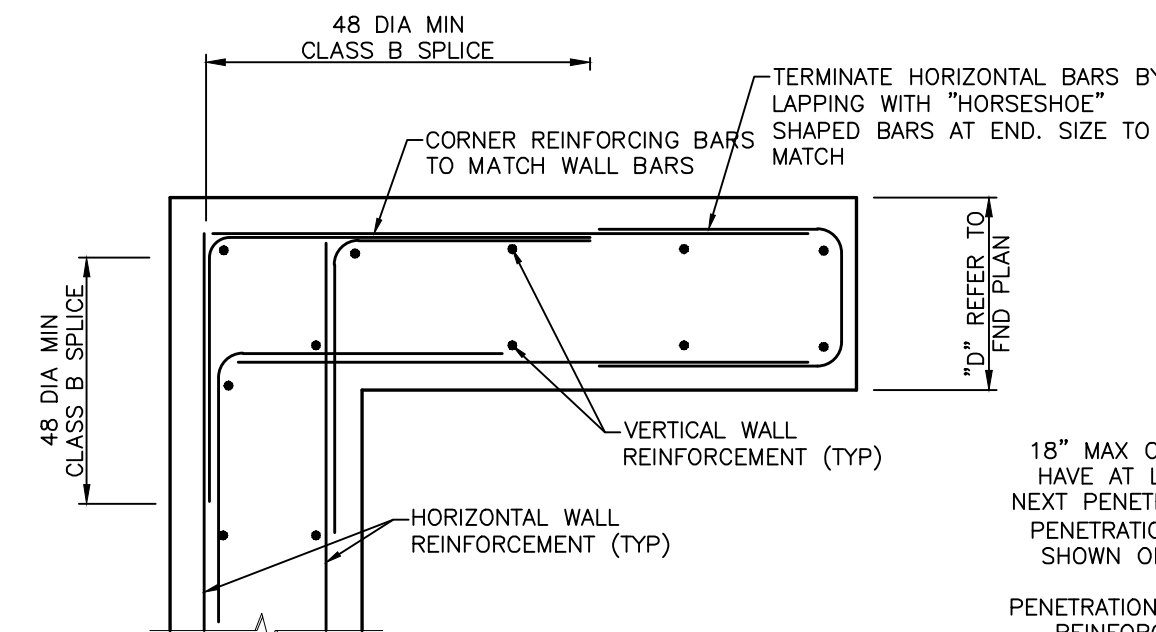
1 TYPICAL REINFORCED CAST-IN-PLACE CONCRETE RETAINING WALL SECTION
SCALE: 1/4"=1'-0"



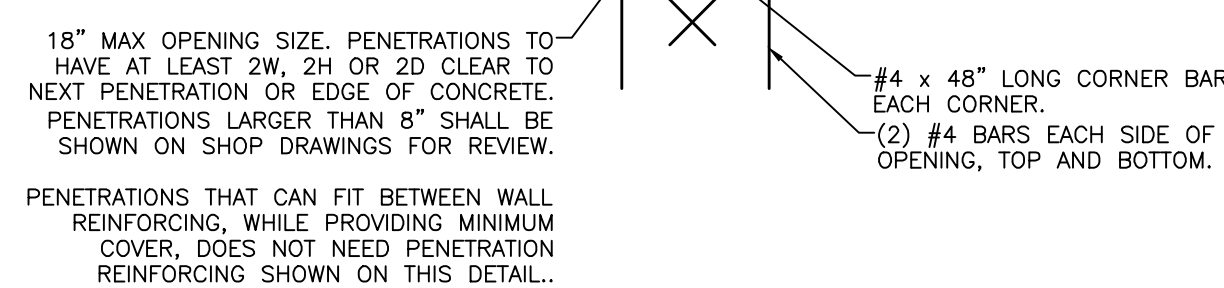
2 TYPICAL SEAT WALL SECTION
SCALE: 1/2"=1'-0"



