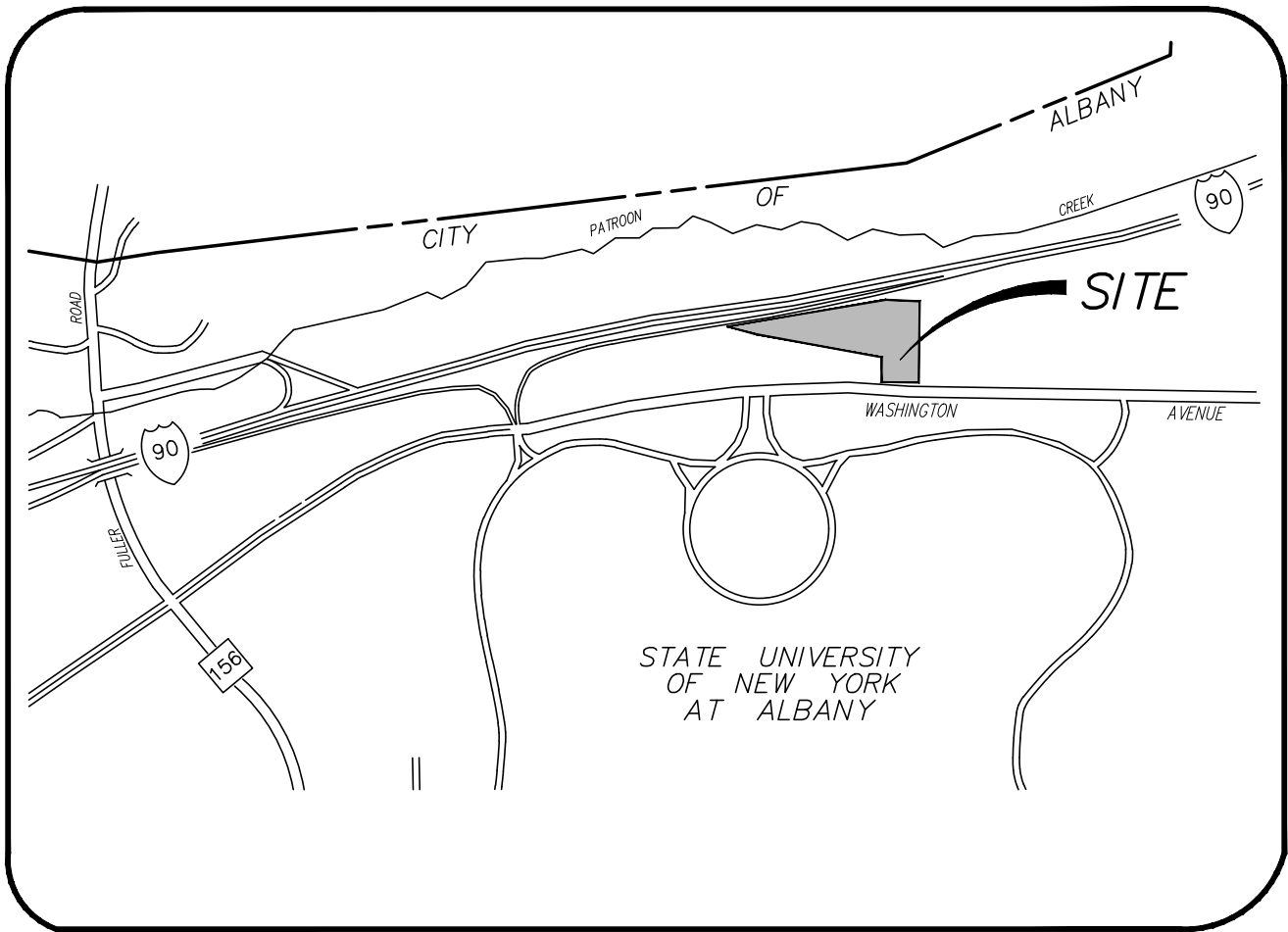
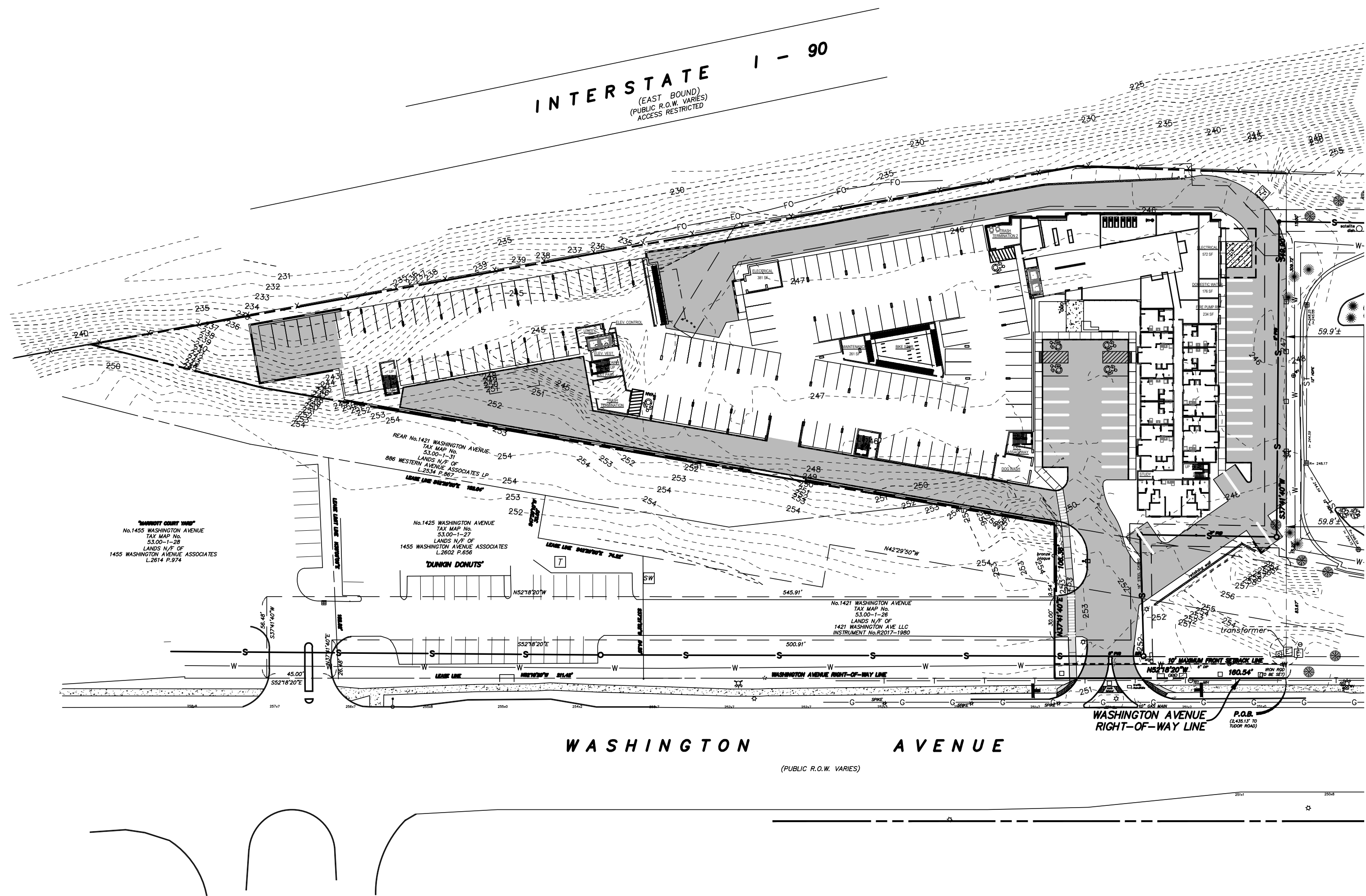
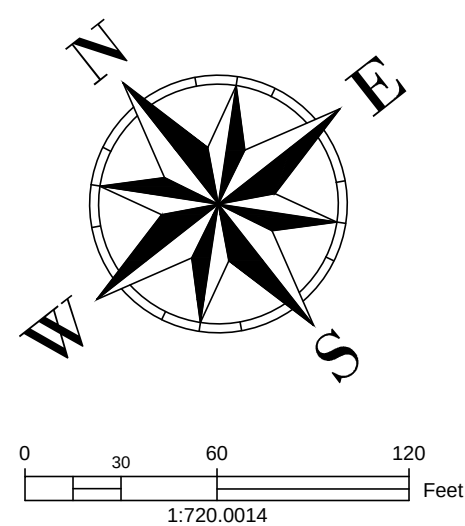
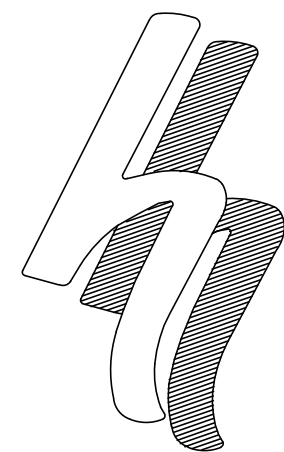


STUDENT HOUSING
1415 WASHINGTON AVENUE
CITY OF ALBANY, NEW YORK STATE



VICINITY MAP
MAP NOT TO SCALE

DRAWING INDEX	
DRAWING INDEX	SHEET NAME
TITLE	TITLE SHEET
C1	EXISTING CONDITIONS AND DEMOLITION PLAN
C2	SITE PLAN
C3	PARKING PLAN
C4	WATER MAIN PLAN/PROFILE AND DETAILS
C5	SANITARY SEWER PLAN/PROFILE AND DETAILS
C6	STORM WATER POLLUTION PREVENTION PLAN
C7	SWPPP DETAILS AND PROFILES
C8	EROSION AND SEDIMENT CONTROL PLAN
C9	EROSION AND SEDIMENT CONTROL PLAN
C10	SITE DETAILS
C11	LIGHTING PLAN
C12	MAINTENANCE AND PROTECTION OF TRAFFIC PLAN
C13	TRUCK ROUTING PLAN
C14	LANDSCAPING PLAN
C15	COURTYARD'S LANDSCAPING PLAN



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Albany, New York 12203

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REMARKS	DATE
FULL SET OF PLANS	10/16/20
GENERAL REVISIONS	6/6/21
RESPONSE REVISIONS	7/13/21
GENERAL REVISIONS	8/4/21
AND COMMENTS DATED	8/20/21
COMMENT REVISIONS	10/25/21

TITLE SHEET
1415 WASHINGTON AVENUE
CITY OF ALBANY
COUNTY OF ALBANY, STATE OF NEW YORK

FILE: 200015
SCALE: AS NOTED
BY: MM
CHK: DRH
DATE: 1/24/2020
200015-5.DWG

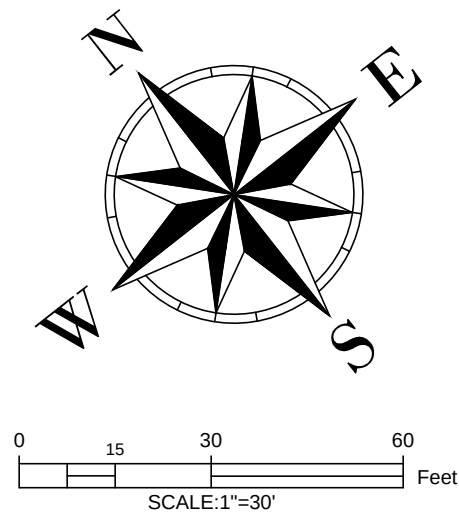
TITLE

LEGEND

R.O.W.	RIGHT OF WAY	MONUMENT
No.	NUMBER	IRON ROD
enc.	ENCROACHMENT	
P.O.B.	POINT OF BEGINNING	
S.F.	SQUARE FEET	
N/F	NOW OR FORMERLY	
FL	FEET	
Deg.	DEGREE	
R	RECORD	
M	MEASURED	
N	NORTH	
S	SOUTH	
E	EAST	
W	WEST	
tel.	TELEPHONE	
elec.	ELECTRIC	
L	LIBER	
P.	PAGE	
W	WATER LINE	
ST	STORM LINE	
S	SEWER LINE	
G	GAS LINE	
UE	UNDERGROUND ELECTRIC	
FO	FIBEROPTIC LINE	
		CONCRETE
		PAVEMENT
		MANHOLE
		CATCHBASIN
		SIGN
		BOLLARD
		FENCE LINE
		GUARD RAIL
		OVERHEAD WIRE, UTILITY POLE & GUY WIRE
		TRAFFIC FLOW ACCESS AREA
		WATER SHUT OFF
		WATER VALVE
		HYDRANT
		GAS VALVE
		GAS TEST
		GAS DRIP
		STREET LIGHT
		LIGHT POLE

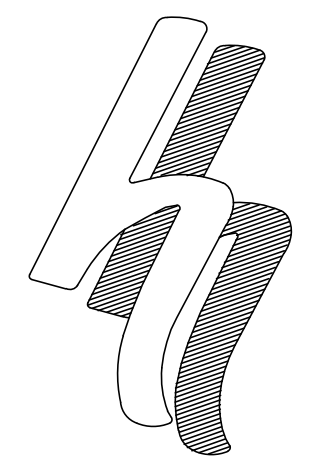
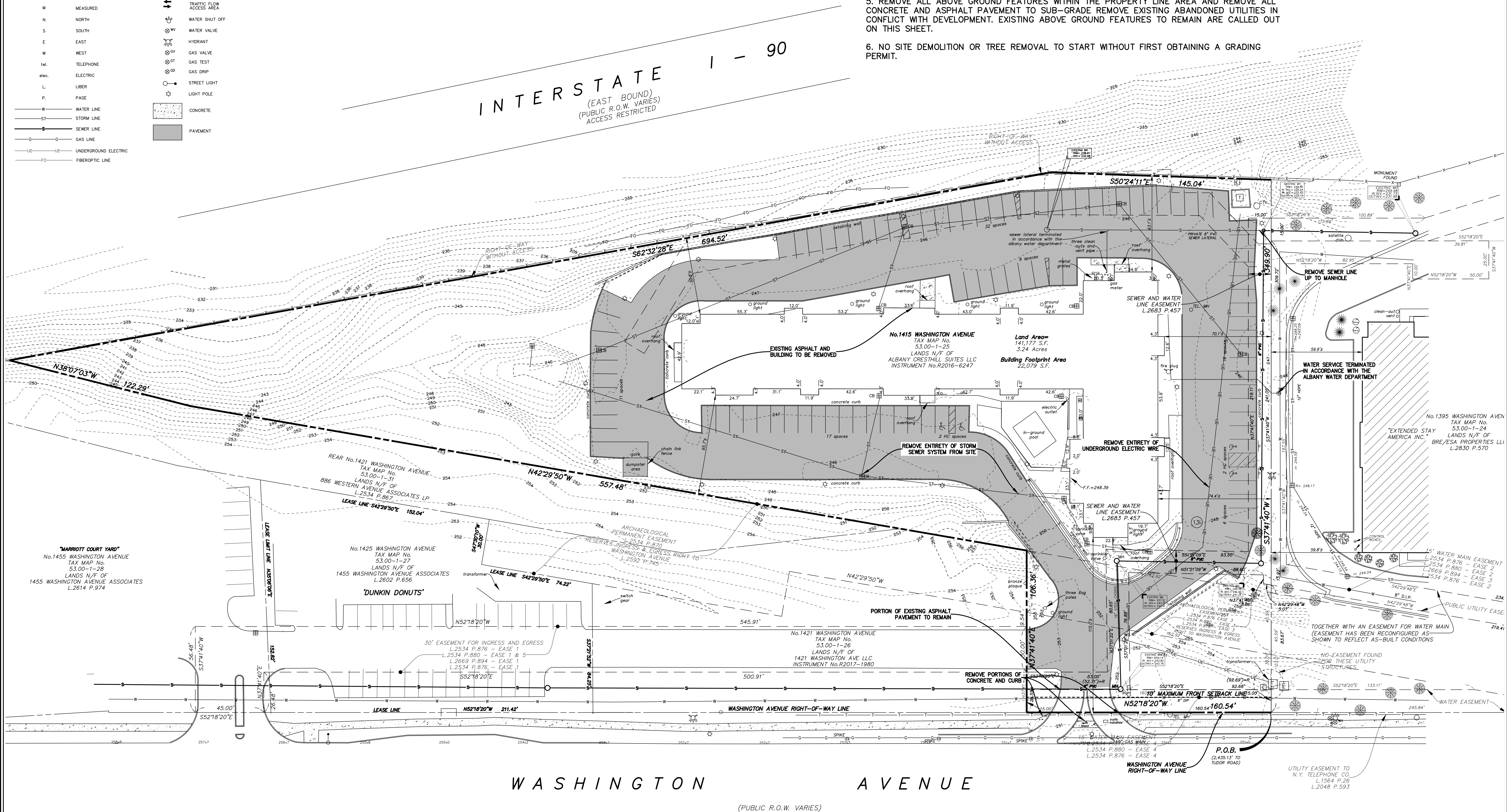
MAP REFERENCES

- 1.) "AS BUILT WATER & SEWER Nos. 1395-1475 WASHINGTON AVENUE, ALBANY, NY" PREPARED BY HERSHBERG & HERSHBERG CONSULTING ENGINEERS & LAND SURVEYORS, DATED 11/05/96, LAST REVISED 1/31/97.
- 2.) "MAP SHOWING PROPERTY LINE AND EASEMENTS OF No. 1395 WASHINGTON AVENUE, EXTENDED STAY AMERICA, INC.", PREPARED BY HERSHBERG & HERSHBERG ON 4/13/96, LAST REVISED 5/7/96.
- 3.) ALTA SURVEY PREPARED BY HERSHBERG & HERSHBERG AS FILE No. 190321. SEE SURVEY FOR ALL SCHEDULE B ITEMS REFERENCED ON THIS PLAN.
- 4.) TOPOGRAPHIC INFORMATION SHOWN OBTAINED BY A FIELD SURVEY PERFORMED IN MARCH 2020



DEMOLITION NOTES

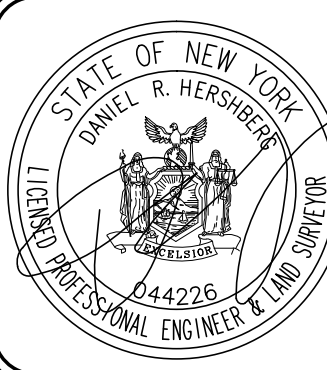
1. COORDINATE ALL REMOVALS WITH CONSTRUCTION SCHEDULE AND OWNER. MAINTAIN OPERATION OF EXISTING FACILITY THROUGHOUT CONSTRUCTION.
2. ALL EXISTING WATER SERVICES AND SEWER LATERALS SHALL BE ABANDONED IN ACCORDANCE WITH THE CITY OF ALBANY. REMOVE, PLUG AND CAP AS REQUIRED BY THE CITY OF ALBANY.
3. VERIFY ALL UTILITIES WHICH HAVE BEEN ABANDONED ARE NOT ACTIVE. RECONNECT ANY ACTIVE UTILITY LINES FOUND.
4. ALL EXISTING BUILDINGS TO BE DEMOLISHED SHALL HAVE THE FOUNDATIONS REMOVED IN THEIR ENTIRETY.
5. REMOVE ALL ABOVE GROUND FEATURES WITHIN THE PROPERTY LINE AREA AND REMOVE ALL CONCRETE AND ASPHALT PAVEMENT TO SUB-GRADE REMOVE EXISTING ABANDONED UTILITIES IN CONFLICT WITH DEVELOPMENT. EXISTING ABOVE GROUND FEATURES TO REMAIN ARE CALLED OUT ON THIS SHEET.
6. NO SITE DEMOLITION OR TREE REMOVAL TO START WITHOUT FIRST OBTAINING A GRADING PERMIT.



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Albany, New York 12203

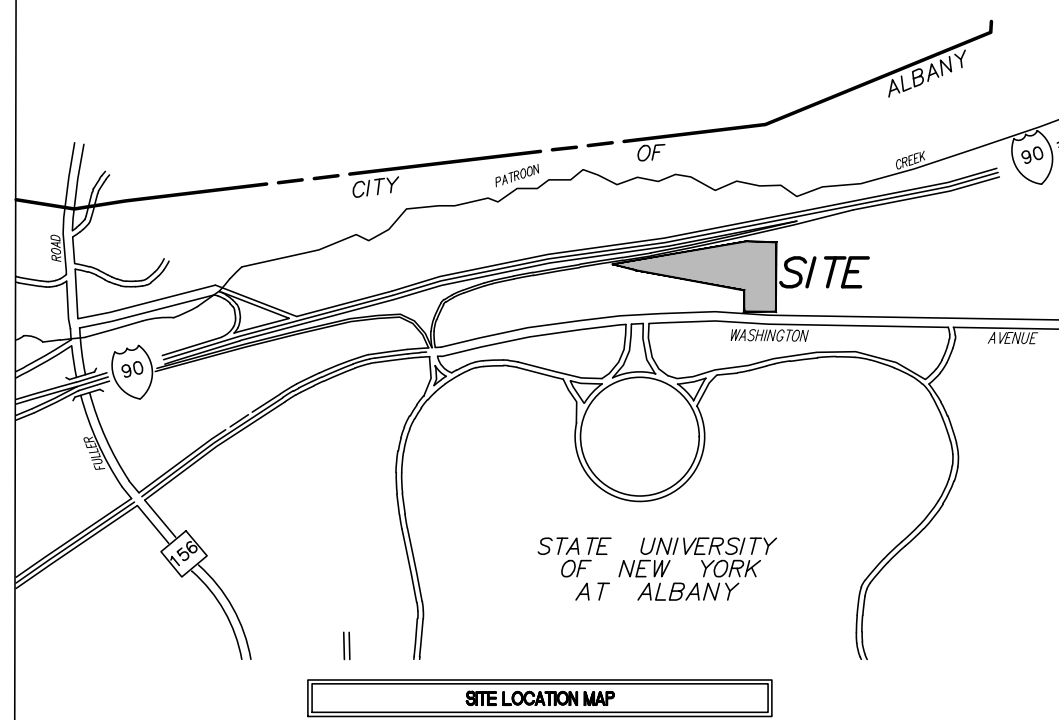
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SURVEYOR, IS ILLEGAL



REVISIONS	DATE	REMARKS
RESPONSE REVISIONS	12/30/20	
GENERAL REVISIONS	6/8/21	
RESPONSE REVISIONS	7/12/21	
GENERAL REVISIONS	8/11/21	
LAND COMMENTS DATED	8/20/21	
COMMENT REVISIONS	10/25/21	

EXISTING CONDITIONS AND DEMOLITION PLAN
1415 WASHINGTON AVENUE
CITY OF ALBANY
COUNTY OF ALBANY, STATE OF NEW YORK

SCALE: AS NOTED
DATE: 1/24/2020
CHK: DRH
BY: MM
FILE: 200015



CITY OF ALBANY NOTES

SITE REQUIREMENTS:

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE FOLLOWING:

THE REMOVAL AND REPLACING OF ALL EXISTING SIDEWALKS, CURBS, STREET PAVEMENT, TREES, BRICK PAVERS, AND SHRUBBERY DAMAGED DURING THE COURSE OF THIS PROJECT AND WITHIN THE FULL LIMITATIONS OF THE PROJECT.

IT WILL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL METHODS AVAILABLE HAVE BEEN TAKEN TO PROTECT ALL THE AFOREMENTIONED ENTITIES BEFORE CONSTRUCTION WORK BEGINS.

IF AT ANY TIME DURING SAID CONSTRUCTION, THE CITY ENGINEER OR HIS REPRESENTATIVE DEEM THAT ANY AND/OR ALL PORTIONS OF SIDEWALK, CURB PAVEMENT AND/OR ANY OTHER APPURTENANCES HAVE BEEN DAMAGED BY EITHER THE GENERAL CONTRACTOR OR ANY OF HIS SUB-CONTRACTORS, IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE ALL REPAIRS AND/OR CORRECTIONS TO SAID AREAS WITHOUT ANY COST TO THE CITY OF ALBANY.

PERMIT REQUIREMENTS:

THE GENERAL CONTRACTOR, PRIOR TO BEGINNING ANY WORK ON SAID PROJECT, WILL PROCURE THE FOLLOWING PERMITS WHERE APPLICABLE:

*ENGINEERING DEPARTMENT *DEPARTMENT OF GENERAL SERVICES
*GRADING AND MINING *CURB CUT APPLICATION
*SANITARY/STORM SEWER *SIDEWALK/CURB RESTORATION
*RETAINING WALL *STREET RESTORATION
*WATER DEPARTMENT *WATER SERVICE

THE CONTRACTOR WILL PROCURE BEFORE BEGINNING OF CONSTRUCTION ALL REQUIRED PERMITS LIABILITY INSURANCE FOR \$1,000,000.00 AND A PERFORMANCE BOND AS ASSESSED BY CITY ENGINEER. BOND AND LIABILITY INSURANCE TO BE SUBMITTED TO THE ENGINEERING DEPARTMENT BEFORE THE GENERAL CONTRACTOR INTENDS TO BEGIN ANY SITE ACTIVATION.

THE CONTRACTOR WILL NOTIFY THE ENGINEERING DEPARTMENT FORTY-EIGHT (48) HOURS PRIOR TO PERFORMING ALL UTILITY OR SITE RESTORATION WORK. FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT BEFORE BEGINNING WORK COULD RESULT IN A ONE HUNDRED DOLLAR (\$100.00) FINE FOR EACH DAY THE OFFENSE OCCURS.

THE CONTRACTOR WILL NOTIFY THE DEPARTMENT OF WATER AND WATER SUPPLY FORTY-EIGHT (48) HOURS PRIOR TO SCHEDULE AN INSPECTION FOR WATER, SANITARY AND STORM UTILITY WORK.

NOTES

1. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT AND A STREET ACCESS APPLICATION (CURB-CUT) FROM THE DEPARTMENT OF GENERAL SERVICES FOR ANY WORK WITHIN THE CITY'S ROW. CONTACT GARY BOHL AT 518-462-3529

2. A GRADING PERMIT IS REQUIRED. CONTRACTOR TO CONTACT PATRICK MCCUTCHEON, ENGINEERING DEPARTMENT (518-434-2387) FOR APPLICATION AND REVIEW.

3. THERE SHALL NOT BE CONSTRUCTION VEHICLE PARKING ON EITHER SIDE OF WASHINGTON AVENUE. CONTRACTORS MUST PROVIDE ON-SITE OR OFF-SITE PARKING FOR EMPLOYEES DURING CONSTRUCTION.

4. PROPERTY LINE STAKES WITH OFFSETS TO BE PLACED PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED UNTIL PERMANENT IRONS PINS ARE INSTALLED.

5. WORK PERMIT FROM NYSOT MAY BE NECESSARY FOR PERFORMING PORTIONS OF THE WORK SHOWN. OWNER SHALL BE RESPONSIBLE TO NOTIFY NYSOT OF IMPENDING WORK AND OBTAIN THE PERMITS IF REQUIRED.