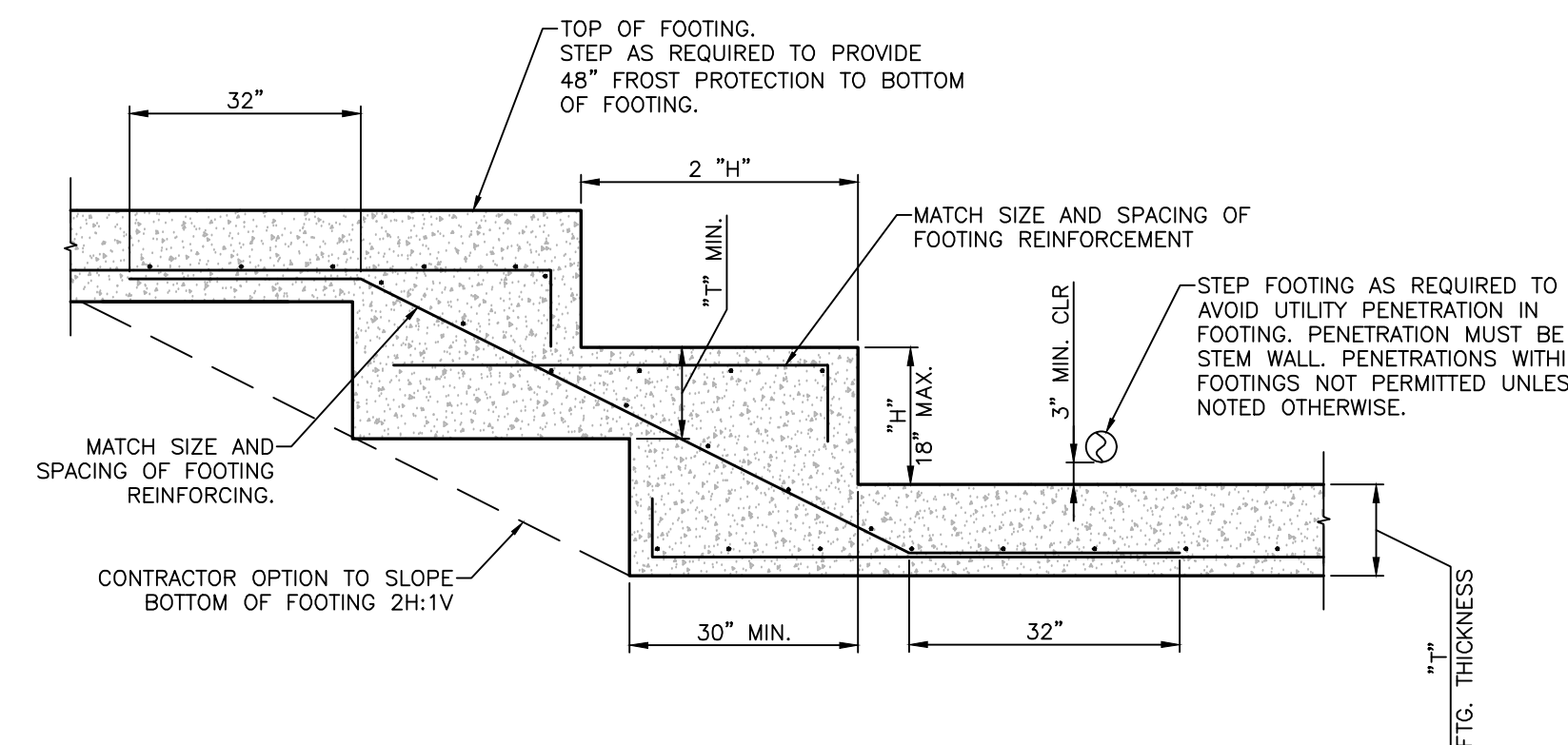
3 TYPICAL WALL JOINTS
SCALE: 1/2"=1'-0"



4 TYPICAL CORNER REINFORCEMENT
SCALE: 1/2"=1'-0"



5 TYPICAL PENETRATION
SCALE: 1/2"=1'-0"



6 TYPICAL FOOTING STEP
SCALE: 1/2"=1'-0"

FOR CITY OF ALBANY DEPARTMENT APPROVAL - NOT FOR CONSTRUCTION