6. BOND TO THE CITY OF ALBANY WILL BE REQUIRED FOR ALL SITE WORK WITH THE APPLICATION OF THE GRADING PERMIT.

7. PROVIDE A LOCKABLE SNOW GATE IN FALL PROTECTION FENCE AT TOP OF WALL.

EXISTING SITE COVERAGE STATISTICS

description	s.f.	acres	%
gross site area	141,177	3.24	100.00
impervious area	79,792	1.83	56.5
building area	22,079	0.50	15.5
pavement/sidewalk area	57,713	1.33	41.0
grass area	61,385	1.41	43.5

PROPOSED SITE COVERAGE STATISTICS

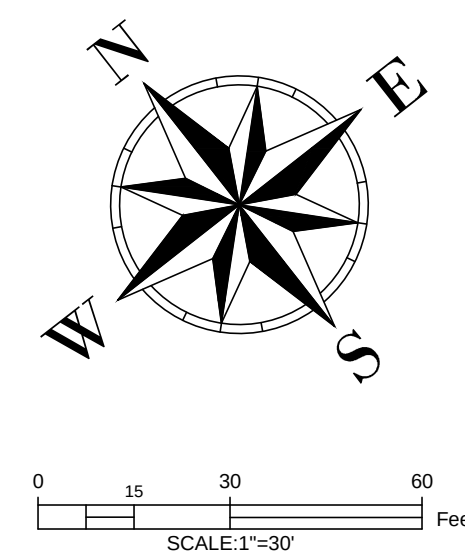
description	s.f.	acres	%
gross site area	141,177	3.24	100.00
impervious area	109,303	2.51	77.4
building coverage	60,740	1.39	43.0
pavement/sidewalk area	48,563	1.12	34.4
grass area	31,874	0.73	22.6

RECREATION SPACE TABLE

description	requirement	quantity	# required
dwelling, multi family	10% of site area	121,116	12,112 sf
area 1: outdoor deck			4,625 sf
area 2: lawn			1,766 sf
TOTAL			6,391 sf

LEGEND

R.O.W.	RIGHT OF WAY	MONUMENT
No.	NUMBER	IRON ROD
enc.	ENCROACHMENT	MANHOLE
P.O.B.	POINT OF BEGINNING	CATCHBASIN
S.F.	SQUARE FEET	SIGN
N/F	NOW OR FORMERLY	BOLLARD
ft.	FEET	FENCE LINE
Dep.	DEGREE	GUARD RAIL
R	RECORD	OVERHEAD WIRE, UTILITY POLE & GUY WIRE
M	MEASURED	TRAFFIC FLOW ACCESS AREA
N	NORTH	WATER SHUT OFF
S	SOUTH	WATER VALVE
E	EAST	HYDRANT
W	WEST	GAS VALVE
tel.	TELEPHONE	GAS TEST
elec.	ELECTRIC	GAS DRIP
L	LIBER	STREET LIGHT
P.	PAGE	LIGHT POLE
W	WATER LINE	CONCRETE
ST	STORM LINE	ASPHALT
S	SEWER LINE	
G	GAS LINE	
UE	UNDERGROUND ELECTRIC	
ST	NEW STORM SEWER	
RD	NEW ROOF DRAIN	
W	NEW SANITARY SEWER LATERAL	
W	NEW WATER SERVICE	

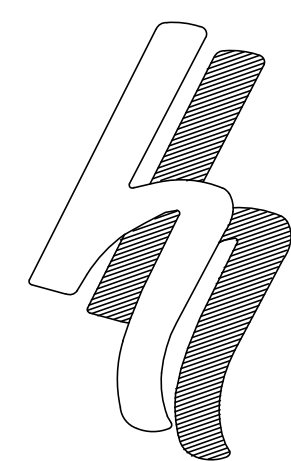
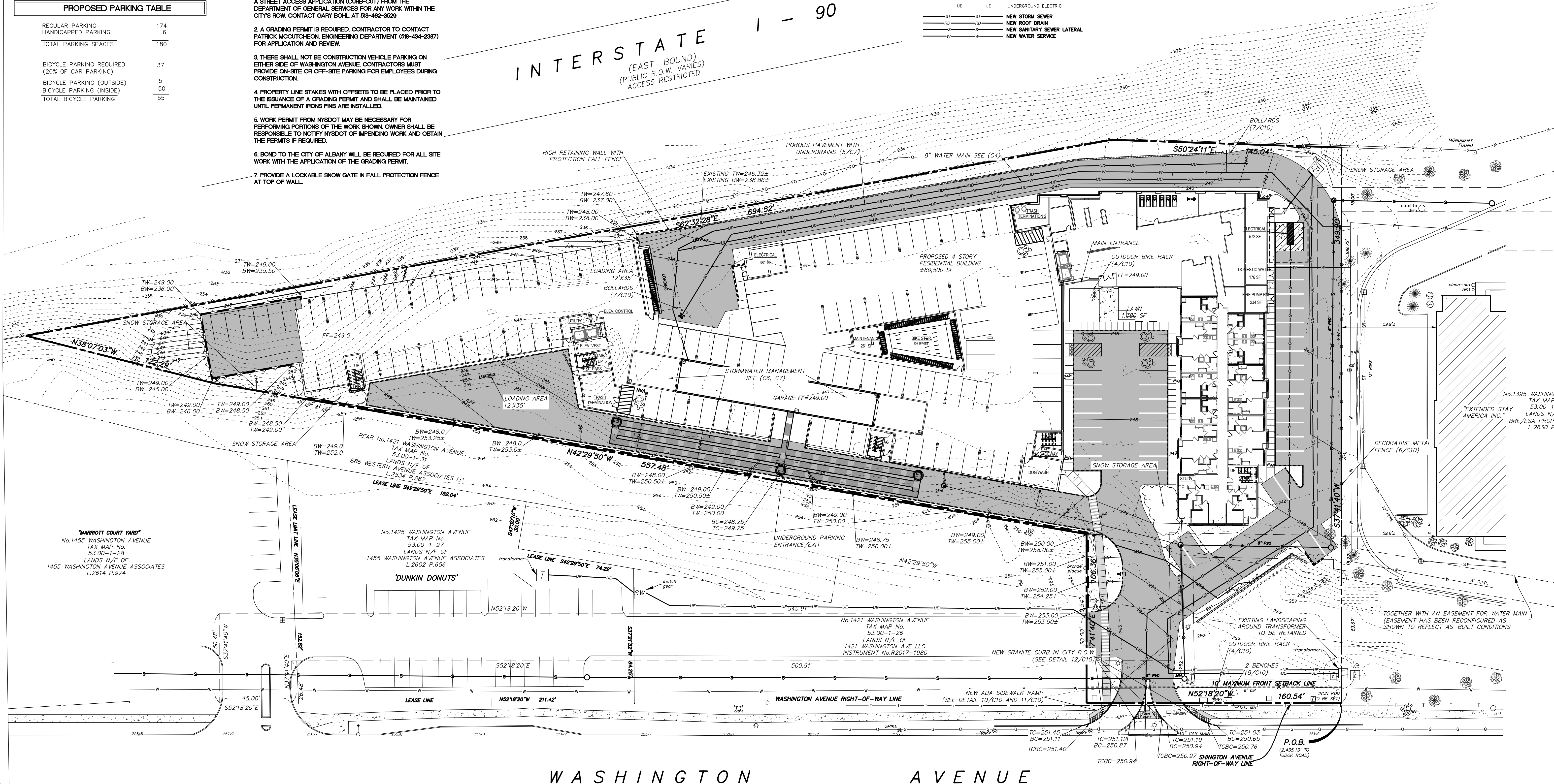


ZONING INFORMATION

MU-CU MIXED-USE COMMUNITY URBAN
MIN. LOT WIDTH 20 FEET
MAX. FRONT YARD 10 FEET
MIN. SIDE YARD NONE
MIN. REAR YARD 0 FEET
MAX. LOT COVERAGE 90%
ZONING INFORMATION ADOPTED FROM: CITY OF ALBANY, N.Y. ADOPTED USDO ZONING REPORT

PROPOSED PARKING TABLE

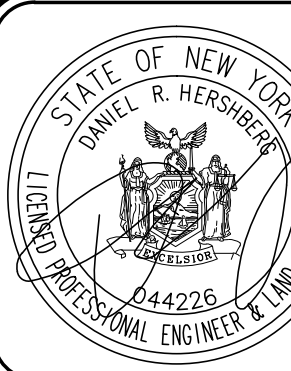
REGULAR PARKING	174
HANDICAPPED PARKING	6
TOTAL PARKING SPACES	180
BICYCLE PARKING REQUIRED (20% OF CAR PARKING)	37
BICYCLE PARKING (OUTSIDE)	5
BICYCLE PARKING (INSIDE)	50
TOTAL BICYCLE PARKING	55



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DATE	REVISIONS
6/6/21	GENERAL REVISIONS
7/12/21	RESPONSE REVISIONS
7/26/21	GENERAL REVISIONS
8/4/21	GENERAL REVISIONS
8/18/21	LAND COMMENTS DATED 8/20/21
10/25/21	COMMENT REVISIONS

SITE PLAN
1415 WASHINGTON AVENUE
CITY OF ALBANY
COUNTY OF ALBANY, STATE OF NEW YORK

DATE: 1/24/2020
CHK: DRH
BY: MM

SCALE: 1"=30'
FILE: 200015

C2/15

ZONING INFORMATION

MU-CU MIXED-USE COMMUNITY URBAN
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MAX. FRONT YARD 10 FEET
MIN. SIDE YARD NONE
MIN. REAR YARD 0 FEET
MAX. LOT COVERAGE 90%
ZONING INFORMATION ADOPTED FROM: CITY OF ALBANY, N.Y. ADOPTED USDO ZONING REPORT

EXISTING PARKING TABLE

REGULAR PARKING	91
HANDICAPPED PARKING	4
TOTAL PARKING SPACES	95

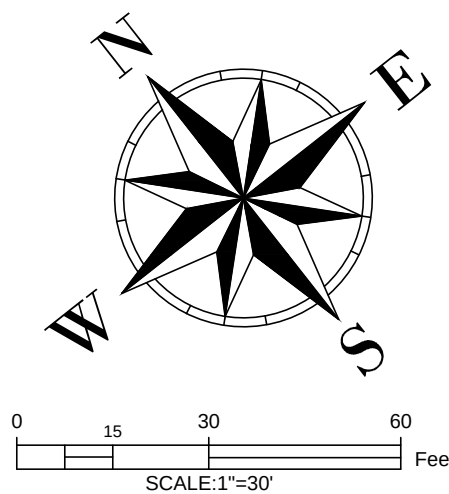
PROPOSED PARKING TABLE

REGULAR PARKING	174
HANDICAPPED PARKING	6
TOTAL PARKING SPACES	180

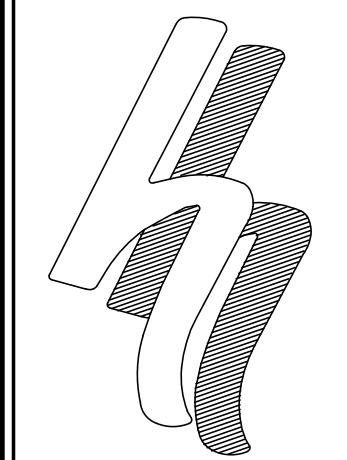
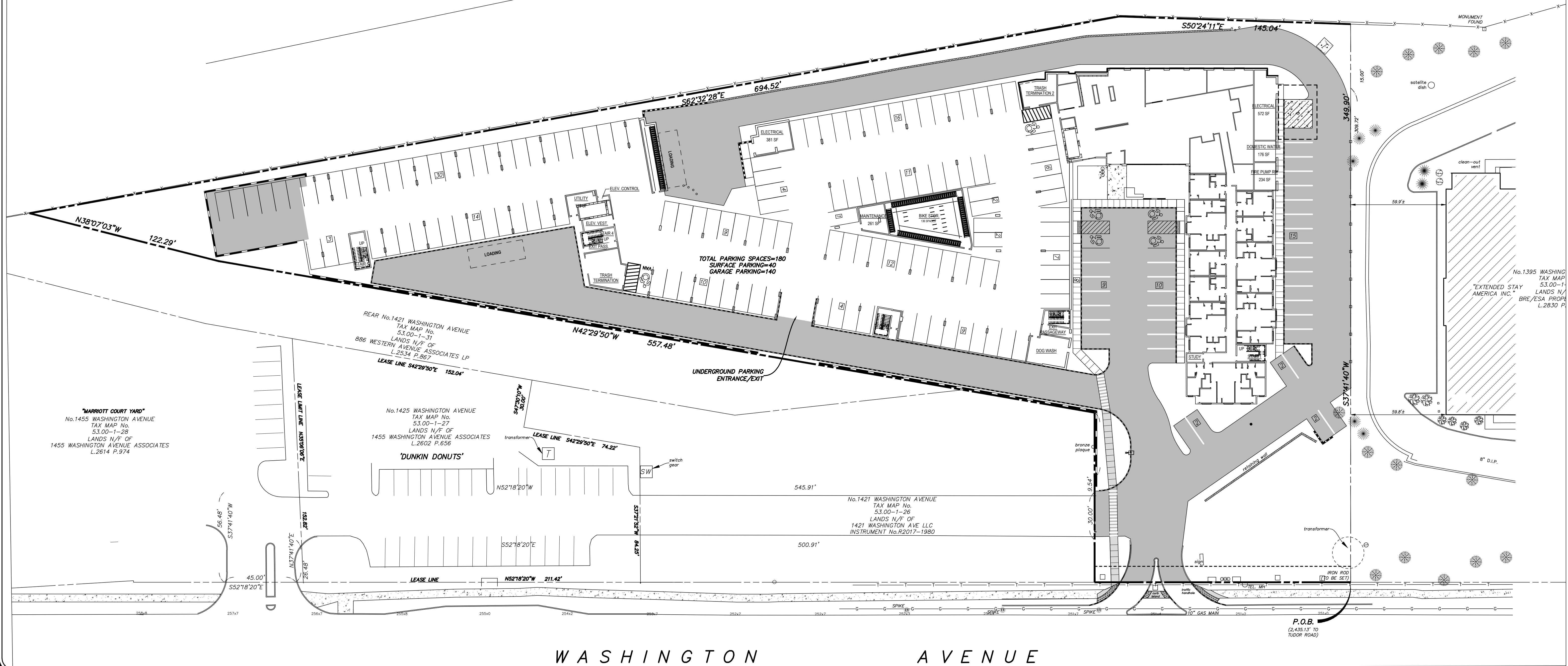
BICYCLE PARKING REQUIRED (20% OF CAR PARKING)	37
BICYCLE PARKING (OUTSIDE)	5
BICYCLE PARKING (INSIDE)	50
TOTAL BICYCLE PARKING	55

LEGEND

R.O.W.	RIGHT OF WAY	□	MONUMENT
No.	NUMBER	○	IRON ROD
enc.	ENCROACHMENT	MH	MANHOLE
P.O.B.	POINT OF BEGINNING	▢	CATCHBASIN
S.F.	SQUARE FEET	—	SIGN
N/F	NOW OR FORMERLY	•	BOLLARD
FL	FEET	—x—	FENCE LINE
Deg.	DEGREE	— —	GUARD RAIL
R	RECORD	— —	OVERHEAD WIRE, UTILITY POLE & GUY WIRE
M	MEASURED	— —	TRAFFIC FLOW ACCESS AREA
N	NORTH	— —	WATER SHUT OFF
S	SOUTH	— —	WATER VALVE
E	EAST	— —	HYDRANT
W	WEST	— —	GAS VALVE
tel.	TELEPHONE	— —	GAS TEST
elec.	ELECTRIC	— —	GAS DRIP
L	LIBER	— —	STREET LIGHT
P	PAGE	— —	LIGHT POLE
—W—	WATER LINE	— —	CONCRETE
—ST—	STORM LINE	— —	ASPHALT
—S—	SEWER LINE		
—G—	GAS LINE		
—UE—	UNDERGROUND ELECTRIC		
—ST—	NEW STORM SEWER		
—RD—	NEW ROOF DRAIN		
—S—	NEW SANITARY SEWER LATERAL		
—W—	NEW WATER SERVICE		

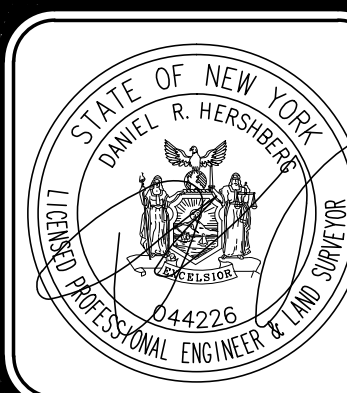


INTERSTATE 1 - 90
(EAST BOUND)
(PUBLIC R.O.W. VARIES)
ACCESS RESTRICTED



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REVISIONS	DATE	REMARKS
GENERAL REVISIONS	1/26/21	
GENERAL REVISIONS	6/18/21	
RESPONSE REVISIONS	7/12/21	
GENERAL REVISIONS	8/14/21	
GENERAL REVISIONS	8/26/21	
GENERAL REVISIONS	10/25/21	

PARKING PLAN
1415 WASHINGTON AVENUE
CITY OF ALBANY
COUNTY OF ALBANY, STATE OF NEW YORK

DATE: 1/24/2020
CHECKED BY: DRH
BY: MM
SCALE: 1"=30'
FILE: 200015

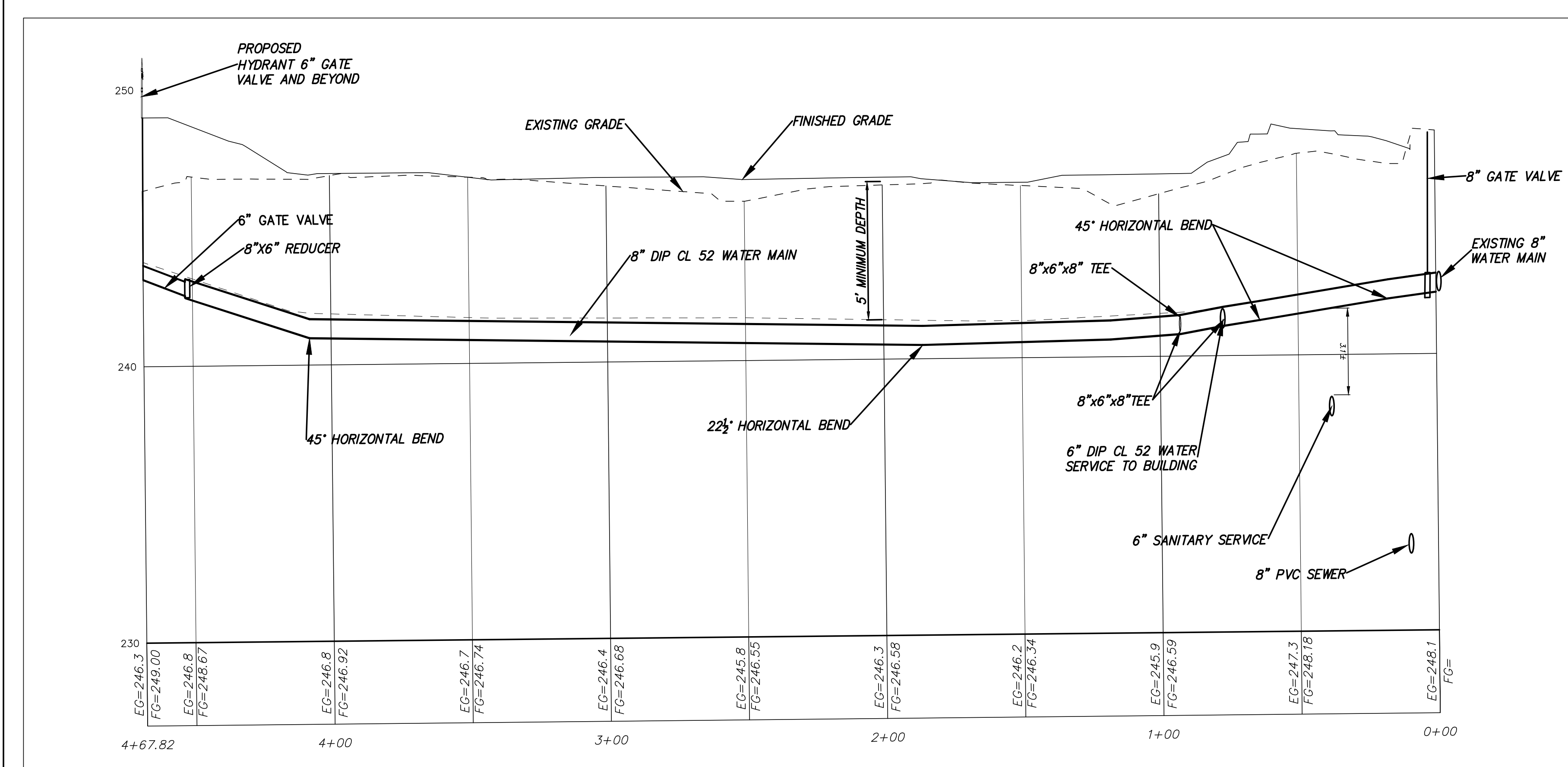
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C3/15

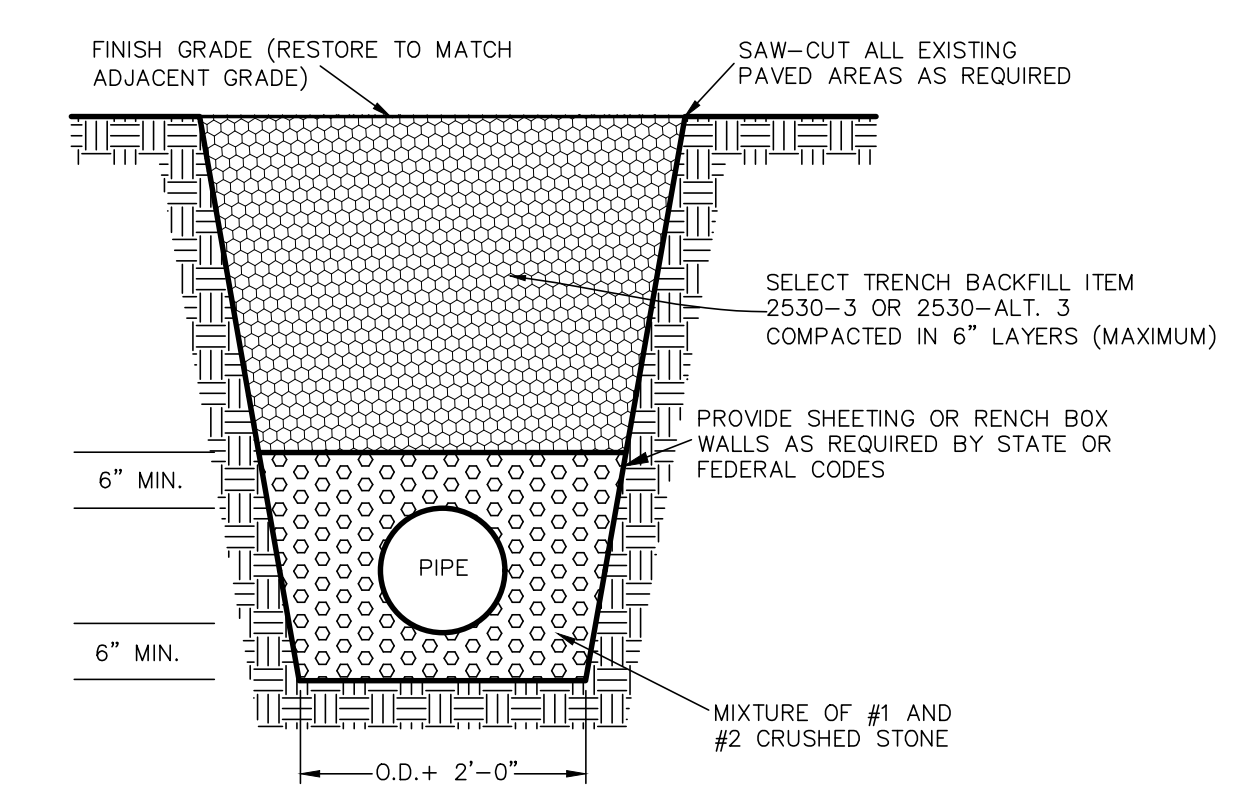
INTERSTATE 1 - 90
(EAST BOUND)
(PUBLIC R.O.W. VARIES)
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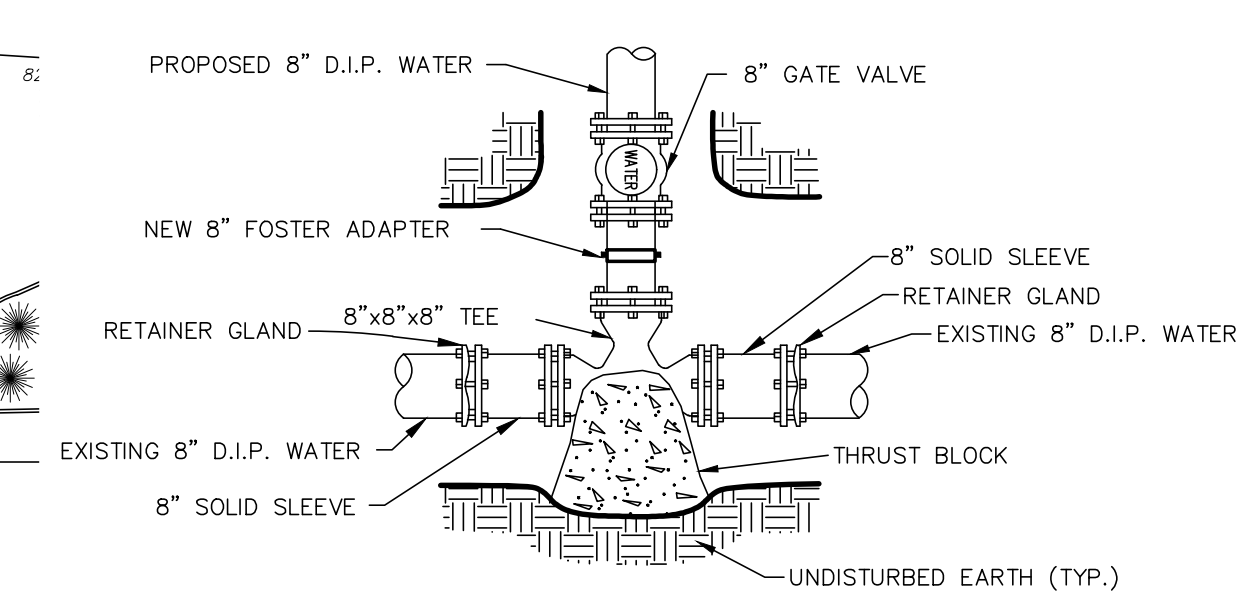
WATER MAIN PLAN
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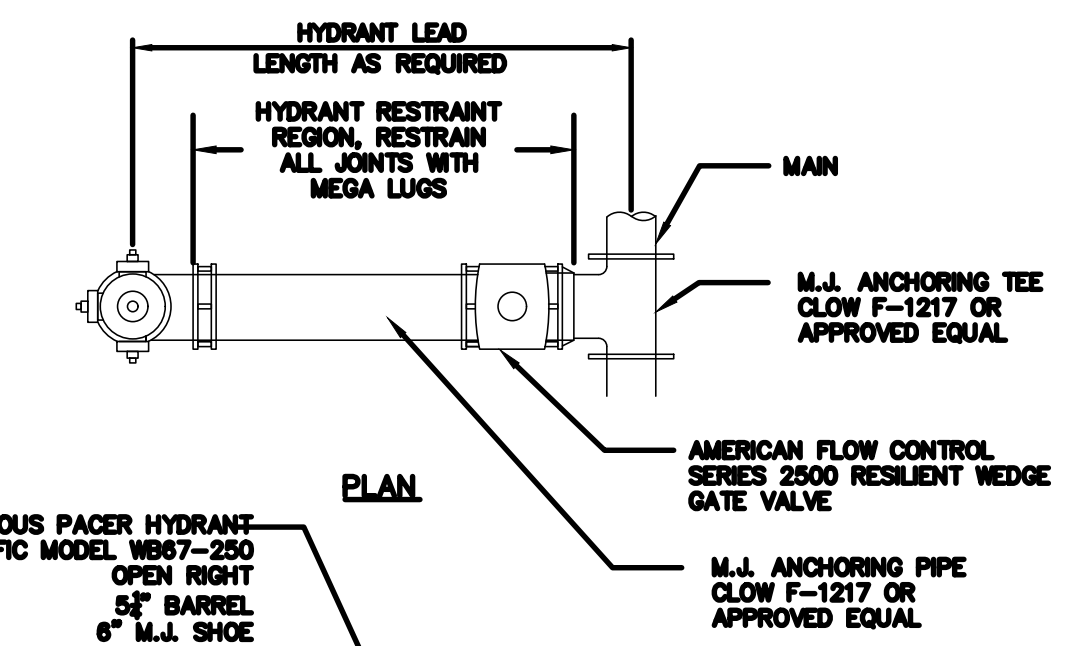
WATER MAIN PROFILE
SCALE=1"=30' (H) 1"=3' (V)



1 C4
TYPICAL WATER MAIN TRENCH DETAIL
NOT TO SCALE



2 C4
CUT IN TEE DETAIL
NOT TO SCALE

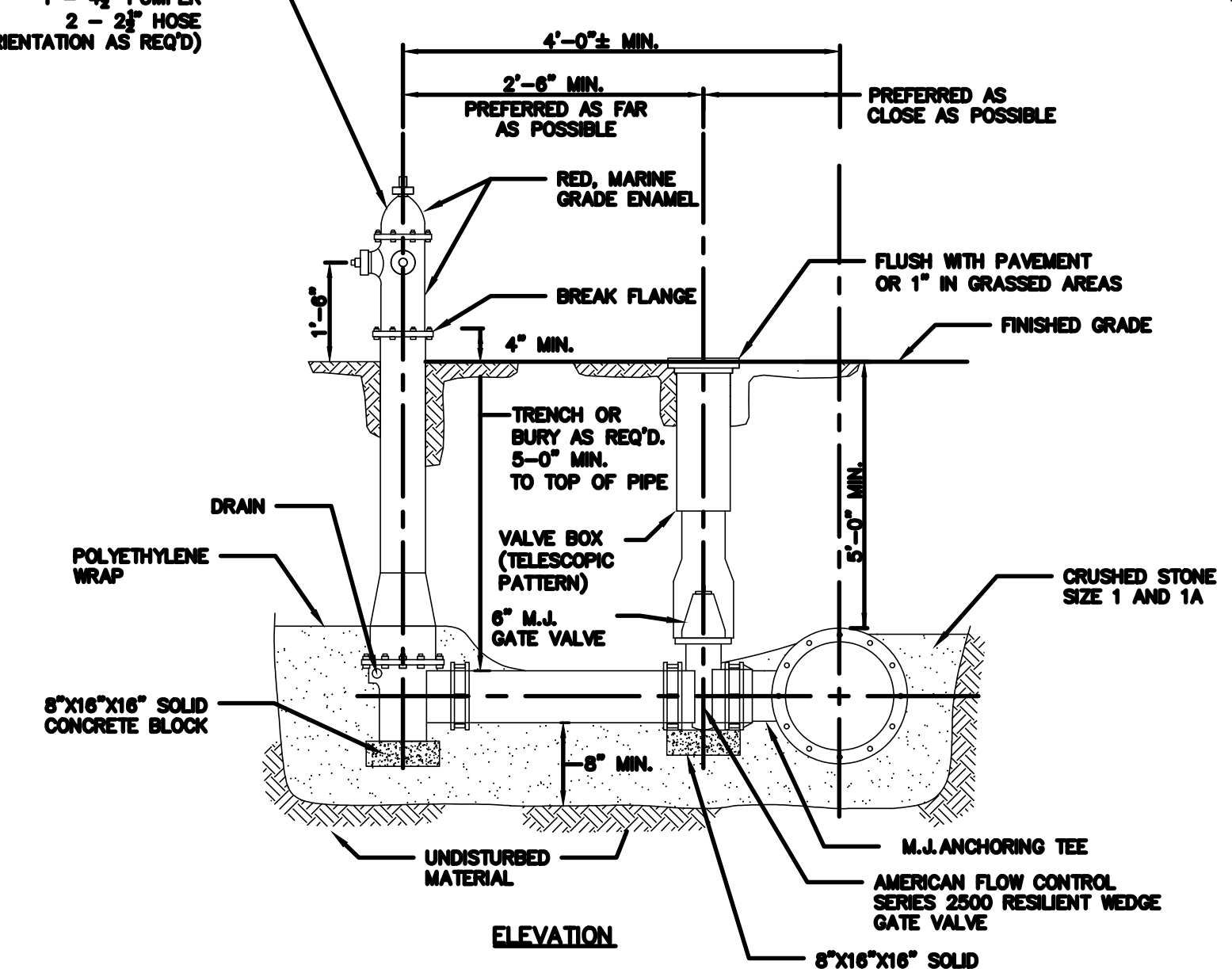


REQUIRED DEPTH & LENGTH OF THRUST BLOCK

PIPE SIZE (INCHES)	6	8
TEE*	1.5 X 2.5	2.0 X 3.0
90° BEND	2.0 X 2.5	2.0 X 4.0
45° BEND	1.5 X 2.0	2.0 X 2.5
22-1/2° BEND	1.0 X 1.5	1.5 X 1.5
11-1/4° BEND	0.5 X 1.5	1.0 X 1.5

* VALUES FOR TEE ALSO APPLY TO END PLUGS, CAPS AND TAPPING SLEEVES

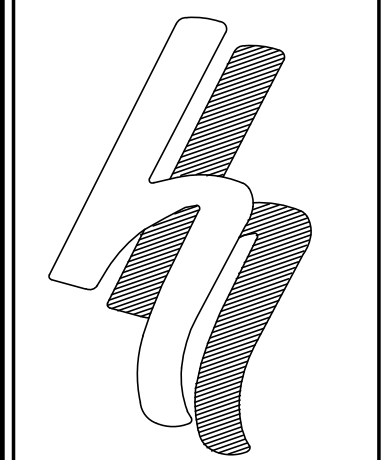
4 C4
THRUST BLOCK DETAILS
NOT TO SCALE



3 C4
TYPICAL HYDRANT DETAIL (CITY OF ALBANY)
NOT TO SCALE

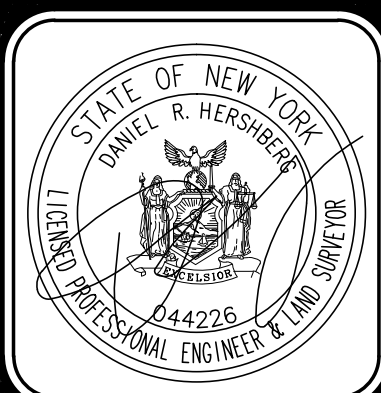
NOTES

- 48 HOURS NOTICE MUST BE GIVEN TO DEPARTMENT OF WATER FOR INSPECTIONS FOR THE SANITARY, WATER AND STORMWATER UTILITIES.
- PRESSURE AND LEAKAGE TESTING OF THE WATER MAIN SHALL BE WITNESSED BY DEPARTMENT STAFF AND ACCEPTABLE BACTERIOLOGICAL TEST MUST BE SUBMITTED AND ACCEPTED BY THE DEPARTMENT PRIOR TO FINAL OF THE NEW WATER MAIN.
- PRIOR TO USE, ALL WATER LINES MUST BE CHLORINATED AND HAVE A BACTERIOLOGICAL TEST PERFORMED IN ACCORDANCE WITH CITY OF ALBANY STANDARDS.
- PRESSURE AND LEAKAGE TESTING OF THE WATER MAIN SHALL BE WITNESSED BY DEPARTMENT STAFF.
- PRIOR TO USE ALL WATER LINES MUST BE CHLORINATED AND HAVE A BACTERIOLOGICAL TEST PERFORMED IN ACCORDANCE WITH AWWA C651-14 CONTINUOUS FEED METHOD AND CITY OF ALBANY STANDARDS.
- 48 HOURS NOTICE MUST BE GIVEN TO THE DEPARTMENT OF WATER FOR INSPECTIONS.



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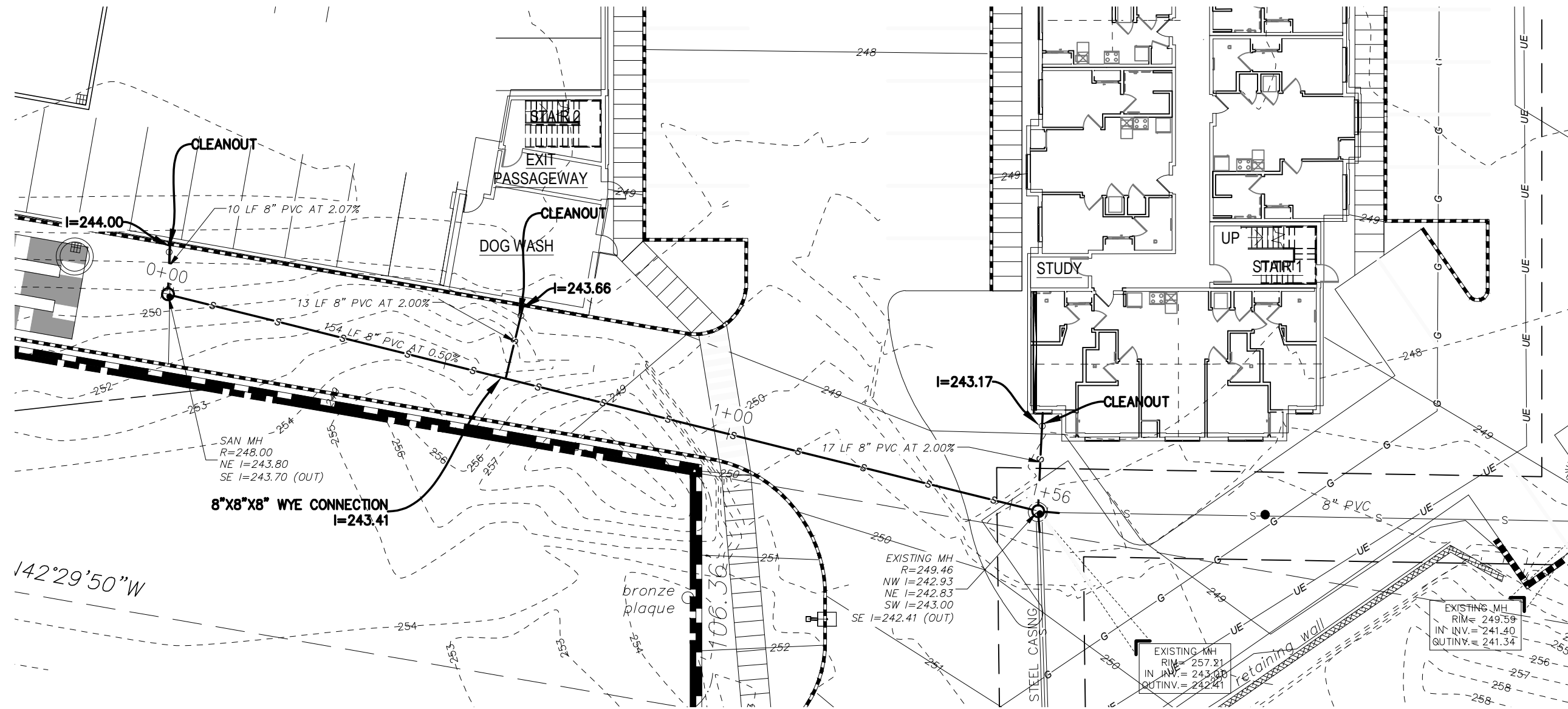
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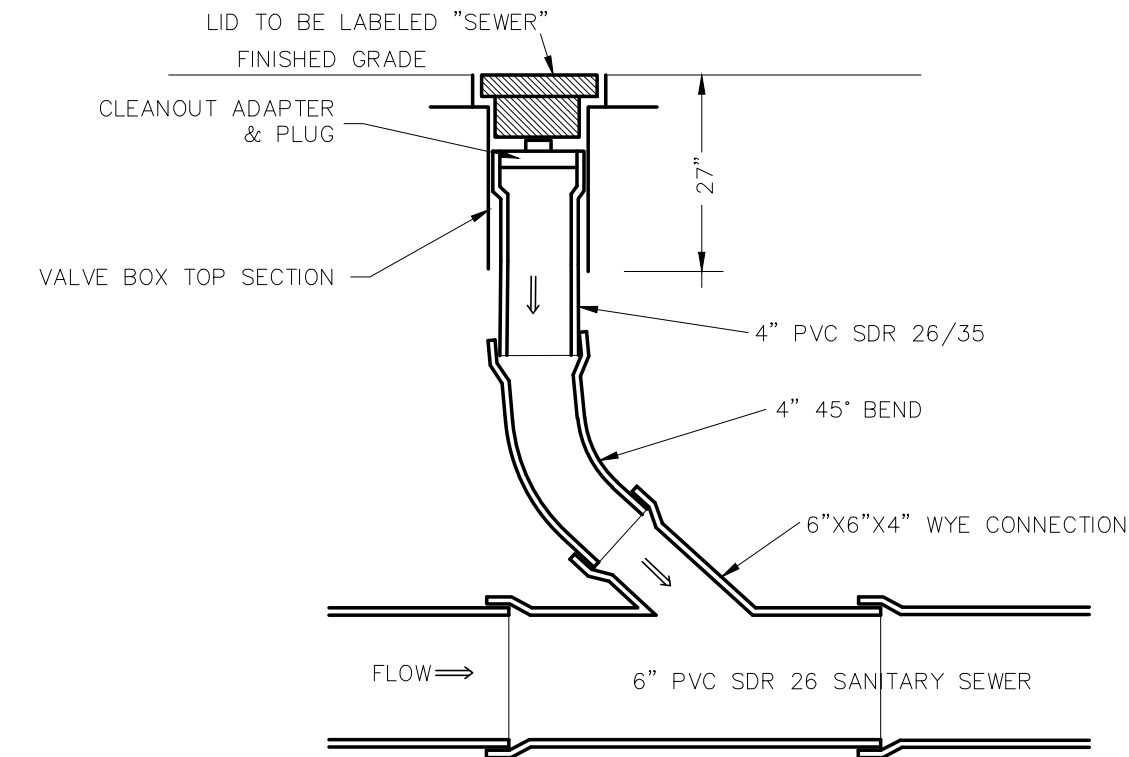
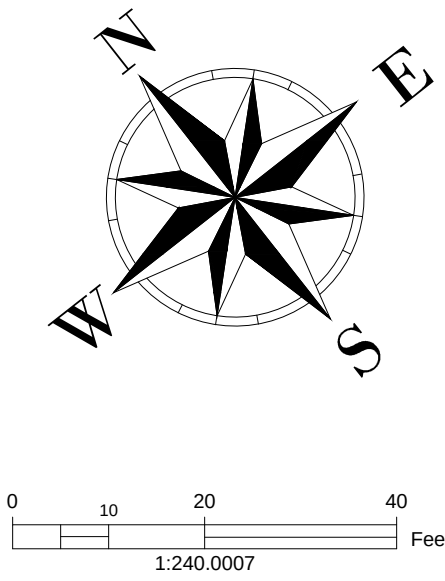
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12/20/20	RESPONSE REVISIONS
6/9/21	GENERAL REVISIONS
7/12/21	RESPONSE REVISIONS
8/4/21	GENERAL REVISIONS
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WATER MAIN PLAN/PROFILE AND DETAILS
1415 WASHINGTON AVENUE
CITY OF ALBANY
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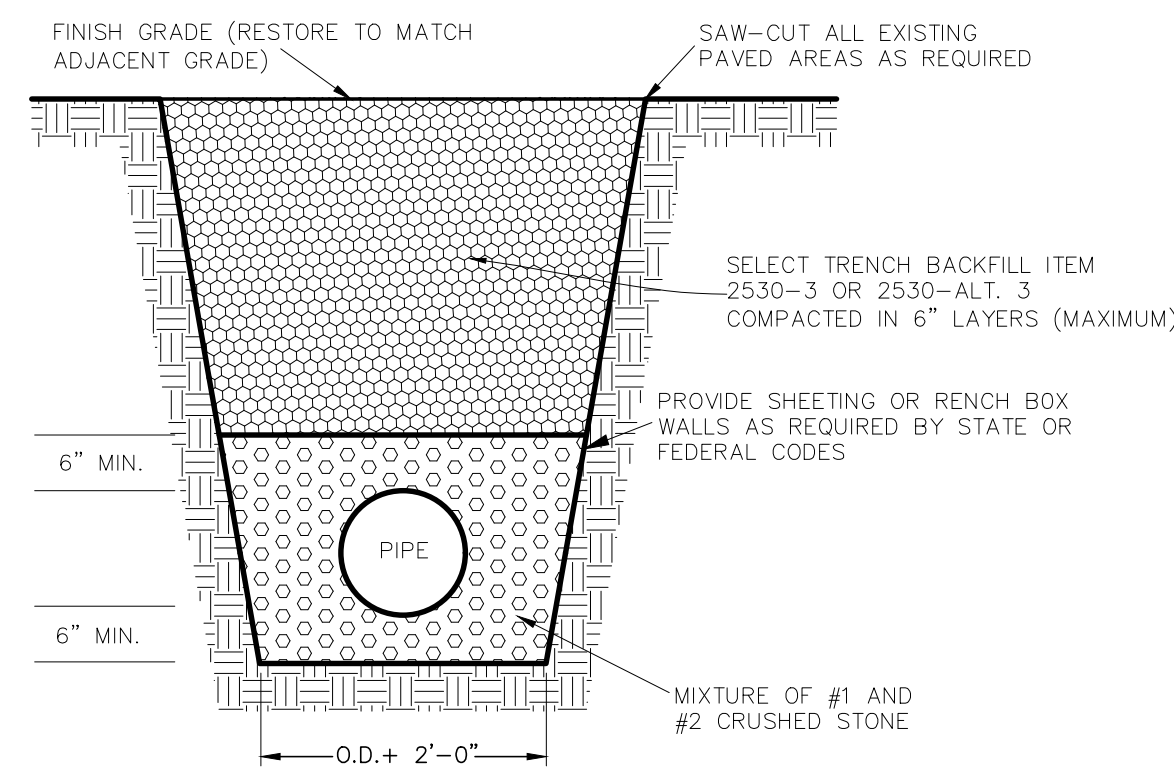
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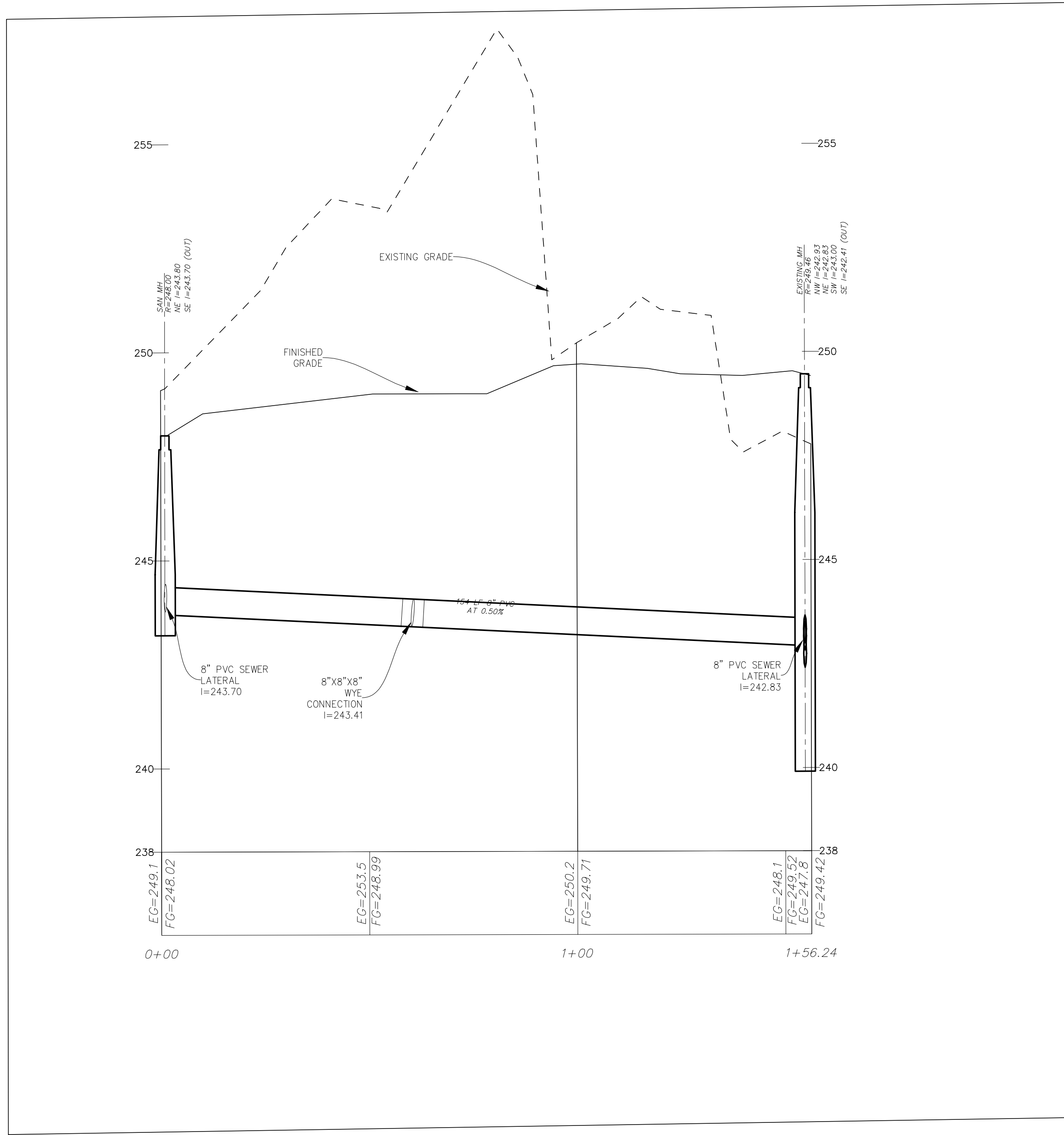
SANITARY SEWER LATERAL PLAN
SCALE=1"=20'



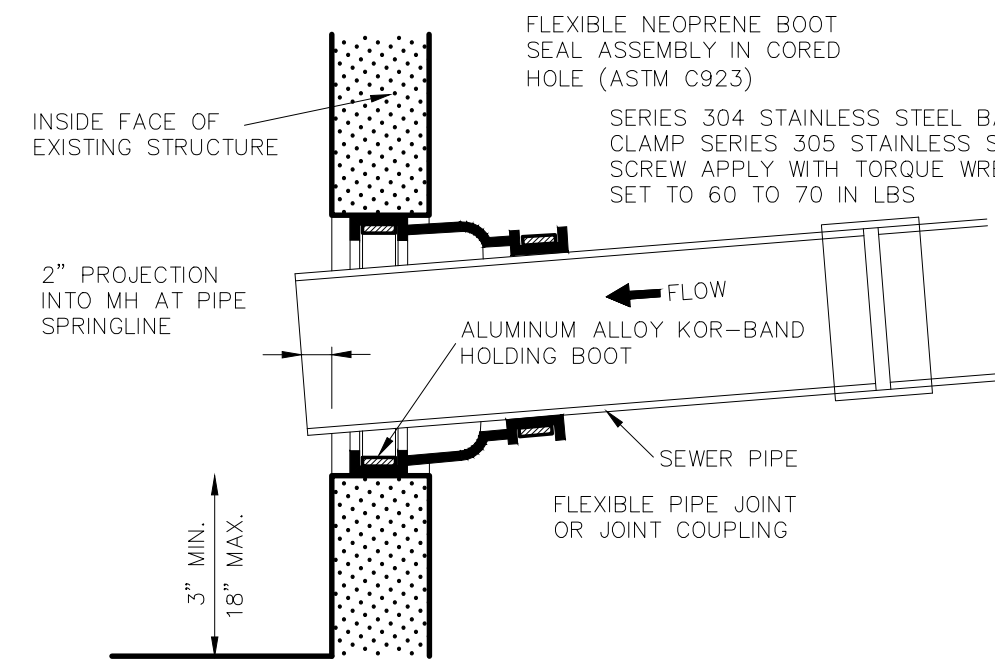
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C5 **IN LINE CLEANOUT DETAIL**
NOT TO SCALE



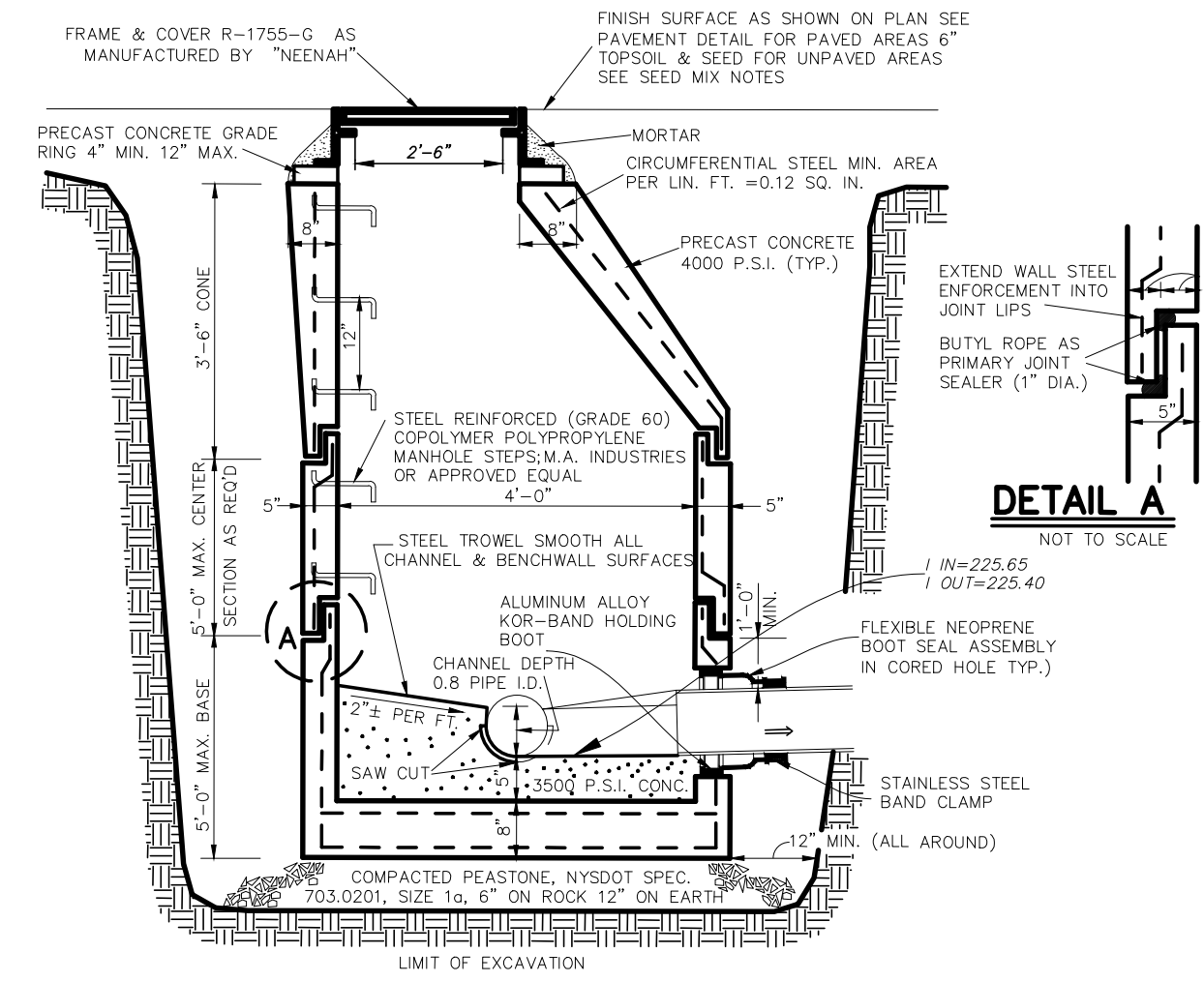
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C5 **TYPICAL SANITARY SEWER TRENCH DETAIL**
NOT TO SCALE



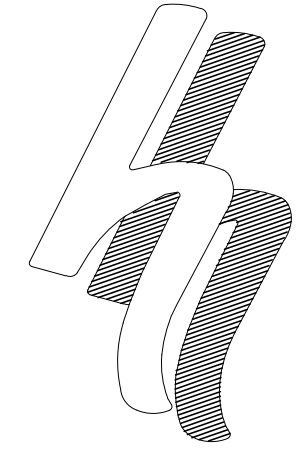
SANITARY SEWER LATERAL PROFILE
SCALE=1"=20' (H) 1"=2' (V)



3
C5 **CORED IN FIELD CONNECTION**
NOT TO SCALE

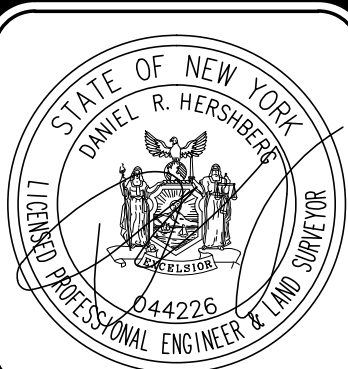


4
C5 **SANITARY SEWER MANHOLE DETAIL**
NOT TO SCALE



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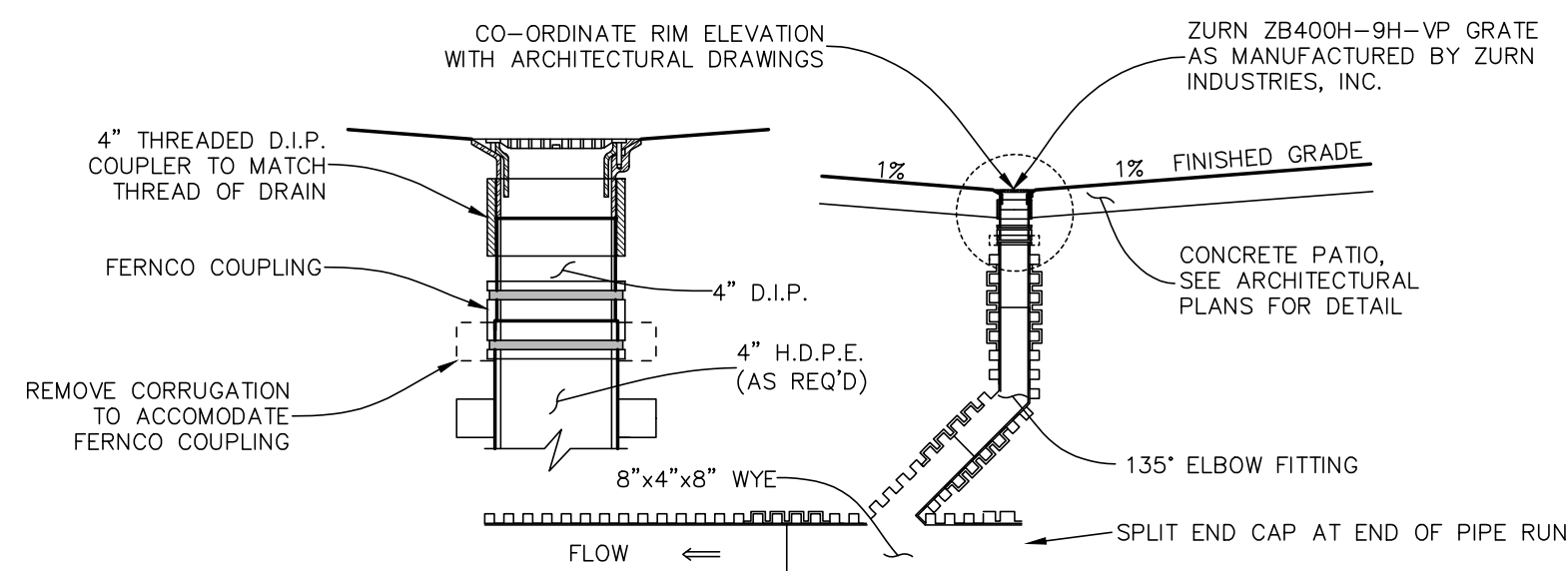
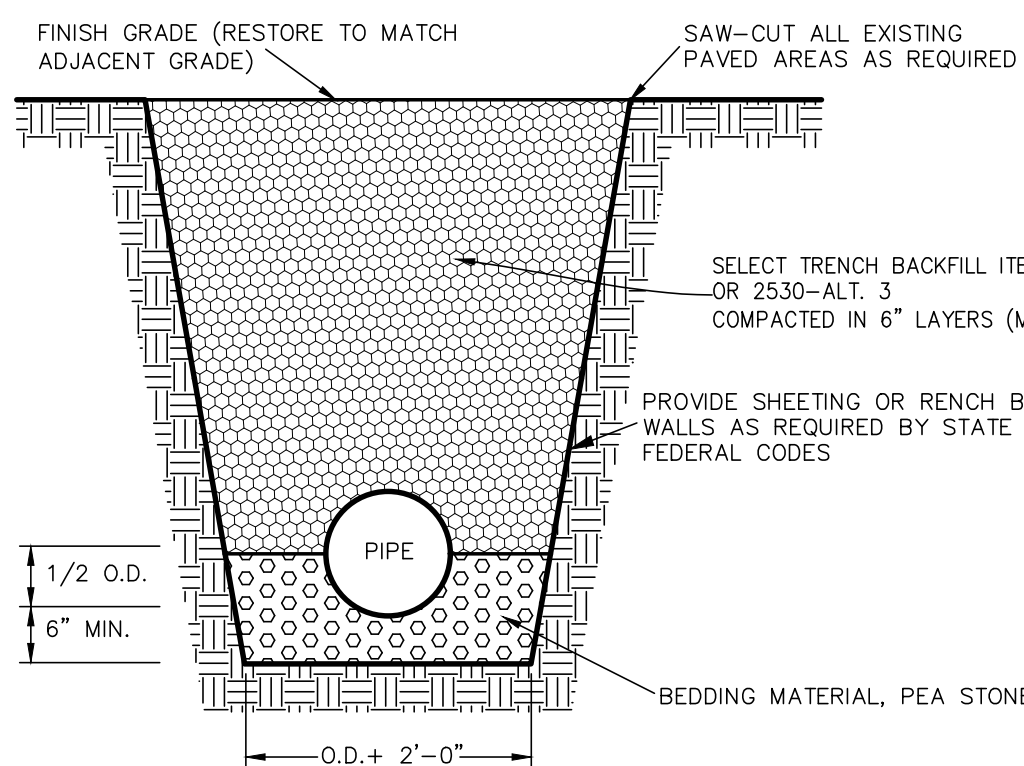
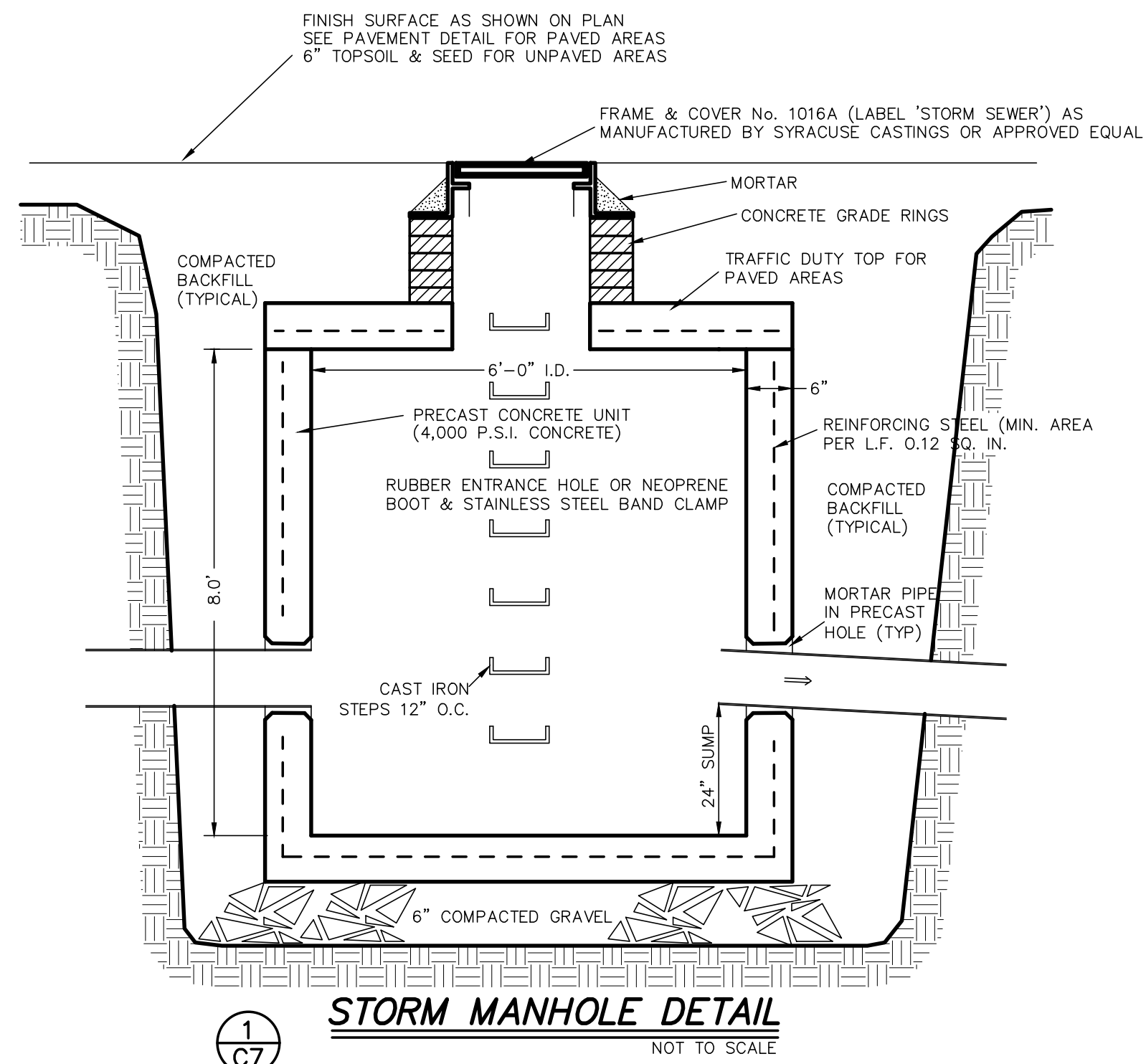
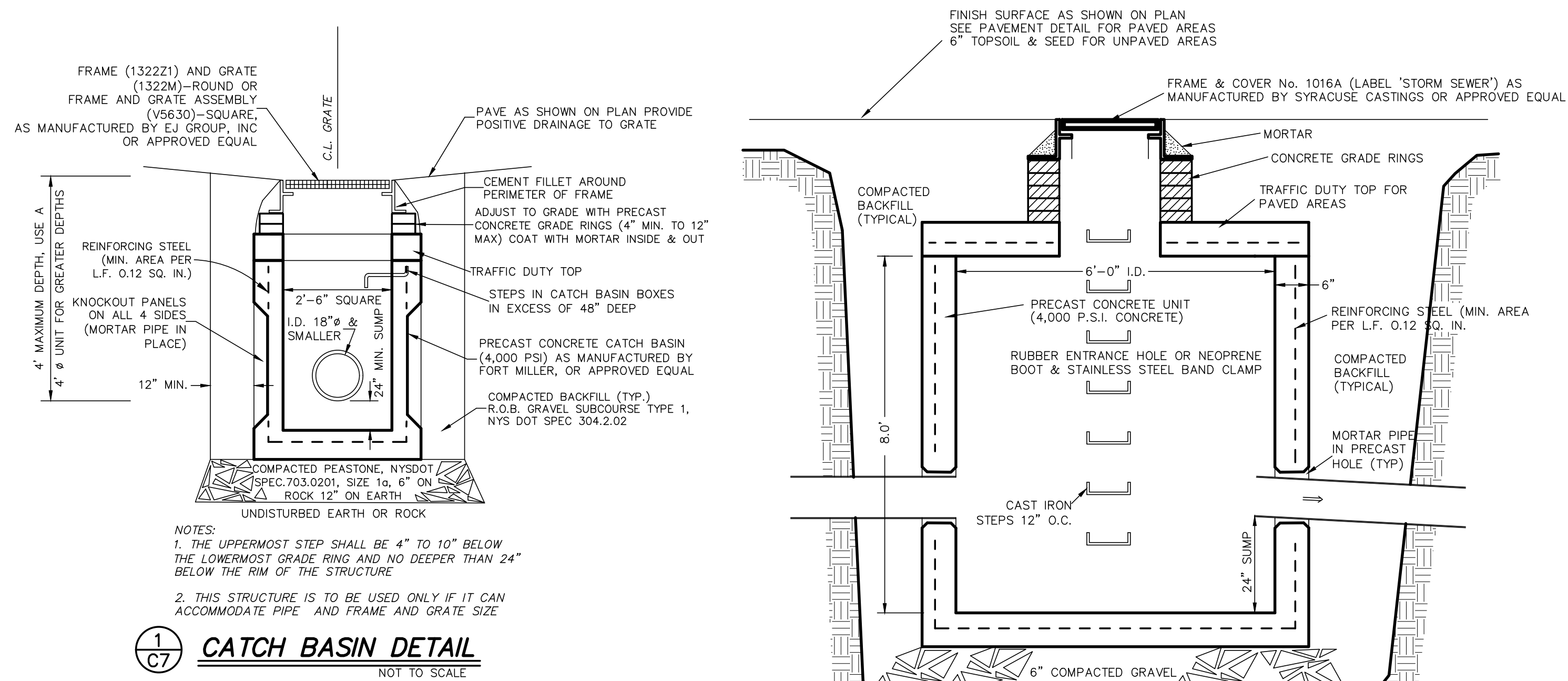
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REVISIONS	DATE	REMARKS
RESPONSE REVISIONS	12/01/20	
GENERAL REVISIONS	6/9/21	
RESPONSE REVISIONS	7/12/21	
GENERAL REVISIONS	8/11/21	
AND COMMENTS DATED 8/20/21	8/26/21	
COMMENT REVISIONS	10/25/21	

SANITARY SEWER PLAN/PROFILE AND DETAILS
1415 WASHINGTON AVENUE
CITY OF ALBANY
COUNTY OF ALBANY, STATE OF NEW YORK

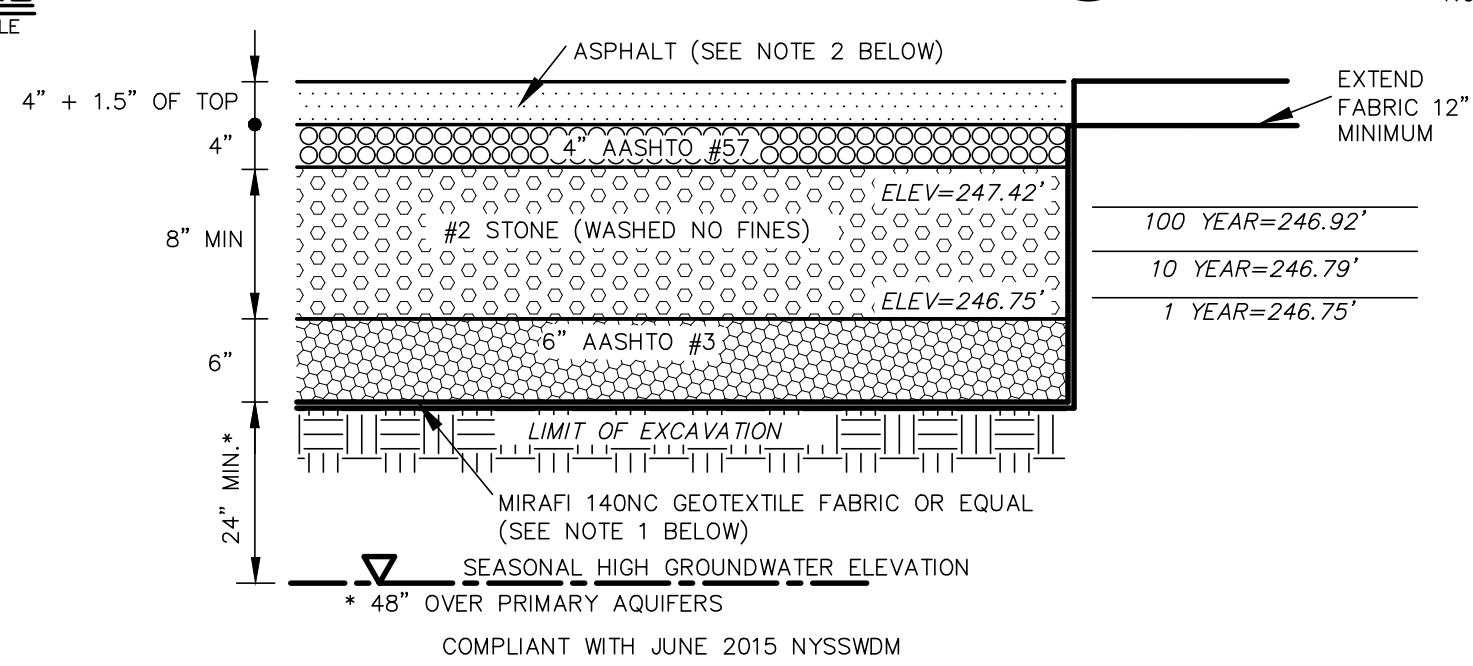
FILE: 200015
SCALE: AS NOTED
DATE: 1/24/2020
CHK: DRH
BY: MM
200015-5.0WG



3 C7 TYPICAL STORM SEWER TRENCH DETAIL
NOT TO SCALE

4 C7 YARD DRAIN DETAIL
NOT TO SCALE

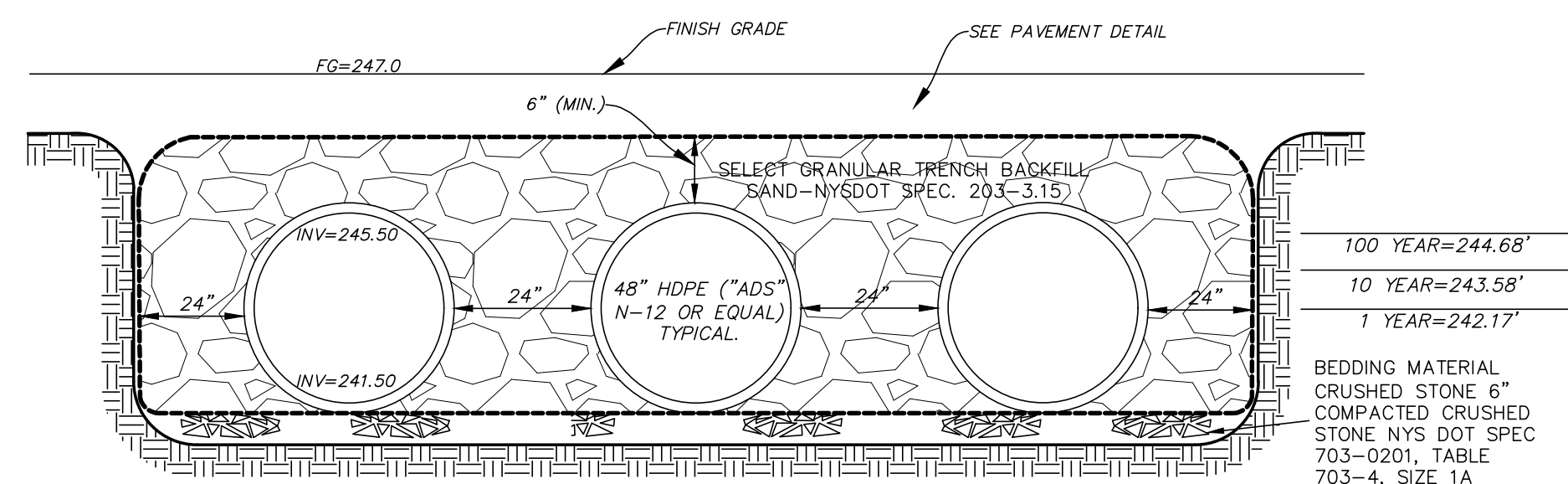
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MM	IN	ASTM #
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50	2	95-100
37.5	1 1/2	35-70
25	1	0-15
18.75	3/4	75-100
12.5	1/2	0-5
9.5	3/8	25-60
4.75	#4	<5
2.36	#20	0-10



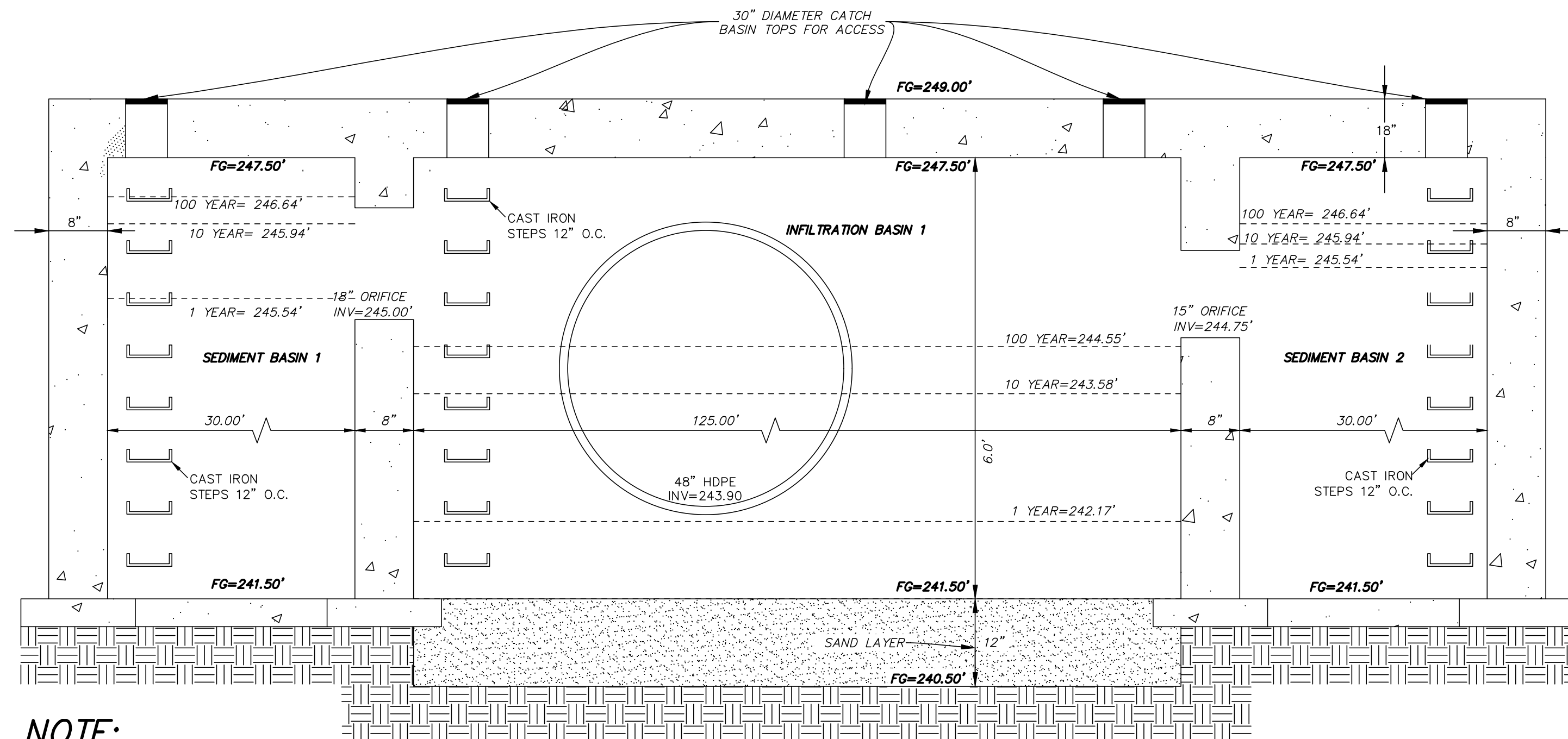
CRITICAL POROUS PAVEMENT NOTES:

- SUB GRADE MUST BE DECOMPACTED IN ACCORDANCE WITH NYSDEC REGULATIONS IMMEDIATELY PRIOR TO INSTALLATION OF THE GEOTEXTILE FABRIC.
- DESIGN MIX MUST HAVE POLYMER ADDITIVE AND WILL NOT BE ACCEPTED WITHOUT.

5 C7 ROADWAY POROUS PAVEMENT
NOT TO SCALE



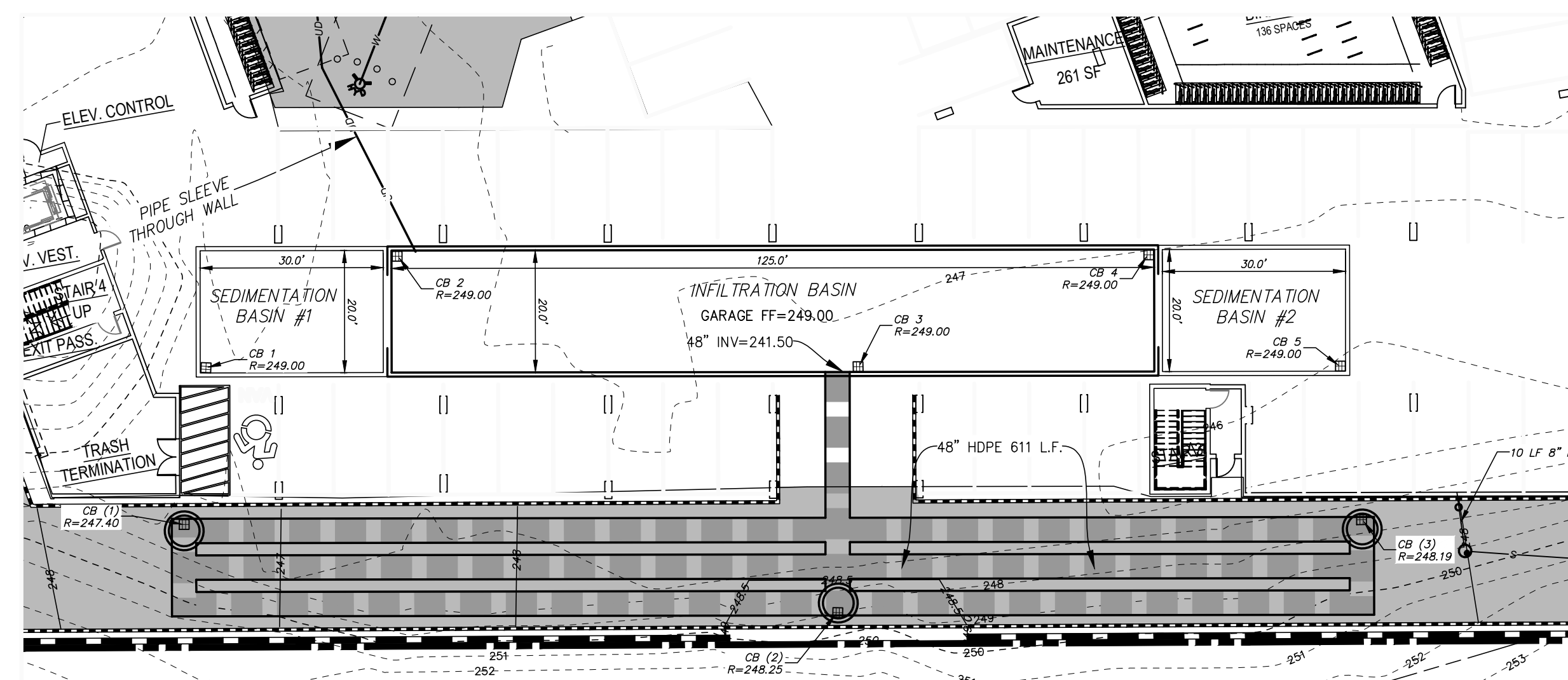
6 C7 DETENTION GALLERY SECTION
NOT TO SCALE



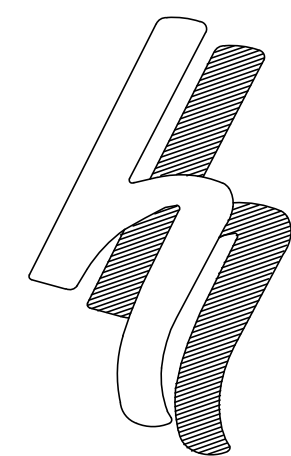
NOTE:

- SUBMIT SHOP DRAWINGS STAMPED BY A NYS LICENSED ENGINEER SHOWING DETAILS OF CONCRETE SLAB, WALLS, AND FOOTINGS.

2 C7 SEDIMENT AND INFILTRATION BASINS DETAIL
NOT TO SCALE

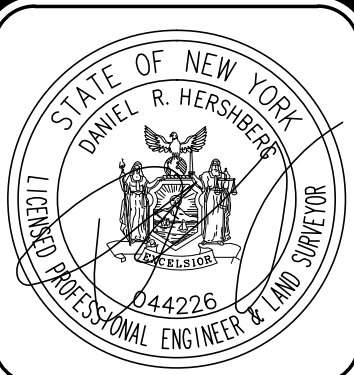


SEDIMENT AND INFILTRATION BASIN PLAN
SCALE: 1"=20'



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2	6/9/21	GENERAL REVISIONS
3	7/12/21	RESPONSE REVISIONS
4	8/1/21	GENERAL REVISIONS
5	8/26/21	AND COMMENTS DATED 8/20/21
6	10/25/21	COMMENT REVISIONS

SWPPP PLAN AND DETAILS
1415 WASHINGTON AVENUE
CITY OF ALBANY
COUNTY OF ALBANY, STATE OF NEW YORK

SCALE: AS NOTED
DATE: 1/24/2020
CHK: DRH
BY: MM
FILE: 200015
200015-5.DWG

1. THIS PROJECT IS AUTHORIZED UNDER NYSDOT'S SPODES GENERAL PERMIT GP-0-20-001.
2. ANY CONTRACTOR INVOLVED IN EARTHWORK ACTIVITIES, INCLUDING BUT NOT LIMITED TO: CLEARING, GRADING AND TRENCHING, SHALL REVIEW ALL PERMIT CONDITIONS AND CERTIFY UNDERSTANDING OF THESE CONDITIONS. IN WRITING, IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT ALL PERMIT REQUIREMENTS AND TO OBTAIN ANY NECESSARY APPROVALS FROM THE STATE OF NEW YORK. THE CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH THE PERMIT AT ALL TIMES.
3. AT ALL TIMES SOIL DISTURBING ACTIVITIES SHALL REMAIN LESS THAN 1 ACRE. THE CONTRACTOR SHALL COORDINATE ANYTIME ACTIVITIES WITH THE STATE OF NEW YORK'S DEPARTMENT OF ENVIRONMENTAL CONSERVATION TO OBTAIN THE NECESSARY CONSENT TO DISTURB AT ALL TIMES TO ENSURE SOIL DISTURBANCE DOES NOT EXCEED 1 ACRE. IF THE SOIL DISTURBANCE EXCEEDS ONE ACRE AT ANY TIME, A STOP WORK ORDER WILL BE ISSUED AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF THE STOP WORK ORDER AND FOR ANY FINE.
4. THE CONTRACTOR SHALL MAINTAIN A CLEAN WORKING CONSTRUCTION AND EQUIPMENT WHENEVER PRACTICABLE.
5. DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF COMPLETION OR SUSPENSION OF GRADING OPERATIONS.
6. INSTALL TEMPORARY & PERMANENT SEEDING IN ACCORDANCE WITH THE NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, STANDARD AND SPECIFICATION FOR TEMPORARY CONSTRUCTION AREA SEEDING AND FOR MULCHING.

STANDARD AND SPECIFICATIONS FOR TEMPORARY CONSTRUCTION AREA PLANTINGS, PAGE 4.58:
WATER MANAGEMENT PRACTICES MUST BE INSTALLED AS APPROPRIATE FOR SITE CONDITIONS. THE AREA MUST BE ROUGH GRADED AND SLOPES PHYSICALLY STABLE. LARGE DEBRIS AND ROCKS ARE USUALLY REMOVED. SEEDBED MUST BE SEEDED WITHIN 24 HOURS OF DISTURBANCE OR SCARIFICATION OF THE SOIL SURFACE WILL BE NECESSARY PRIOR TO SEEDING.
FERTILIZER OR LIME ARE NOT TYPICALLY USED FOR TEMPORARY SEEDINGS.

IF: SPRING OR SUMMER OR EARLY FALL, THEN SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER ACRE.
(APPROXIMATELY 0.7 LB./1000 SQ. FT. OR USE 1 LB./1000 SQ. FT.)

IF: LATE FALL OR EARLY WINTER, THEN SEED CERTIFIED 'AROSTOOK' WINTER RYE (CEREAL RYE) AT 1000 LBS. PER ACRE (2.5 LBS./1000 SQ. FT.).

ANY SEEDING METHOD MAY BE USED THAT WILL PROVIDE UNIFORM APPLICATION OF SEED TO THE AREA AND RESULT IN RELATIVELY GOOD SOIL TO SEED CONTACT.

MULCH THE AREA WITH HAY OR STRAW AT 2 TONS/ACRE (APPROX. 90 LBS./1000 SQ. FT. OR 2 BALES). QUALITY OF HAY OR STRAW MUST BE LOW. LOW QUALITY MUST BE DETERMINED BY VISUAL INSPECTION. AS USUAL, CONCENTRATED WILDLIFE FEEDING MUST BE REDUCED OR STOPPED WHERE WIND OR AREAS OF CONCENTRATED WATER ARE OF CONCERN. WOOD FIBER HYDROMULCH OR OTHER SPRAYABLE PRODUCTS APPROVED FOR EROSION CONTROL (NYLON WEB OR MESH) MAY BE USED IF APPLIED ACCORDING TO MANUFACTURERS' SPECIFICATIONS. CAUTION IS ADVISED WHEN USING NYLON OR OTHER SYNTHETIC PRODUCTS. THEY MAY BE DIFFICULT TO REMOVE PRIOR TO FINAL SEEDING AND CAN BE A HAZARD TO YOUNG WILDLIFE SPECIES.

TABLE 4.3
MULCH ANCHORING

WINTER CONDITIONS ITEMS TO BE ADDRESSED

1. Identify areas within the site to stone snow which is tributary to the temporary perimeter sewer. As work progresses this area may move but positive drainage tributary to the temporary perimeter sewer must be maintained.
2. Widen stabilized construction access points to a minimum of 28 feet. Where pavement forms a portion of that route, maintain a 50 feet of stone pavement meeting the detail as shown on the SWPPP plan. Stockpile a minimum of 25 cubic yard of stone for the purposes of establishing stone access point after snow storms.
3. Where any areas at the street grade or within two feet of the street grade remain disturbed overnight, stabilize those areas using 6" of broken stone.
4. Where equipment or vehicles are traversing the bottom of the excavation, establish paths using 6" of broken stone.
5. At any point on the perimeter where drainage from accumulated snow or ice will drain away from the site protect these areas with fiber rolls or polyethylene coated chack dam materials (Filtrex, Erosion eel or equal).
6. If work is to cease for more than 3 days, stabilize all disturbed soils.

INTERSIM.
(PUBLIC R.O.W. VARIES)
ACCESS RESTRICTED



-
- DROP INLET PROTECTION
- FUELING AREA
- STOCKPILE, STAGING, AND MATERIAL STORAGE AREA

EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1"=40'

THE CONSTRUCTION SEQUENCE FOR THIS PROJECT WILL BE GOVERNED BY THE EROSION AND SEDIMENT CONTROL PLAN.

- ✓ COMMENCE WORK ON SITE. WITHIN 10 DAYS OF PRE-CONSTRUCTION MEETING
- ✓ INSTALL SEDIMENTATION FENCE AS INDICATED ON THE PLAN. PRIOR TO COMMENCEMENT OF ANY GRADING - FENCE TO REMAIN IN PLACE UNTIL ALL AREAS ARE STABILIZED.
- ✓ UNDERTAKE BUILDING DEMOLITION INCLUDING ASBESTOS ABATEMENT AND UTILITY SHUTOFFS. CLOSE WATER SERVICE AT VALVE PENDING THE ABANDONMENT OF THE WATER MAIN SECTION AS DESCRIBED BELOW. PRIOR TO NEW CONSTRUCTION ITEMS BEING UNDERTAKEN.
- ✓ GRADE AND PREPARE CONSTRUCTION ACCESS. PRIOR TO COMMENCEMENT OF ANY GRADING - CONSTRUCTION ENTRANCE TO REMAIN IN PLACE UNTIL ALL AREAS ARE STABILIZED.

- THE EXISTING PAVEMENT MUST BE KEPT SWEEP CLEAN TO AVOID TRACKING MATERIALS ALONG ANY STREETS. CONTINUOUSLY FROM INCEPTION TO COMPLETION OF STABILIZATION OR FILING OF NOTICE OF TERMINATION.
- ✓ MAINTAIN THIS AREA CLEAN OF DEBRIS AND VERIFY CONDITION AND SAFETY OF STORAGE OF MATERIALS LISTED BELOW; REQUIRES DAILY INSPECTION. CONTINUOUSLY FROM INCEPTION TO FILING OF NOTICE OF TERMINATION.
- ✓ ANY CONSTRUCTION MATERIALS, CHEMICALS OR CONSTRUCTION DEBRIS MUST BE STORED IN SEALED RECEPTACLES, TRAILERS OR BUILDINGS. ANY STORAGE PILES OF MATERIALS MEANT FOR INSTALLATION (I.E., SAND, ETC.) MUST BE SURROUNDED BY SEDIMENTATION FENCE. THE LIST OF ANTICIPATED MATERIALS STORED ON SITE DURING CONSTRUCTION IS PROVIDED BELOW AND MUST BE UPDATED IF ANY ADDITIONAL MATERIALS ARE UTILIZED. CONTINUOUSLY FROM INCEPTION TO FILING OF NOTICE OF TERMINATION.
- SELECT FILL
 - CONCRETE STRUCTURES
 - PIPES
 - PIPE SOLVENTS
 - CONCRETE FOR BUILDING
 - ROOFING MATERIALS FOR BUILDING
 - METAL MATERIALS FOR BUILDING
 - BUILDING MATERIALS FOR BUILDING
- ✓ MSDS SHEETS MUST BE AVAILABLE ON SITE FOR ALL MATERIALS USED OR IMPORTED TO THE SITE. CONTINUOUSLY FROM INCEPTION TO FILING OF NOTICE OF TERMINATION.
- ✓ ANY CHEMICAL SPILLS MUST BE CONTAINED IMMEDIATELY ON SITE AND REPORTED TO NYSDEC. CONTINUOUSLY FROM INCEPTION TO FILING OF NOTICE OF TERMINATION.

- ✓ OIL AND GREASE SPILLS FROM EQUIPMENT SHALL BE TREATED IMMEDIATELY, CONTINUOUSLY FROM INCEPTION TO FILING OF NOTICE OF TERMINATION.
- ✓ COMMENCE INSTALLATION OF THE TEMPORARY SEDIMENT TRAP AND INTERCEPTION SWALE. PRIOR TO PLACEMENT OF SLAB.
- ✓ CLEAN INTERCEPTION SWALE AND SEDIMENT TRAP AS REQUIRED. CONTINUOUSLY FROM INSTALLATION UNTIL FILING OF NOTICE OF TERMINATION.
- ✓ PERFORM DEEP RIPPING AND DECOMPACTION AS NECESSARY. PRIOR TO INSTALLATION OF PIPE GALLERY FOR INFILTRATION. DELAY THIS STEP TILL IMMEDIATELY BEFORE THE RECHARGE GALLERY IS INSTALLED. THIS STEP MUST BE OBSERVED BY THE DESIGN ENGINEER. SEE ATTACHMENT NO.8.
- ✓ INSTALL RECHARGE GALLERY WHEN STAGING OR ADDITIONAL ACTIVITIES ARE NO LONGER REQUIRED IN THESE AREAS. ABANDON TEMPORARY SEDIMENT TRAP AND ANY TEMPORARY SWALES. CONNECT ROOF DRAINAGE TO RECHARGE BASIN. RESTORE TRENCHES. WHEN APPROPRIATE.
- ✓ RESTORE PAVEMENT AND LAWNS. PRIOR TO FILING OF NOTICE OF TERMINATION.
- ✓ CLEAN THE RECHARGE GALLERY STRUCTURE OF ANY ACCUMULATED SILT. PRIOR TO FILING OF NOTICE OF TERMINATION.
- ✓ FINE GRADE LANDSCAPE BEDS. PRIOR TO FILING OF NOTICE OF TERMINATION.
- ✓ PLACE LANDSCAPE MATERIALS. PRIOR TO FILING OF NOTICE OF TERMINATION.
- ✓ SEED AND MULCH. PRIOR TO FILING OF NOTICE OF TERMINATION.
- ✓ OBTAIN APPROVAL ON NOTICE OF TERMINATION FROM MS4 COORDINATOR AFTER SITE HAS ACHIEVED >80% GRASS COVER. PRIOR TO FILING OF NOTICE OF TERMINATION.
- ✓ FILE NOTICE OF TERMINATION.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED IN ACCORDANCE WITH JULY 2018 NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL." (aka: THE BLUE BOOK) EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES.

IT IS THE INTENT OF THESE PLANS AND NOTES TO BE USED AS A GUIDE BY THE CONTRACTOR TO PREVENT EROSION AND SEDIMENTATION FROM THE SITE OR ENTERS ANY WATER COURSE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREVENT EROSION AND SEDIMENTATION FROM THE SITE OR ENTERS ANY ADDITIONAL TANKS THAT MAY BE NECESSARY. FURTHER MEASURES MAY BE REQUIRED BY THE CITY, VILLAGE, OR TOWN ENGINEER. WHILE MANY OF THE EROSION CONTROL DEVICES ARE REQUIRED BY THE BLUE BOOK, THE CONTRACTOR SHOULD CONSIDER ANY OF THE DETAILS CONTAINED HEREIN TO BE A MINIMUM STANDARD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL AS ACCEPTABLE PRACTICE IN THE APPROPRIATE APPLICATION.

3. THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAINFALL EVENT THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN ALL EROSION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, OR REPLACED AS NECESSARY. EROSION CONTROL MEASURES SHALL BE MAINTAINED. ACCUMULATED SLOTTED SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPILL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDS AREAS AS NEEDED UNTIL GRASS COVERS ARE ESTABLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING ITEMS SHOULD BE PAID PARTICULAR ATTENTION:

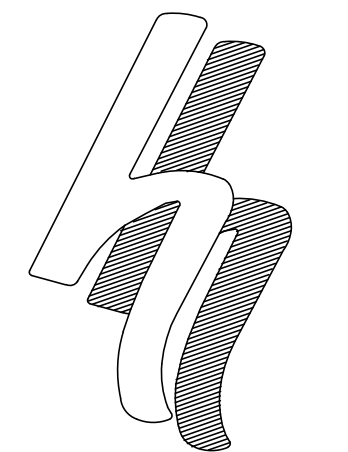
a. THE BASIN INLET LOCATIONS SHALL BE INSPECTED FOR SILT ACCUMULATION CAUSED BY THE LACK OF ESTABLISHED SURROUNDING VEGETATION.

1. THE BASIN INLET LOCATIONS SHALL BE INSPECTED FOR SILT ACCUMULATION CAUSED BY THE LACK OF ESTABLISHED SURROUNDING VEGETATION. IF NECESSARY, THE BASIN SHALL BE RE-SEED.
2. CATCH BASINS SHALL BE CHECKED FOR SEDIMENT ACCUMULATION. IF NECESSARY, THE BASIN SHALL BE RE-SEED OR THE SEDIMENT SHALL BE REMOVED. IF SIGNIFICANT AMOUNTS OF SEDIMENT ACCUMULATE, THE BASIN SHALL BE RE-SEED.
3. STONE CHECK DAMS AND SILT FENCING SHALL BE INSPECTED REGULARLY FOR SEDIMENT ACCUMULATION AND DETENTION.
4. SEEDING/MULCHED AREA SHALL BE INSPECTED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE REPAIRED AS NECESSARY.
5. EROSION CONTROL DEVICES SHALL NOT BE REMOVED UNTIL THE ENGINEER HAS APPROVED FINAL STABILIZATION.
6. STONE CHECK DAMS AND SILT FENCING SHALL BE INSTALLED IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND AS DESIGNED IN GP-0-10-001.
7. PRIOR TO CONSTRUCTION OF ANY PHASE, THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.
8. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES. EQUIPMENT SHALL NOT OPERATE UNNECESSARILY.
9. EXISTING PAVED AREAS SHALL BE CLEANED AT THE DIRECTION OF THE ENGINEER.
10. WATER TRUCKS SHALL BE USED TO MINIMIZE DUST POLLUTION ON SITE, AND ON ADJACENT ROADWAYS/ROADWAY AREAS AS DIRECTED BY THE ENGINEER.
11. ANY WATER PUMPED AS A RESULT OF DETERIATING ACTIVITIES SHALL BE PUMPED INTO A DRAINING PIT.
12. CONCRETE WASHOUT AREAS SHALL BE DESIGNED BY THE DESIGN ENGINEER AND PROTECTED AS ACCORDING WITH GP-0-20-001.
13. ALL AREAS DISTURBED IN THE CONSTRUCTION PROCESS SHALL BE RE-SEED AS SOON AS PRACTICABLE. PARTICULAR CARE SHALL BE TAKEN TO RE-SEED SLOPES.
14. IT IS RECOMMENDED THAT ALL EROSION CONTROL DEVICES BE PLACED FOR THE ENTIRE PHASE AS SHOWN ON THE EROSION CONTROL PLAN. PLACEMENT MAY BE DELAYED, HOWEVER, TO SUIT CONSTRUCTION SEQUENCING AS APPROVED BY THE ENGINEER.
15. STOCK PILES SHALL BE PROTECTED BY A SEDIMENT CONTROL FENCE OR TEMPORARY SEDIMENT CONTROL TRENCH PER GP-0-20-001. THESE DEVICES SHALL BE MAINTAINED IN EFFECT UNTIL STOCK PILES AND STOCK PILES ARE REMOVED AND STOCK PILING AREAS ARE PERMANENTLY STABILIZED.
16. STOCK PILES SHALL BE SEEDDED UPON SUSPENSION OF WORK OR MATERIAL STORAGE SHALL BE COVERED WITH MULCH OR OTHER PROTECTIVE MEASURES.
17. IN NO CASE SHALL ERODIBLE MATERIALS BE STOCKPILED WITH 25 FEET OF ANY DITCH, STREAM OR OTHER SURFACE WATER BODY.
18. SILT FENCING SHALL BE INSTALLED AT THE DOWN GRADIENT PERIMETERS OF ALL SLOPES TO BE GRADED, PRIOR TO GRADING OPERATIONS.
19. SEDIMENT SILLING BASINS SHALL BE UTILIZED TO PREVENT OFF SITE EROSION.
20. THE STORMWATER DETENTION POND(S) AND CUT-OFF SWALES SHALL BE CONSTRUCTED TO PREVENT EROSION IN THE POND(S) AND SWALES.
21. WHERE NECESSARY, TEMPORARY TRENCHES WILL BE REQUIRED TO ROUTE STORMWATER TO CUT OFF SWALES AND DETENTION POND(S).
22. UPON INSTALLATION OF ANY CATCH BASIN, INSTALL EXCAVATED DRAIN INLET PROTECTION. THIS SHALL REMAIN UNTIL THE DRAINAGE AREA IS STABILIZED.
23. PRIOR TO ANY CONSTRUCTION ALL FEDERAL JURISDICTIONAL WETLANDS SHALL BE IDENTIFIED AND PROTECTED. IF ANY FEDERAL JURISDICTIONAL WETLANDS ARE PRESENT, THE ORANGE FENCING SHALL BE INSTALLED AT THE ESTABLISHED WETLAND BOUNDARY. THE SILT FENCING SHALL BE LOCATED BETWEEN THE BUFFER AND THE JOB SITE.
24. CLEARING OPERATIONS SHALL BE LIMITED TO ACTIVE WORK AREAS.
25. CARE SHALL BE TAKEN TO PRESERVE AS MUCH EXISTING VEGETATION AS POSSIBLE AND HEALTHY TREES OF DESIRABLE SPECIES SHALL BE PROTECTED.
26. RIP-RAP CUTOFF PROTECTION: RIP-RAP SHALL BE PROVIDED AT CULVERT ENTRIES AND EXITS TO PROTECT THE CULVERTS AND TO PREVENT CUTOFF SIDE SLOPES FROM EROSION, AND SHALL BE ESTABLISHED AS THE CULVERT IS INSTALLED.
27. STORM INLET PROTECTION: IMMEDIATELY FOLLOWING COMPLETION OF ANY OF ALL OF THE PROPOSED STORM DRAIN INLETS, STORM DRAIN INLET PROTECTION SHALL BE INSTALLED TO PROTECT THE INLET AND TO PREVENT EROSION. SEDIMENT ENTRANCE TO THE STORM DRAIN PROTECTION SHALL BE MAINTAINED IN GOOD CONDITION UNTIL THE DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED.
28. STONE CHECK DAMS SHALL BE PROVIDED AT ALL STORMWATER OUTLETS UNTIL VEGETATION HAS BEEN ESTABLISHED.
29. RECP (ROLLED EROSION CONTROL PRODUCT) SHALL BE SUEDE OR EXCELGUR OR EQUIVALENT TO PREVENT EROSION OF THE SLOPES OF THE DRAINAGE AREAS. CREEPING RECP RESCUE AND PERENNIAL RYERGRASS AT A RATE OF 25, 20 AND 10 LBS PER 1000 SQ. YD. SHALL BE USED TO PREVENT EROSION.
30. EROSION AND SEDIMENT CONTROL MEASURES SHALL INCLUDE A SNAPP MONITORING PROFESSIONAL AS WELL AS COORDINATION WITH MUNICIPALITY OFFICIALS IN ADDITION TO INSPECTION RECORDS OF CONTRACTOR AND/OR SITE

EROSION AND SEDIMENT CONTROL PLAN
1415 WASHINGTON AVENUE
CITY OF ALBANY
COUNTY OF ALBANY, STATE OF NEW YORK

FILE: 200015

C8/15



*HERSHBERG
&
HERSHBERG*

*Consulting Engineers
and Land Surveyors*
18 Locust Street
Albany, New York 12203

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GENERAL REVISIONS	6/8/21
RESPONSE REVISIONS	7/12/21
GENERAL REVISIONS	8/4/21
AUD COMMENTS DATED 8/20/21	8/26/21
COMMENT REVISIONS	10/25/21

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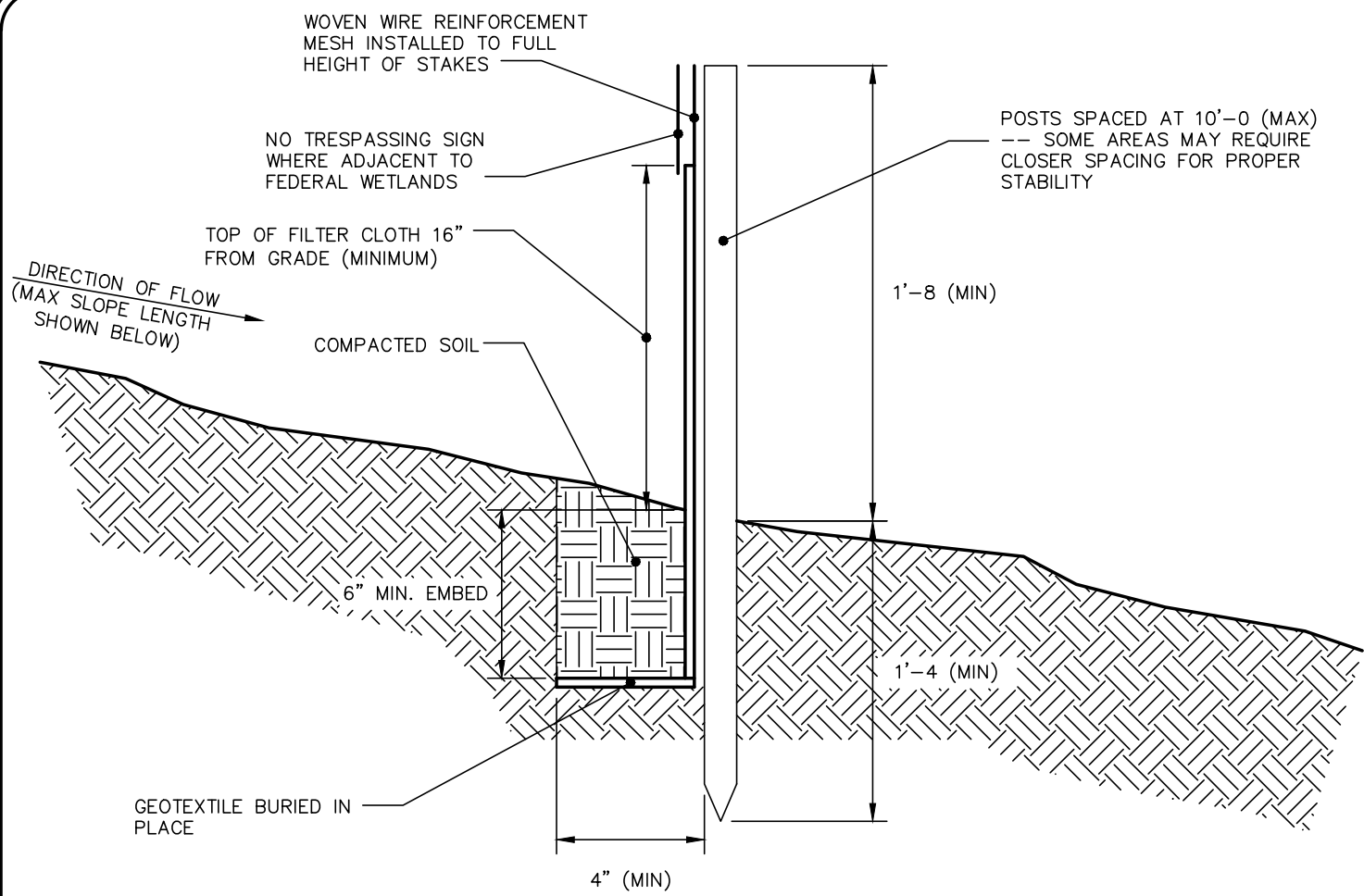
HK: DRH

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03

SCA

15



MAXIMUM ALLOWABLE SLOPE LENGTH

MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUNOFF TO A SECTION OF SILT FENCE SHALL BE AS FOLLOWS:

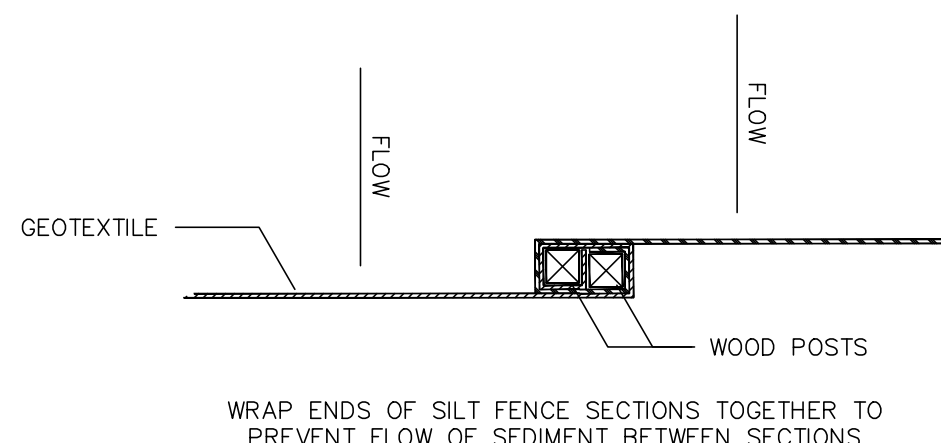
SLOPE STEEPNESS:	MAX. SLOPE LENGTH:
1:2	25 FT
1:3	50 FT
1:4	75 FT
1:5 OR FLATTER	100 FT

NOTE: MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO SILT FENCE SECTION SHALL NOT EXCEED 1/4 ACRE PER 100 FT OF FENCE. CONCENTRATED DISCHARGE OF SEDIMENT LADEN WATER SHALL NOT BE ALLOWED TO FLOW DIRECTLY TO THE FENCING.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. INSTALL SILT FENCE IN ACCORDANCE WITH "THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", SECTION 7A.
2. WOVEN WIRE FENCE SHALL BE 12 1/2 GA., 6" MAXIMUM MESH OPENING, FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
3. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
4. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE WRAPPED TOGETHER PER SILT FENCE JOINT DETAIL ON THIS SHEET.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN ACCUMULATION REACHES 1/2 OF DESIGN CAPACITY OF FENCE (1/2 HEIGHT OF FILTER FABRIC) OR WHEN "BULGES" DEVELOP IN FENCING.

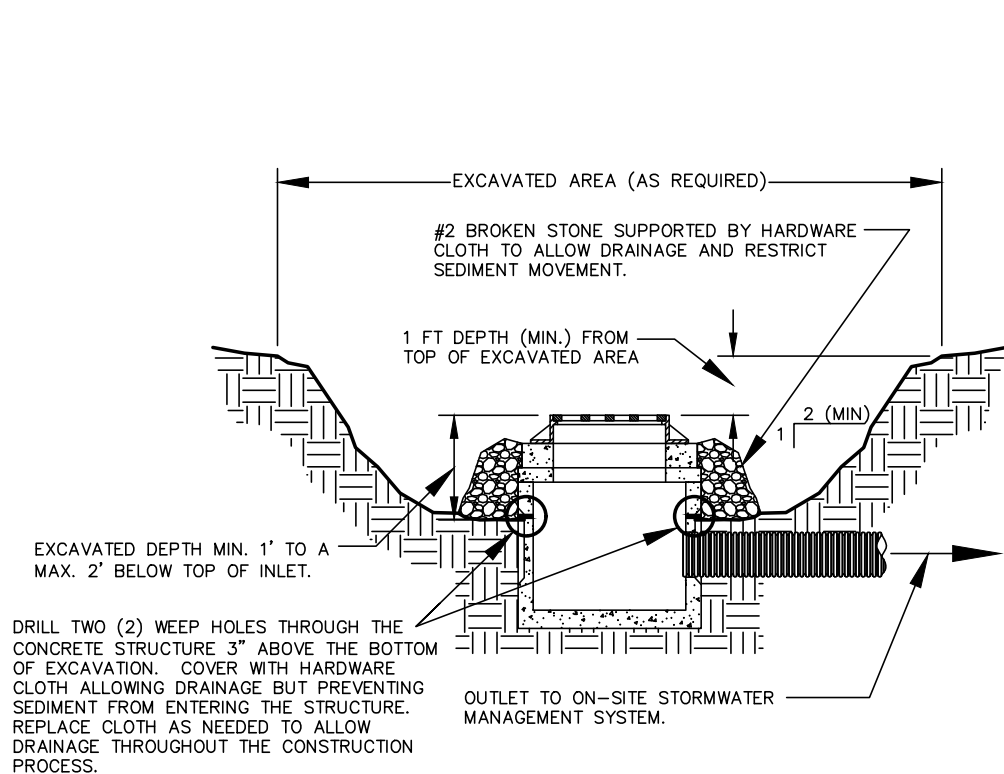
POSTS: STEEL EITHER "I" OR "U" TYPE OR 2" HARDWOOD
FENCE: WOVEN WIRE, 12 1/2 GA. 6" MAX. MESH OPENING
FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.



SILT FENCE JOINT DETAIL

1 C9 SILT FENCE DETAIL

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

1. INSTALL INLET PROTECTION IN ACCORDANCE WITH THE JULY 2016 "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL".
2. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
3. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
4. WEEP HOLES SHALL BE PROTECTED BY 2" STONE OR GRAVEL.
5. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.
6. THE MAXIMUM DRAINAGE AREA SHALL BE 1 ACRE.

DESIGN CRITERIA:

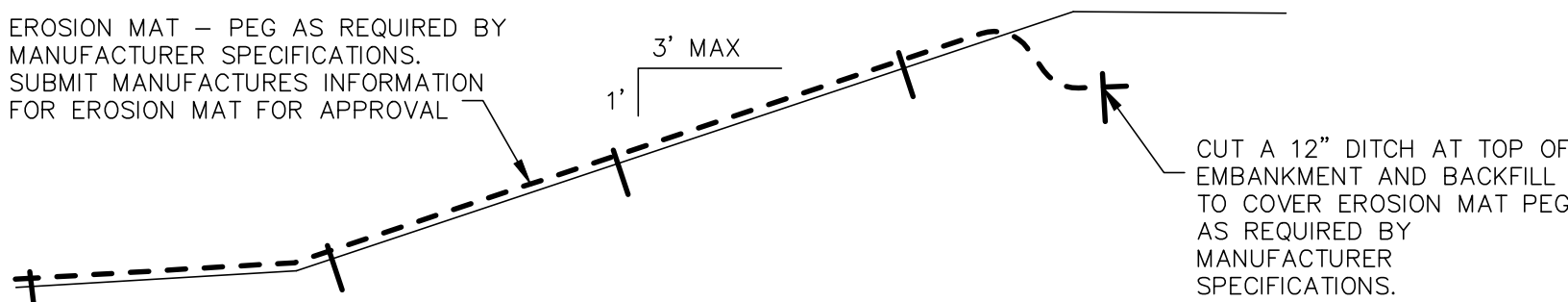
LIMIT THE DRAINAGE AREA TO THE INLET DEVICE TO ONE (1) ACRE. EXCAVATED SIDE SLOPES SHALL BE NO STEEPER THEN 2:1. THE MINIMUM DEPTH SHALL BE 1 FOOT AND THE MAXIMUM DEPTH 2 FEET AS MEASURED FROM THE CREST OF THE INLET STRUCTURE. SHAPE THE EXCAVATED BASIN TO FIT CONDITIONS WITH THE LONGEST DIMENSION ORIENTATED TOWARD THE LONGEST INFLOW AREA TO PROVIDE MAXIMUM TRAP EFFICIENCY. THE CAPACITY OF THE EXCAVATED BASIN SHOULD BE ESTABLISHED TO CONTAIN 900 CUBIC FEET PER ACRE OF DISTURBED AREA. WEEP HOLES, PROTECTED BY FABRIC AND STONE, SHOULD BE PROVIDED FOR DRAINING THE TEMPORARY POOL.

INSPECT AND CLEAN THE EXCAVATED BASIN AFTER EVERY STORM. SEDIMENT SHOULD BE REMOVED WHEN 50 PERCENT OF THE STORAGE VOLUME IS ACHIEVED. THIS MATERIAL SHOULD BE INCORPORATED INTO THE SITE IN A STABILIZED MANNER.

2 C9 EXCAVATED DROP INLET PROTECTION

NOT TO SCALE

EROSION MAT - PEG AS REQUIRED BY MANUFACTURER SPECIFICATIONS. SUBMIT MANUFACTURES INFORMATION FOR EROSION MAT FOR APPROVAL

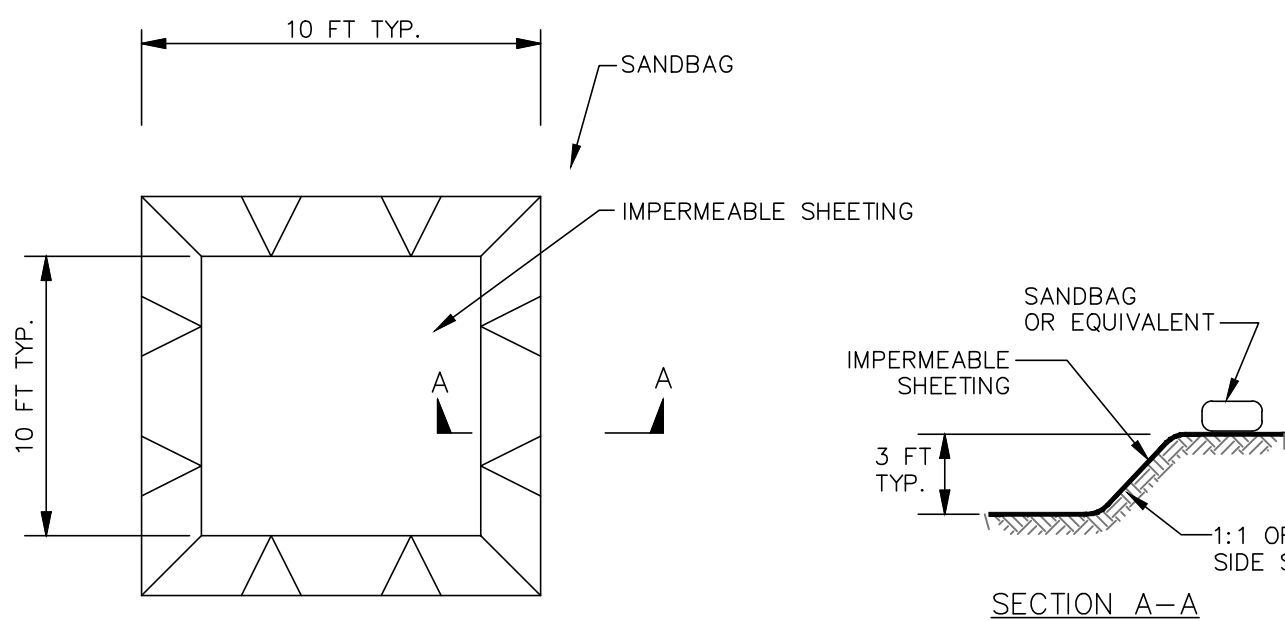


NOTE:

USE THIS DETAIL AS REQUIRED TO STABILIZE SLOPES DURING CONSTRUCTION AND UPON COMPLETION OF CLEARING AND GRADING TO PREVENT EROSION OF SLOPES.

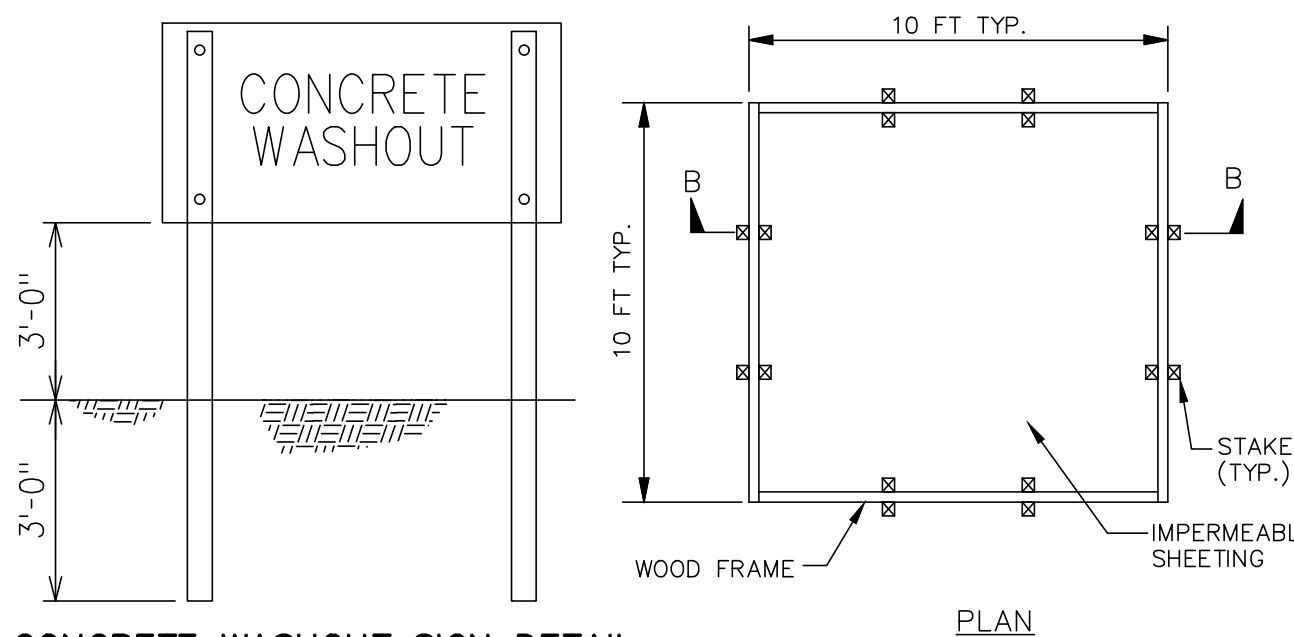
6 C9 ANCHORED STABILIZATION MATTING DETAIL

NOT TO SCALE



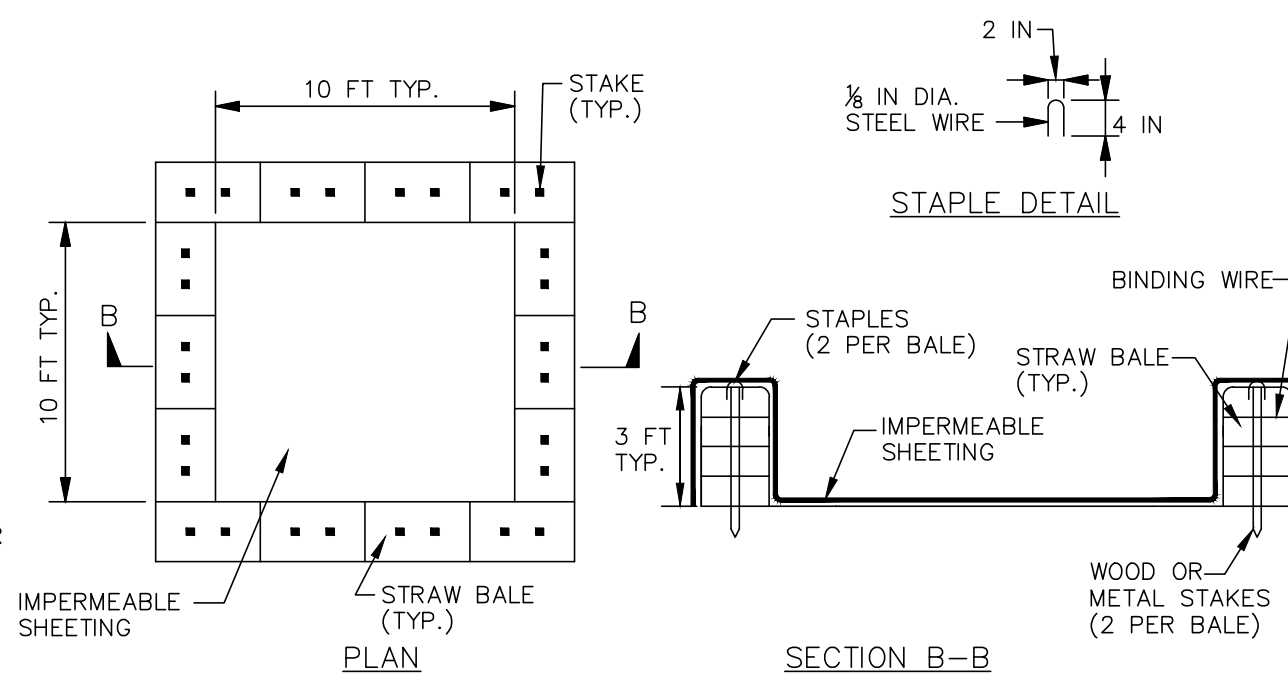
PLAN

EXCAVATED WASHOUT STRUCTURE



CONCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT)

WASHOUT STRUCTURE WITH WOOD PLANKS



NOTE: CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3 FT DEPTH

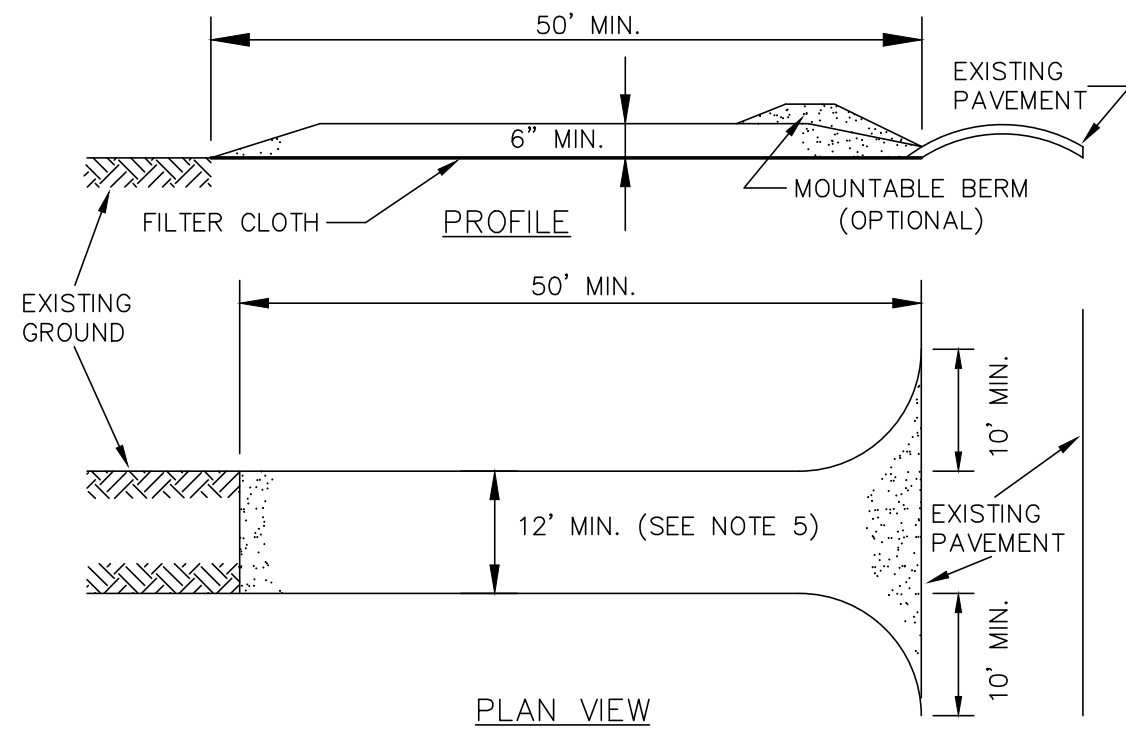
WASHOUT STRUCTURE WITH STRAW BALES

CONSTRUCTION SPECIFICATIONS

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
4. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED), EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

NOT TO SCALE

8 C9 ONSITE CONCRETE TRUCK WASHOUT STRUCTURE DETAIL



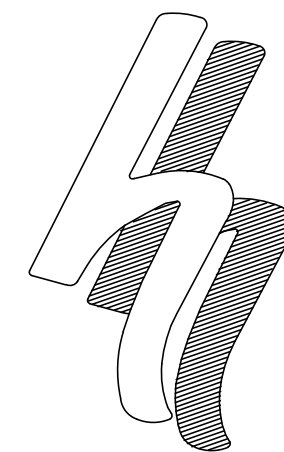
PLAN VIEW

CONSTRUCTION SPECIFICATIONS:

1. INSTALL CONSTRUCTION ACCESS IN ACCORDANCE WITH "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", SECTION 7A.
2. STONE SIZE -USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
3. LENGTH - NOT LESS THAN 50 FEET {EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY}.
4. THICKNESS- NOT LESS THAN (6) INCHES.
5. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. IF CONSTRUCTED AS THE ONLY ENTRANCE TO THE SITE, WIDTH SHALL BE TWENTY-FOUR (24) FEET.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING DR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS ONTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

4 C9 STABILIZED CONSTRUCTION ACCESS DETAIL

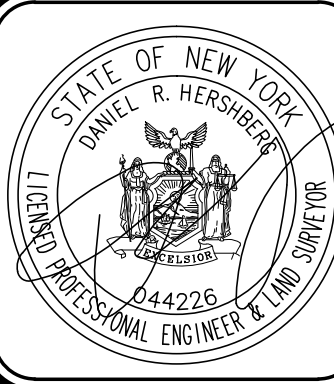
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DATE	REVISIONS
10/16/20	1. FULL SET OF PLANS
6/9/21	2. GENERAL REVISIONS
7/12/21	3. RESPONSE REVISIONS
8/4/21	4. GENERAL REVISIONS
8/26/21	5. AND COMMENTS DATED 8/20/21
10/25/21	6. COMMENT REVISIONS

EROSION AND SEDIMENT CONTROL DETAILS
1415 WASHINGTON AVENUE
CITY OF ALBANY, STATE OF NEW YORK
COUNTY OF ALBANY, STATE OF NEW YORK

200015-5.DWG

DATE: 1/24/2020

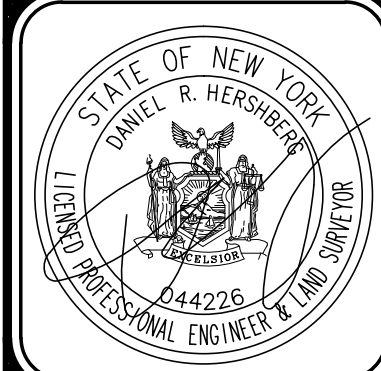
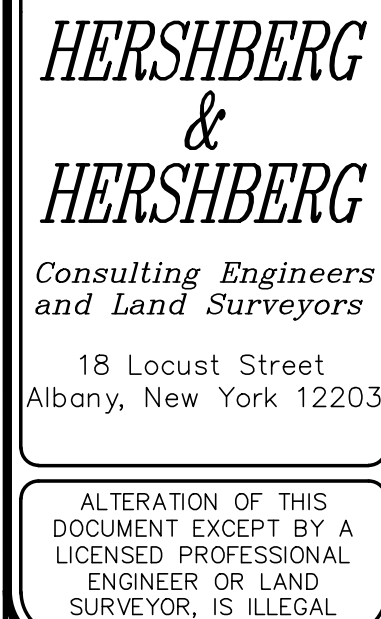
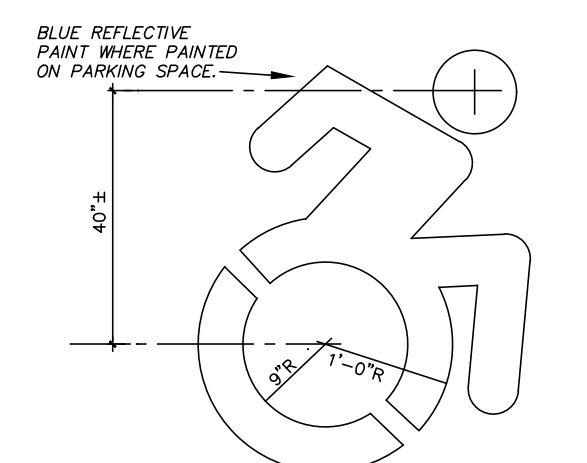
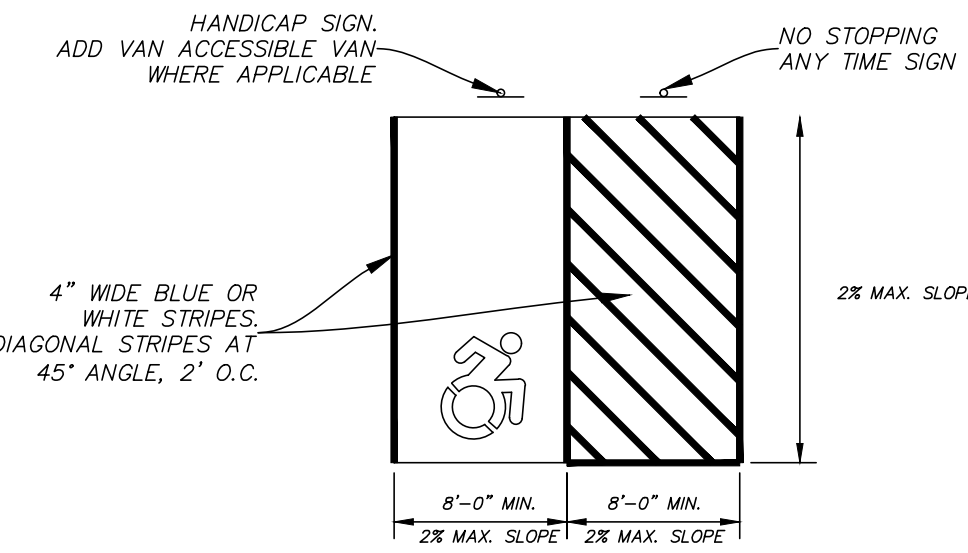
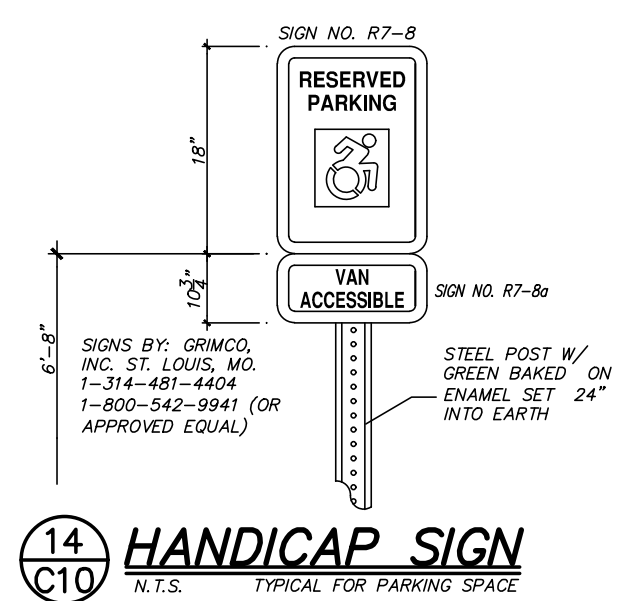
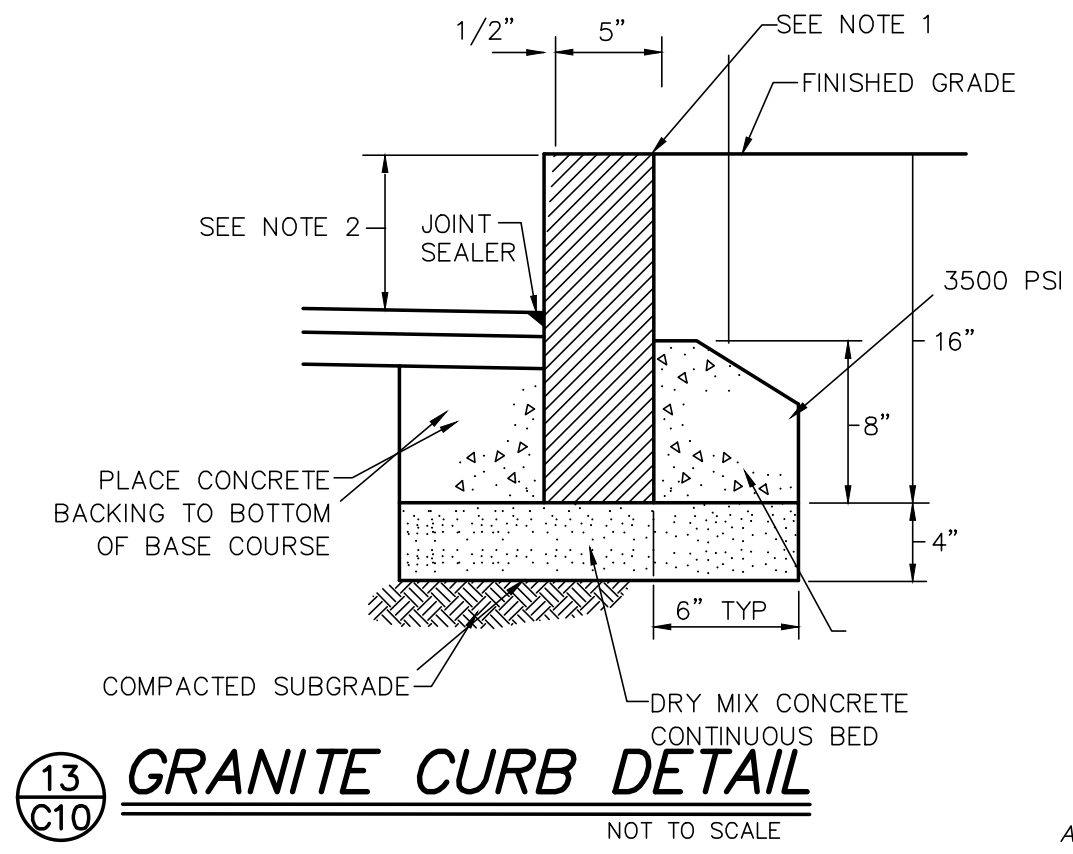
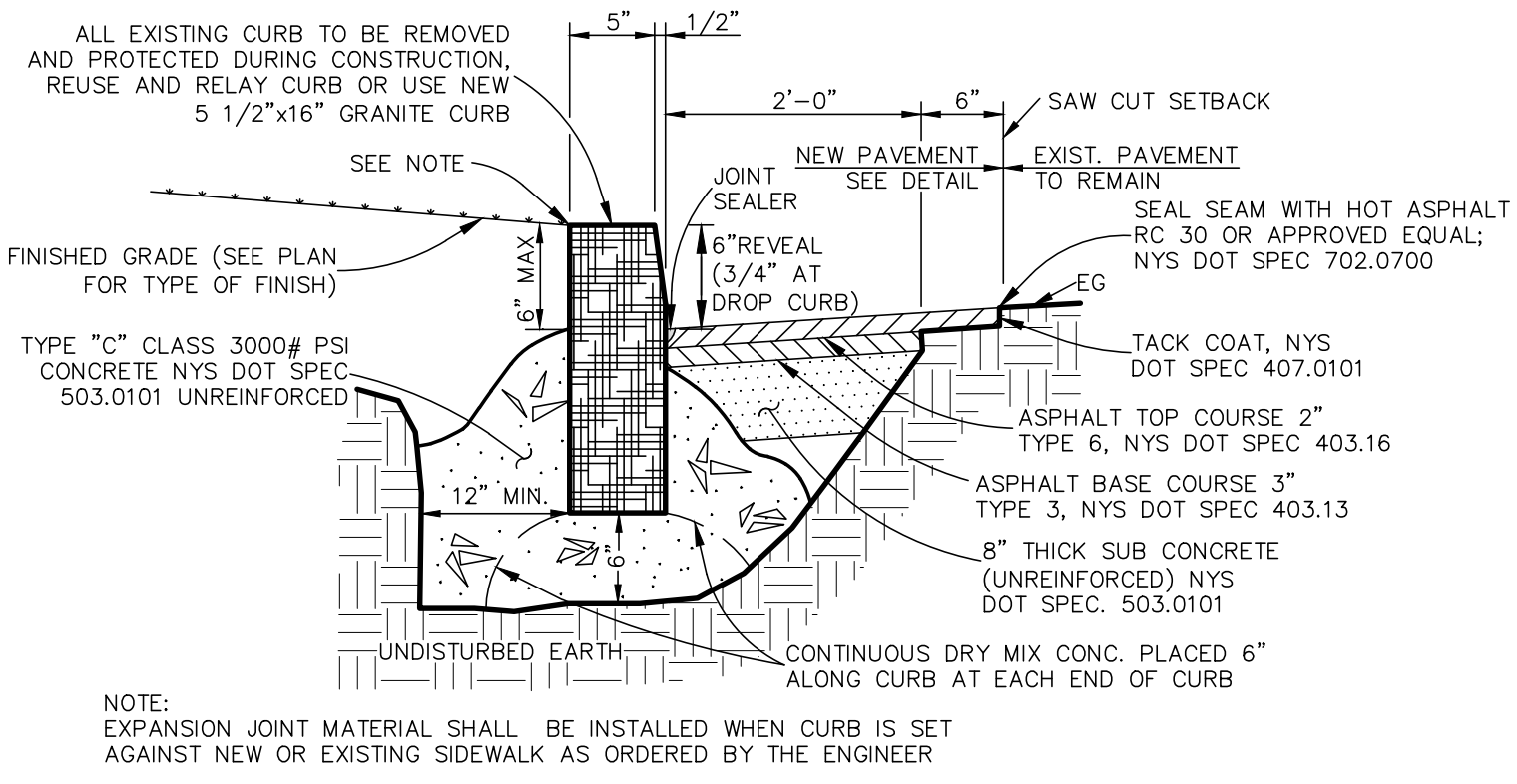
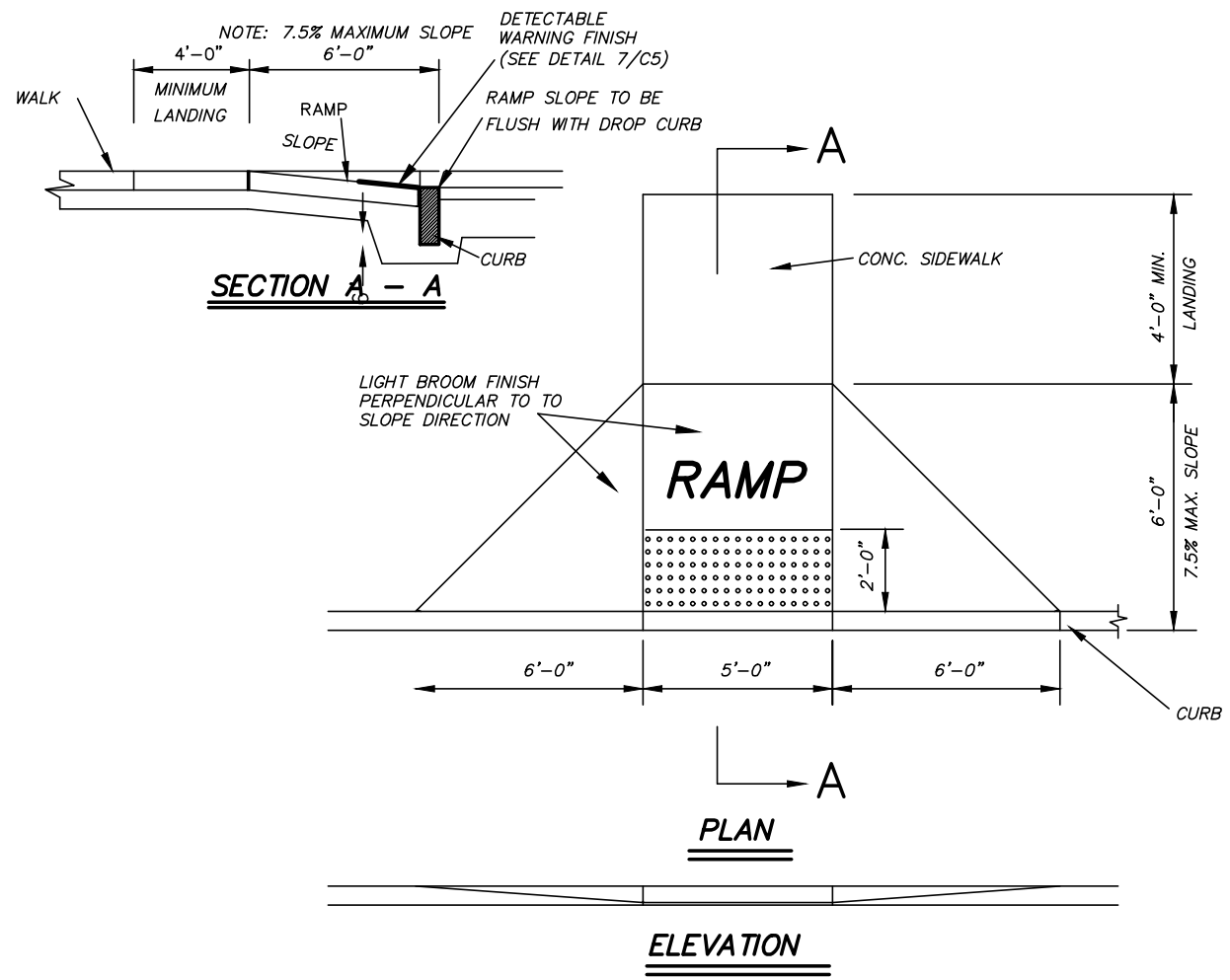
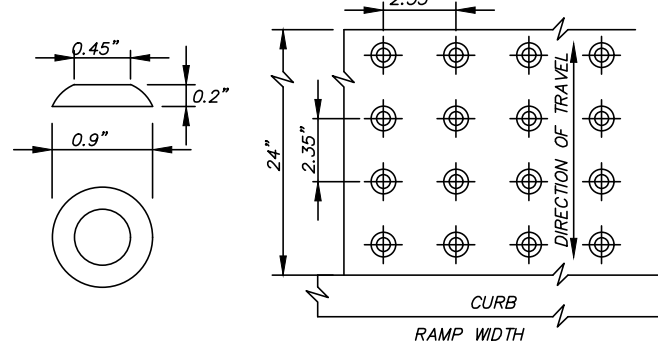
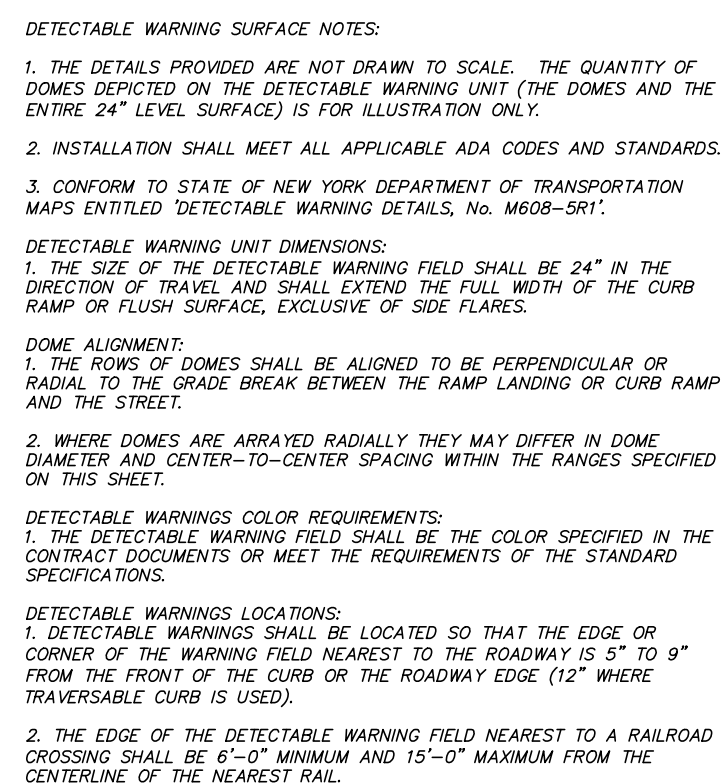
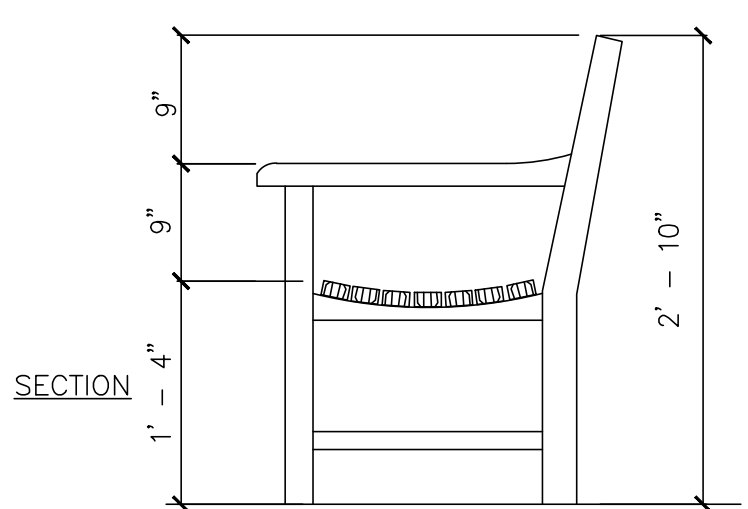
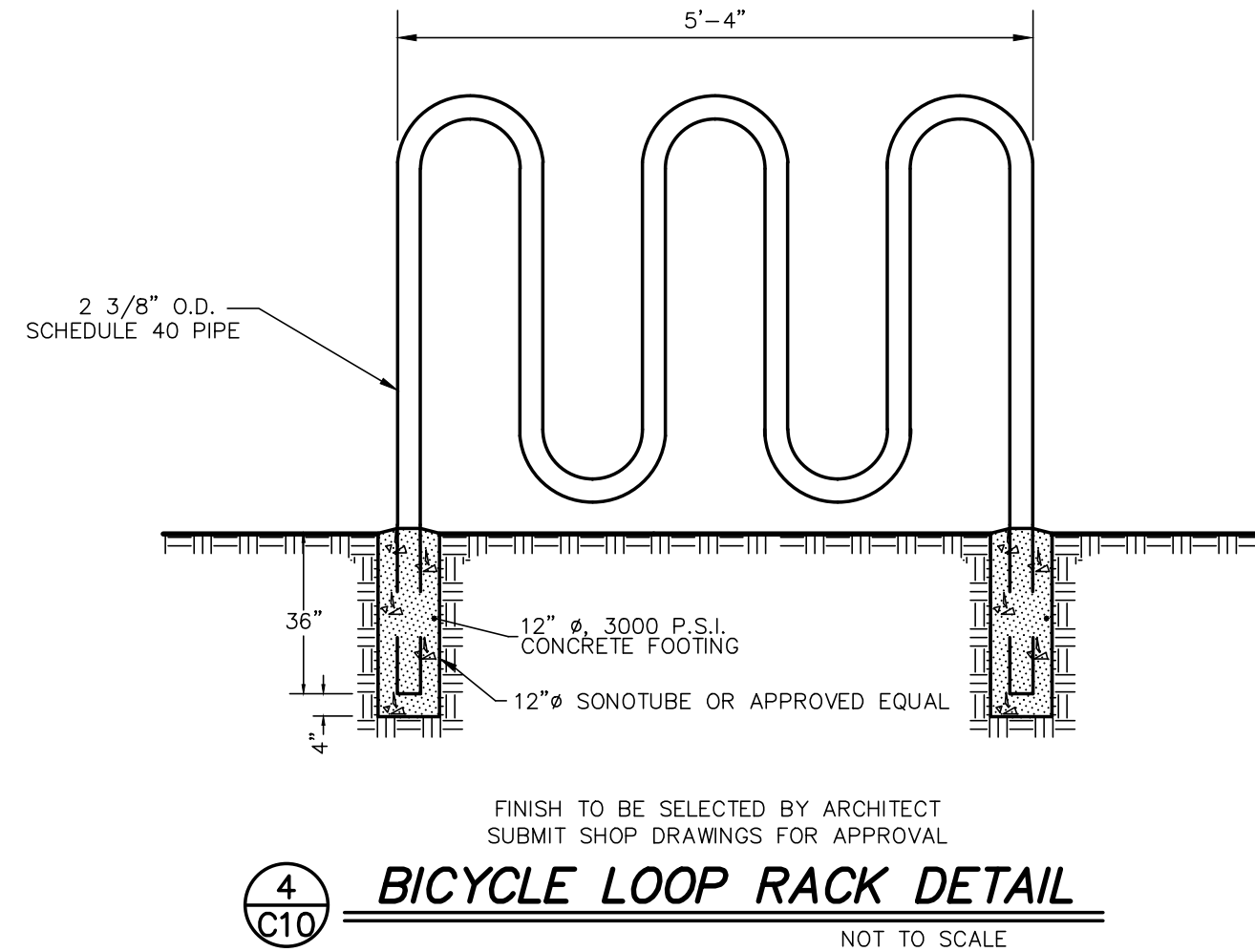
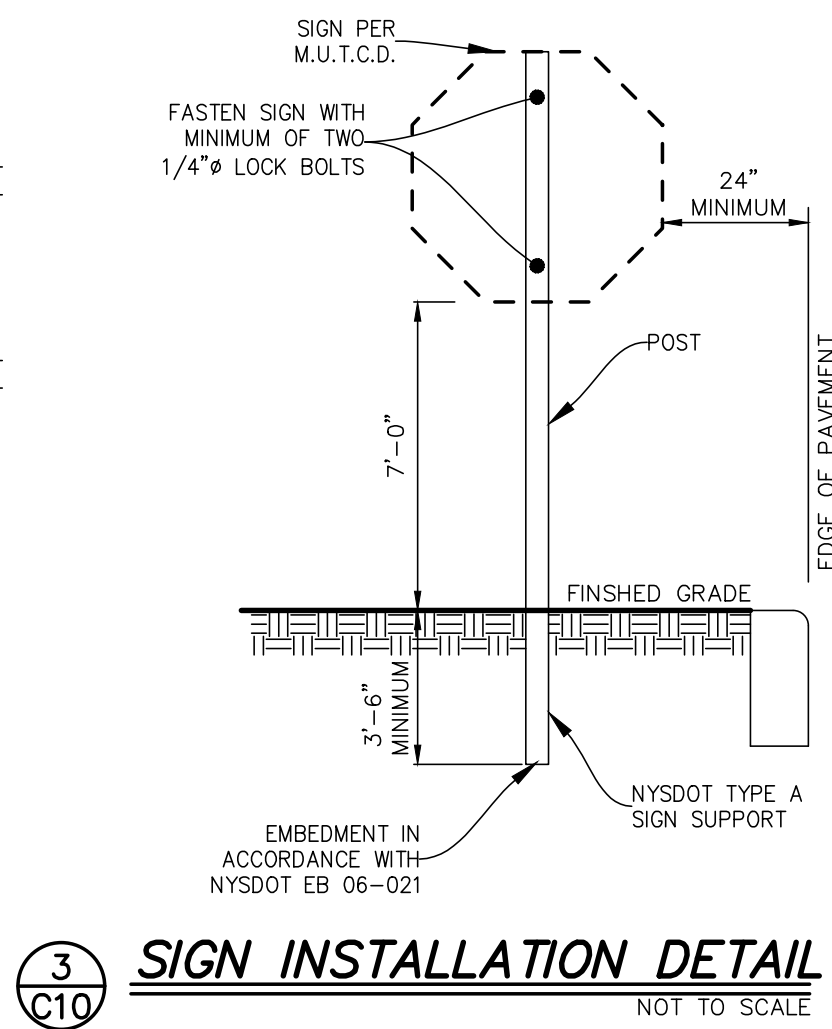
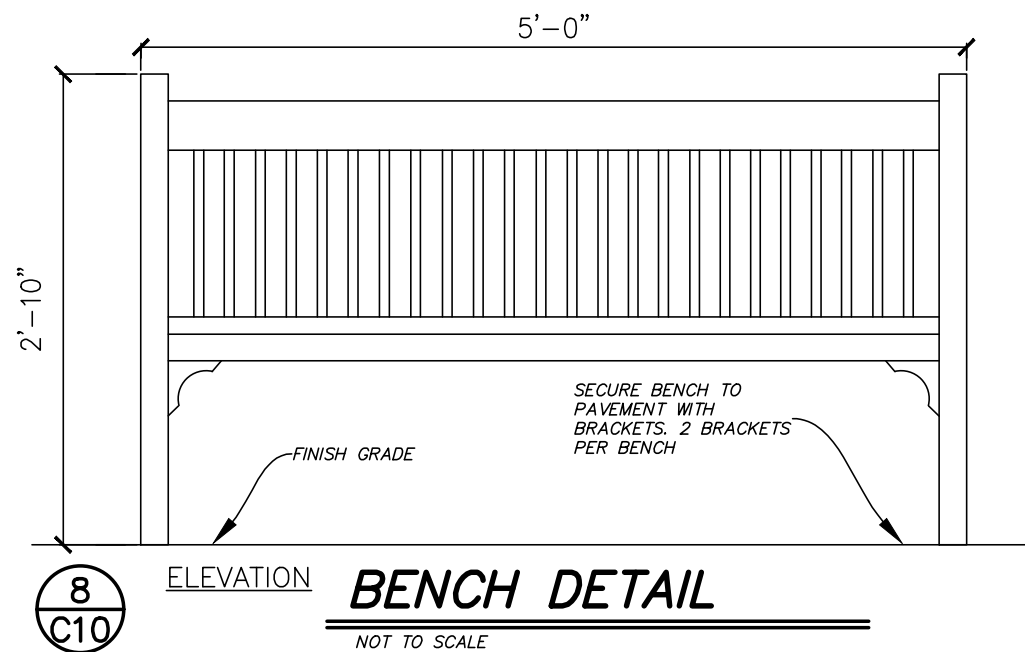
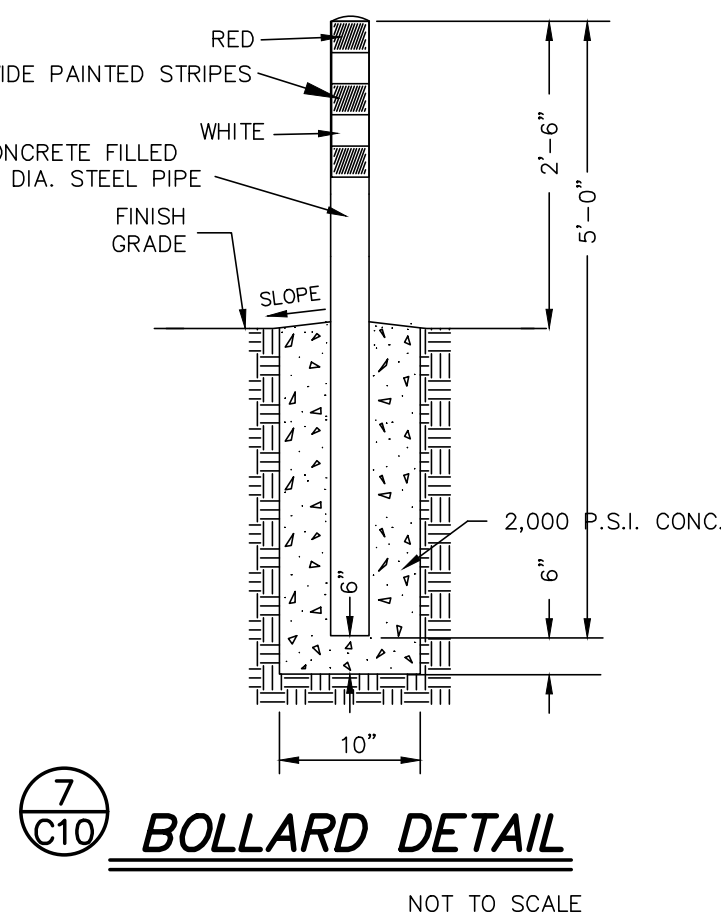
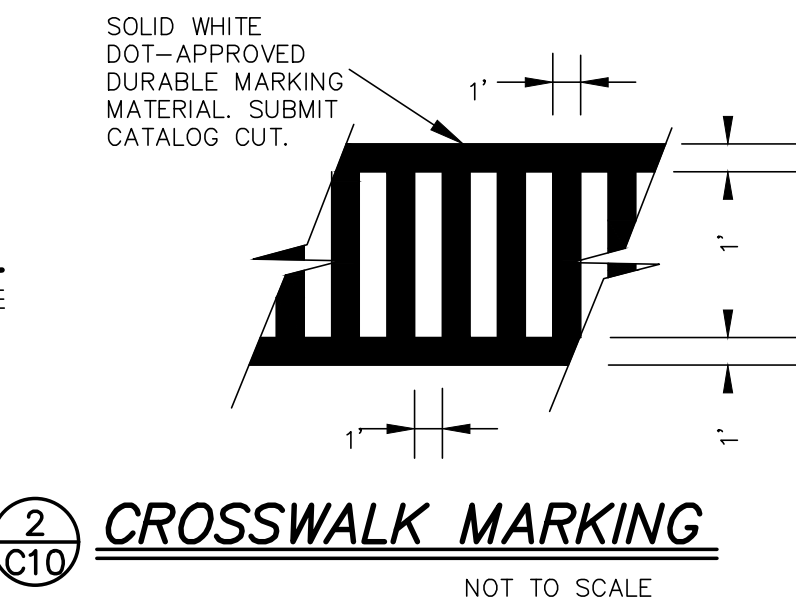
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SCALE: AS NOTED

BY: MM

FILE: 200015

C9/15



REMARKS	DATE
FULL SET OF PLANS	10/16/20
GENERAL REVISIONS	6/18/21
RESPONSE REVISIONS	7/12/21
GENERAL REVISIONS	8/14/21
AND COMMENTS DATED 8/20/21	8/26/21
COMMENT REVISIONS	10/25/21

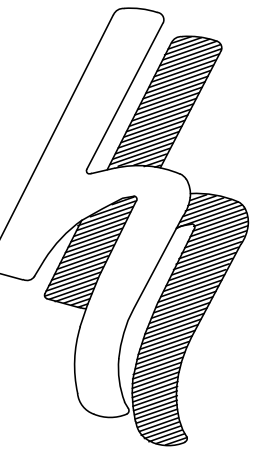
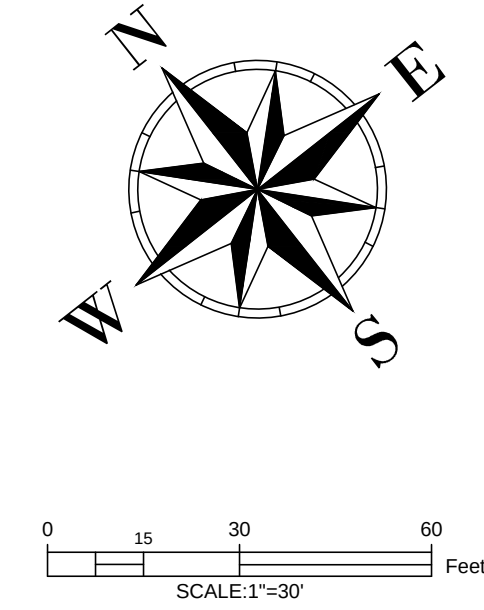
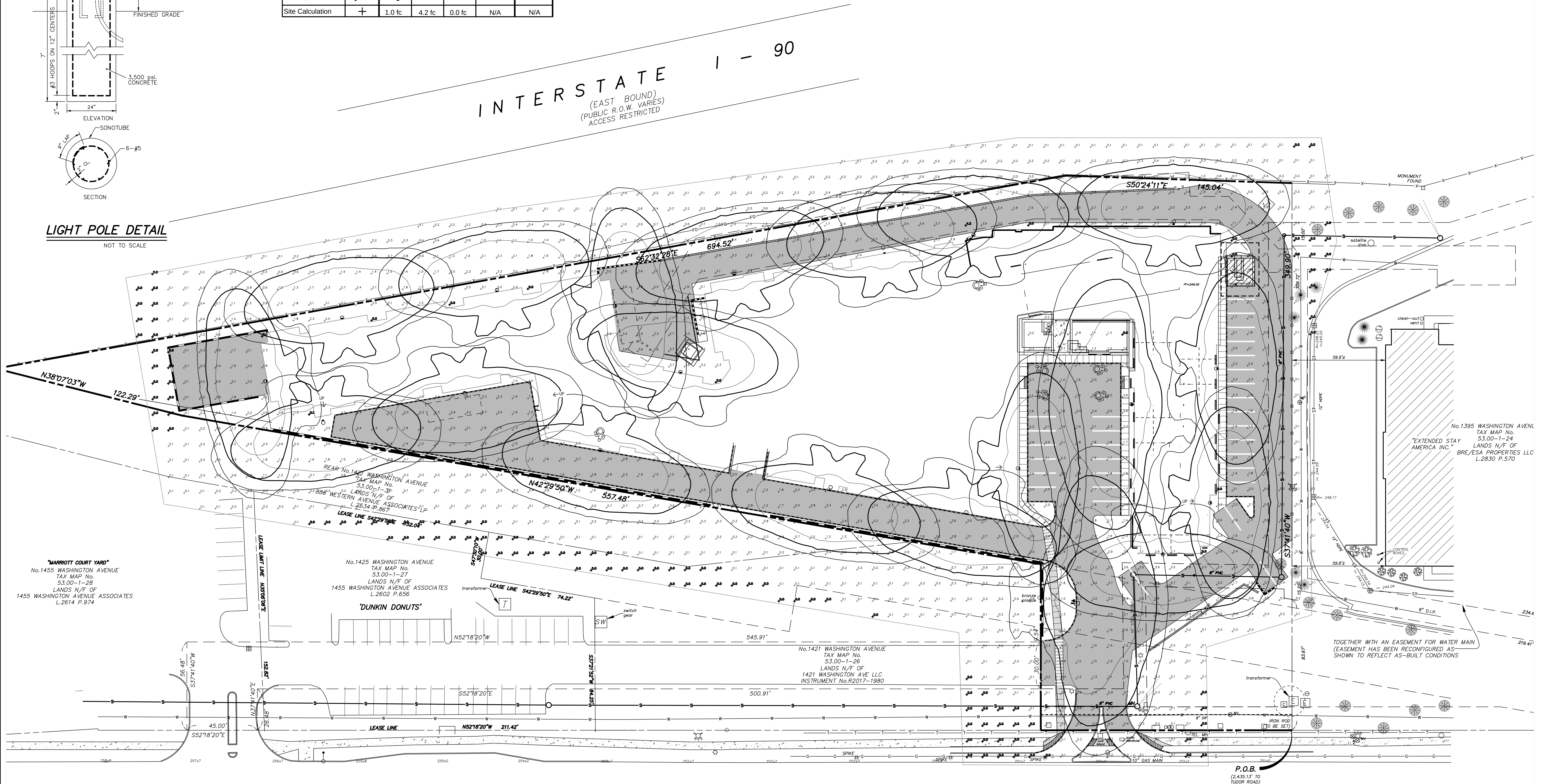
SITE DETAILS
1415 WASHINGTON AVENUE
CITY OF ALBANY
COUNTY OF ALBANY, STATE OF NEW YORK

(C10/15)



Note
1. FIXTURE TYPE SL1 IS SHOWN POLE MOUNTED AT 27" ABOVE FINISHED GRADE (25' POLE, 2" ABOVE GRADE BASE).
2. FIXTURE TYPE WP1 IS SHOWN WALL MOUNTED AT 20" ABOVE FINISHED GRADE.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site Calculation	+	1.0 fc	4.2 fc	0.0 fc	N/A	N/A



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REVISIONS	REMARKS	DATE
	FULL SET OF PLANS	10/16/20
	GENERAL REVISIONS	6/8/21
	RESPONSE REVISIONS	7/12/21
	GENERAL	8/6/2021
	AND COMMENTS DATED 8/20/21	8/26/21
	ADDITIONAL REVISIONS	8/26/2021

LIGHTING PLAN
1415 WASHINGTON AVENUE
CITY OF ALBANY
COUNTY OF ALBANY, STATE OF NEW YORK

GENERAL NOTES

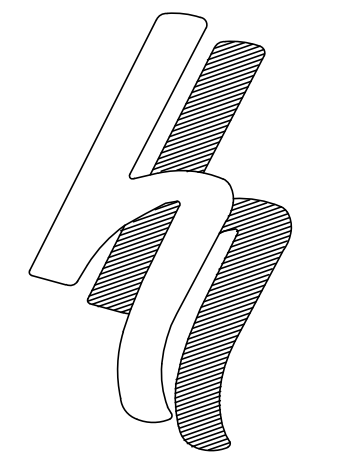
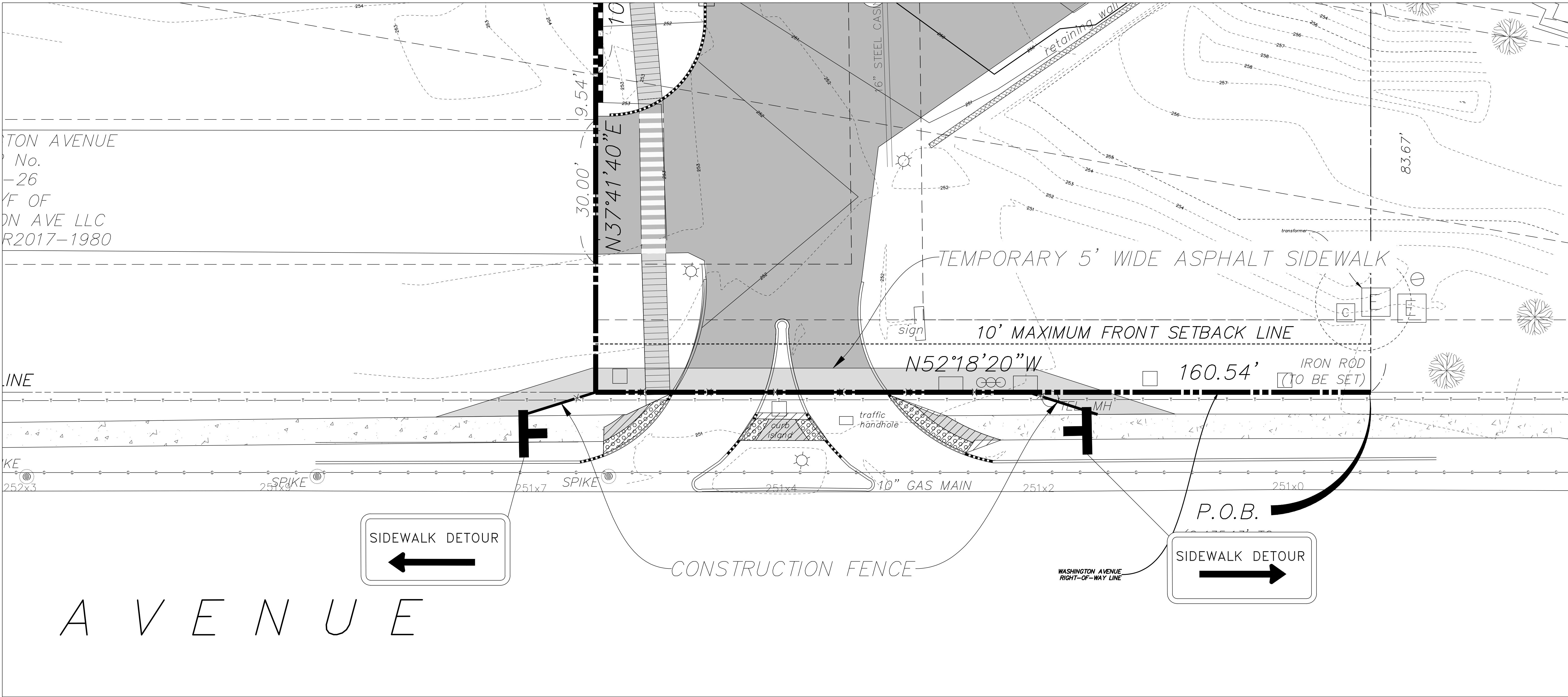
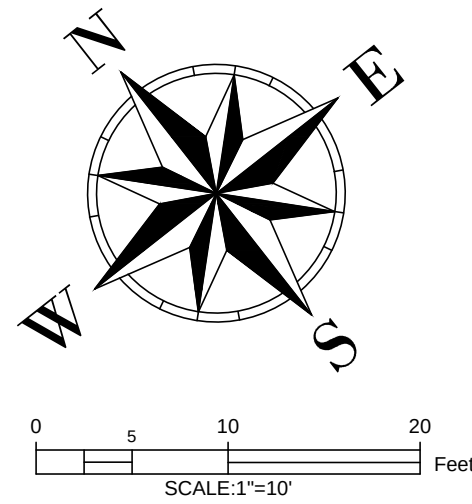
1. ACCESS FOR CITY'S MAINTENANCE STAFF/REPRESENTATIVES MUST BE MAINTAINED AT ALL TIMES TO THE TRAFFIC SIGNAL EQUIPMENT AT THIS INTERSECTION.
2. DAMAGE TO CITY SIDEWALKS, CURBS, AND ROADWAYS WILL BE THE SOLE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTORS.
3. DEVELOPER AND CONTRACTORS ARE RESPONSIBLE FOR CALLING THE OFFICE OF THE CHIEF SUPERVISOR OF TRAFFIC ENGINEERING TO ARRANGE FOR PARKING RESTRICTIONS FOR THE PROJECT. ANY FEE FOR THE PARKING OR METER SPACES WILL BE THE RESPONSIBILITY OF THE DEVELOPER/CONTRACTOR. METER PARKING IS ON BROADWAY AND NON-METER PARKING IS ON LIVINGSTON AVE.
4. ONCE APPROVED THIS PLAN WILL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS A MODIFIED PLAN IS SUBMITTED AND APPROVED BY THE OFFICE OF CHIEF SUPERVISOR OF TRAFFIC ENGINEERING.
5. THERE SHALL BE NO CONSTRUCTION VEHICLE PARKING ON EITHER SIDE OF WASHINGTON AVENUE AND THE CONTRACTORS SHALL PROVIDE ON-SITE OR OFF-SITE PARKING FOR EMPLOYEES DURING CONSTRUCTION.



CUSTOM SIGNAGE DETOUR DETAILS
NOT TO SCALE

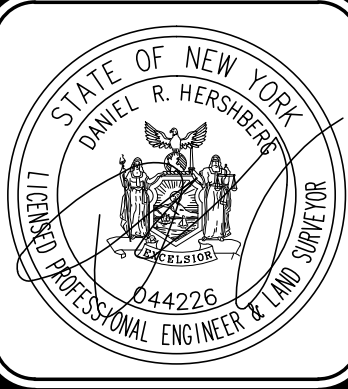
MAINTENANCE AND PROTECTION OF TRAFFIC NOTES

1. MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 619 OF THE JANUARY 1, 2019 NYS STANDARD SPECIFICATIONS AND THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) DATED MAY 2012 AND ALL OTHER APPLICABLE PROVISIONS CONTAINED IN THIS CONTRACT. ALL SIGN NUMBERS REFER TO THE M.U.T.C.D.
2. THE FINAL RESPONSIBILITY FOR THE PROTECTION OF THE TRAVELING PUBLIC AND HIS OWN PERSONNEL SHALL REST WITH THE CONTRACTOR.
3. PRIOR TO THE START OF WORK, THE CONTRACTOR MAY SUBMIT ANY PROPOSED CHANGES TO THE TRAFFIC CONTROL PLAN TO THE ENGINEER FOR APPROVAL. ANY CHANGE WHICH ALTERS THE BASIC CONCEPT OF THE PLAN MUST BE APPROVED BY THE REGIONAL DIRECTOR OR HIS DESIGNEE.
4. VEHICLES AND CONSTRUCTION EQUIPMENT BELONGING TO THE CONTRACTOR OR THE CONTRACTOR'S EMPLOYEES SHALL BE MOVED A MINIMUM OF 30 FEET FROM THE EDGE OF PAVEMENT DURING NON-WORKING HOURS.
5. DURING WORKING HOURS, NO CONSTRUCTION MATERIAL MAY BE STORED ON THE ROADWAY OR ROADBED EXCEPT IN A PROTECTED WORK ZONE.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES IN THE VICINITY OF THE PROJECT SITE AT ALL TIMES.
7. SIGN LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE. ACTUAL LOCATION SHALL BE ADAPTED TO PREVAILING CONDITIONS.
8. SIGNS THAT ARE NOT APPLICABLE SHALL BE COVERED OR OBSCURED FROM SIGHT.
9. THE W20-7 FLAGGER SIGN SHALL BE USED WHENEVER FLAGGING OCCURS FOR MORE THAN A BRIEF PERIOD OF TIME. THE SIGN SHALL BE PROMPTLY REMOVED, COVERED OR FACED AWAY FROM TRAFFIC WHEN THE FLAGGING OPERATION CEASES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION AND MAKING SURE ALL SIGNS, CONES AND DRUMS ARE IN PLACE AND IN GOOD CONDITION.
11. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SIGNS FOR THE DURATION OF THE PROJECT OR UNTIL NEW REPLACEMENT SIGNS ARE INSTALLED. ALL COSTS TO WORK AROUND, REPLACE ON TEMPORARY POSTS OR TO TEMPORARILY RELOCATE EXISTING SIGNS SHALL BE INCLUDED IN THE PRICE BID FOR ITEM 619.01 - BASIC MAINTENANCE & PROTECTION OF TRAFFIC.
12. LENGTH OF TAPERS SHOWN ON THE MAINTENANCE AND PROTECTION OF TRAFFIC GENERAL PLAN SHALL BE DETERMINED FROM SECTION 6C.08 OF THE M.U.T.C.D.. CONE SPACING SHALL BE DETERMINED FROM SECTION 6F.64 OF THE M.U.T.C.D..
13. NO ATTEMPT HAS BEEN MADE TO SHOW THE LOCATION OF ANY UNDERGROUND UTILITIES WHICH MAY EXIST WITHIN OR ADJACENT TO THE PROJECT AREA. PRIOR TO THE UTILIZATION OF THE INFORMATION SHOWN HERON, U.F.P.O. SHOULD BE NOTIFIED (811) FOR THE VERIFICATION OF THE EXISTENCE OF ANY AND ALL SUCH UTILITIES.
14. IT SHALL BE BE THE CONTRACTOR'S SOLE RESPONSIBILITY FOR ANY DAMAGE INCURRED DURING EXCAVATION OPERATIONS. ALL COSTS RELATED TO THE REPAIR OF DAMAGED UTILITIES SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
15. ALL CONSTRUCTION SIGNS SHALL BE PAID FOR UNDER ITEM 619.02. CONSTRUCTION SIGN MATERIALS SHALL COMPLY WITH SECTION 619-2 OF THE NYSDOT STANDARD SPECIFICATIONS.
16. WORK ZONES LEFT OVERNIGHT SHALL BE PROTECTED WITH THE APPROPRIATE WARNING SIGNS SUPPLEMENTED WITH TYPE "A" LOW INTENSITY WARNING LIGHTS. DRUMS OR BARRICADES SHALL BE USED FOR CHANNELIZATION. TWO-WAY TRAVEL SHALL BE PROVIDED DURING NON-WORKING HOURS.



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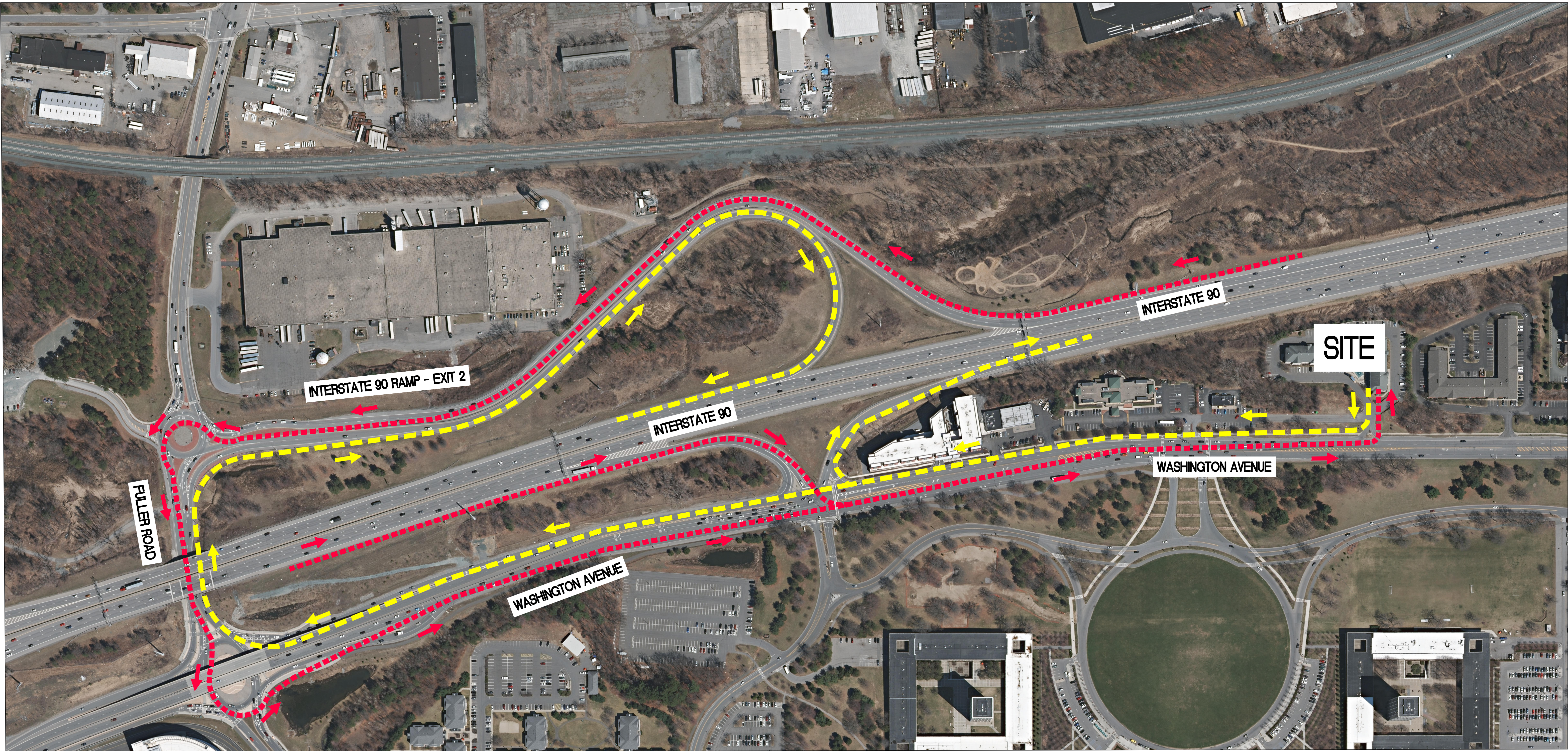


REMARKS	DATE
FULL SET OF PLANS	10/16/20
GENERAL REVISIONS	6/8/21
RESPONSE REVISIONS	7/12/21
LAND COMMENTS DATED 8/20/21	8/26/21
COMMENT REVISIONS	10/25/21

REVISIONS

MAINTENANCE AND PROTECTION OF TRAFFIC PLAN
1415 WASHINGTON AVENUE
CITY OF ALBANY
COUNTY OF ALBANY, STATE OF NEW YORK

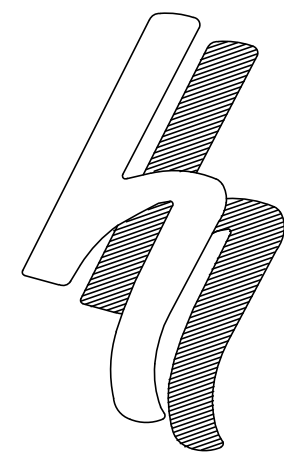
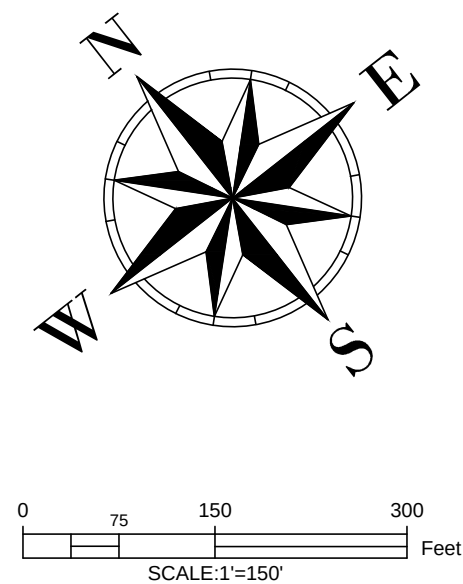
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CHK: DRH
DATE: 1/24/2020
BY: MM
200015-5.DWG



LEGEND

INGRESS ROUTE

EGRESS ROUTE



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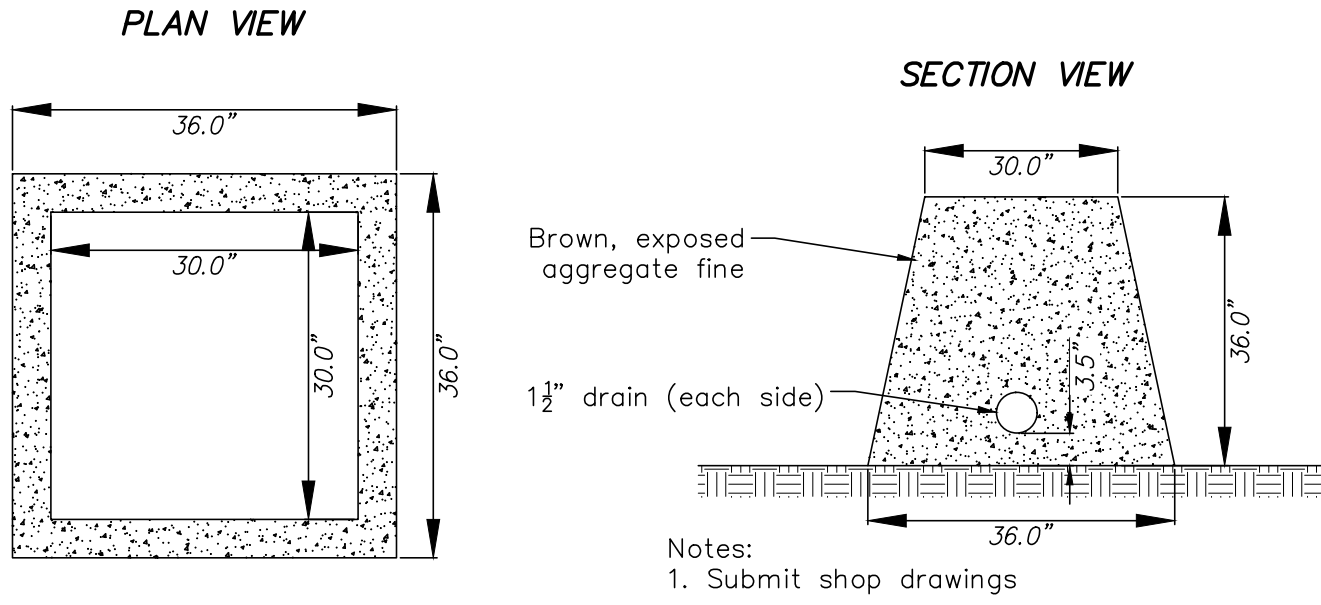


REVISIONS	DATE
FULL SET OF PLANS	10/16/20
RESPONSE REVISIONS	12/30/20
GENERAL REVISIONS	6/9/21
RESPONSE REVISIONS	7/12/21
AND COMMENTS DATED 8/20/21	8/26/21
COMMENT REVISIONS	10/25/21

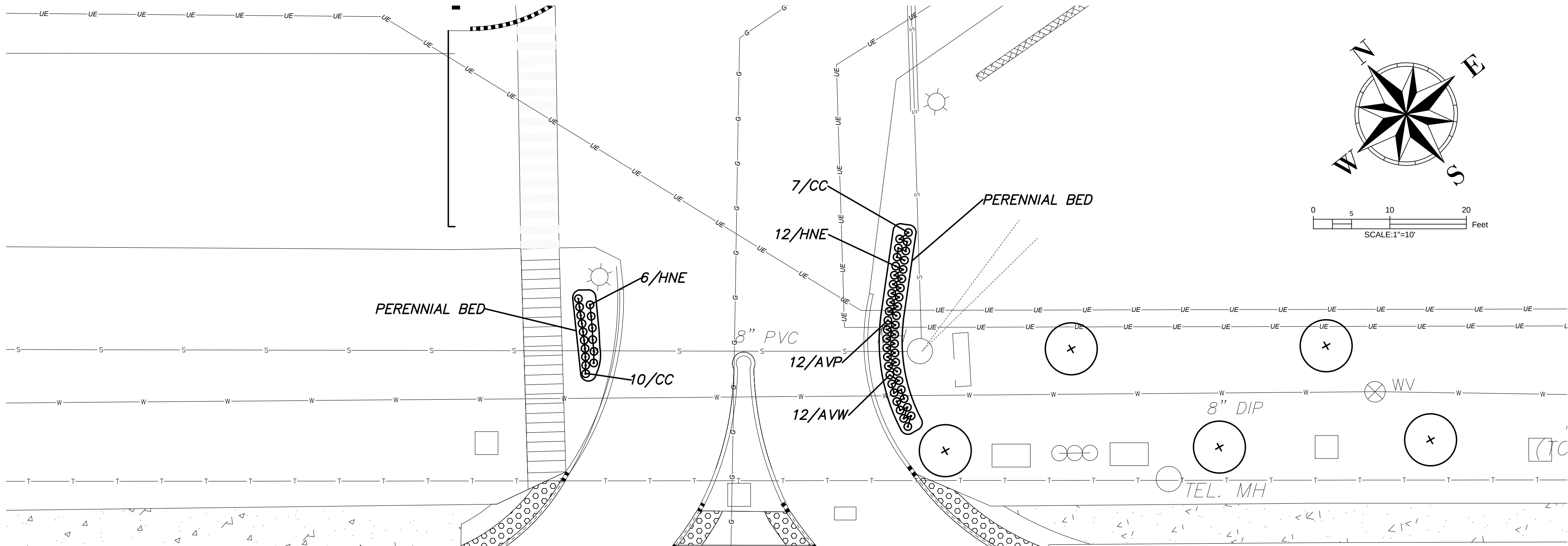
TRUCK ROUTING PLAN
1415 WASHINGTON AVENUE
CITY OF ALBANY, STATE OF NEW YORK
COUNTY OF ALBANY, STATE OF NEW YORK

PLANT MATERIAL SCHEDULE					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	AMT	COMMENTS
TREES					
AB	ABIES CONCOLOR	WHITE FIR	5'-6" HT.	9	B & B
AC	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	6'-7" HT. HEAVY	2	B & B
GS	GLEDITSIA TRIACANTHOS INERMIS 'SUNBURST'	SUNBURST HONEY-LOCUST	2 1/2"-3" CAL.	5	B & B
MA	MALUS 'ADIRONDACK'	ADIRONDACK CRABAPPLE	2.5"-3" CAL.	4	B & B
GROUND COVER					
SS	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUE STEM	1 YR.	16	2" PEAT POT
SHRUBS					
JG	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18" HT.	10	B & B
JS	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	5'-6" HT.	3	B & B
PERENNIALS					
AVP	ASTILBE 'VISIONS IN PINK'	VISION IN PINK ASTILBE	2 GAL.	18	CONTAINER GROWN
AVW	ASTILBE 'VISIONS IN WHITE'	VISION IN WHITE ASTILBE	2 GAL.	12	CONTAINER GROWN
CC	CHRYSANTHEMUM COCCINUM	PAINTED DAISY	1/2 GAL.	17	CONTAINER GROWN
HNE	HEMEROCALLIS TROPHYTAKER DAYLILY	'NIGHT EMBERS'	BULB	39	BURGUNDY COLOR
HAP	HYDRANGEA ANOMALA PETIOLARIS	CLIMBING HYDRANGEA	2 GAL.	5	CONTAINER GROWN

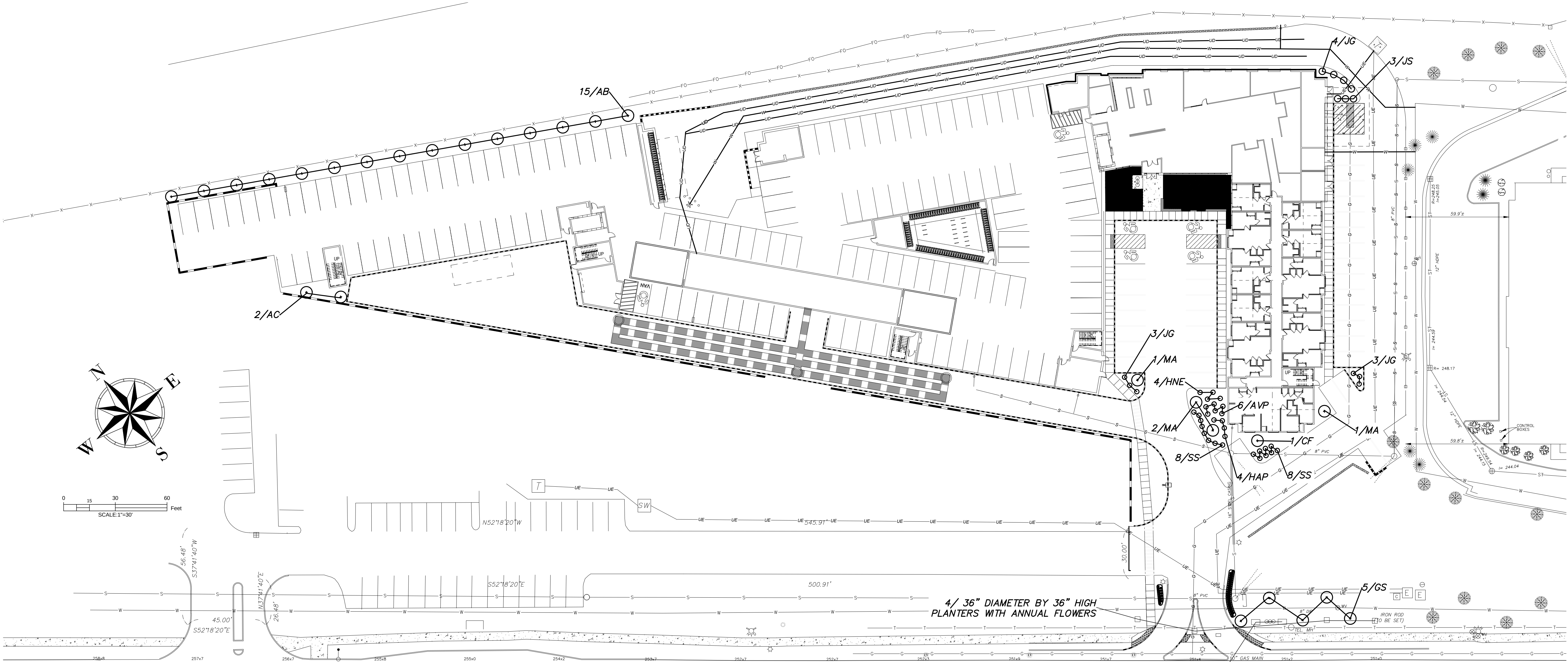
SEEDING AND MULCHING NOTES FOR GRASS AREAS:
1. SEED AREAS AFTER GRADING AT PROPER SEASON.
2. UTILIZE A SEED MIX OF 70% HARD FESCUE, 20% PERENNIAL RYEGRASS, 10% KENTUCKY BLUE (NASSAU OR CHALLENGER). APPLY AT 4 LBS. PER 1000 SF.
3. TREAT AREAS WITH FIBER MULCH.



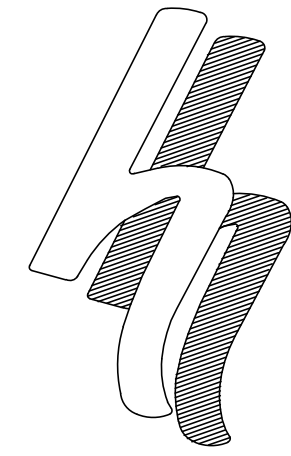
PLANTER BOX DETAIL
NOT TO SCALE



FRONT ENTRANCE LANDSCAPING PLAN
SCALE: 1"=10'



OVERALL LANDSCAPING PLAN
SCALE: 1"=30'



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Consulting Engineers
and Land Surveyors
18 Locust Street
Albany, New York 12203

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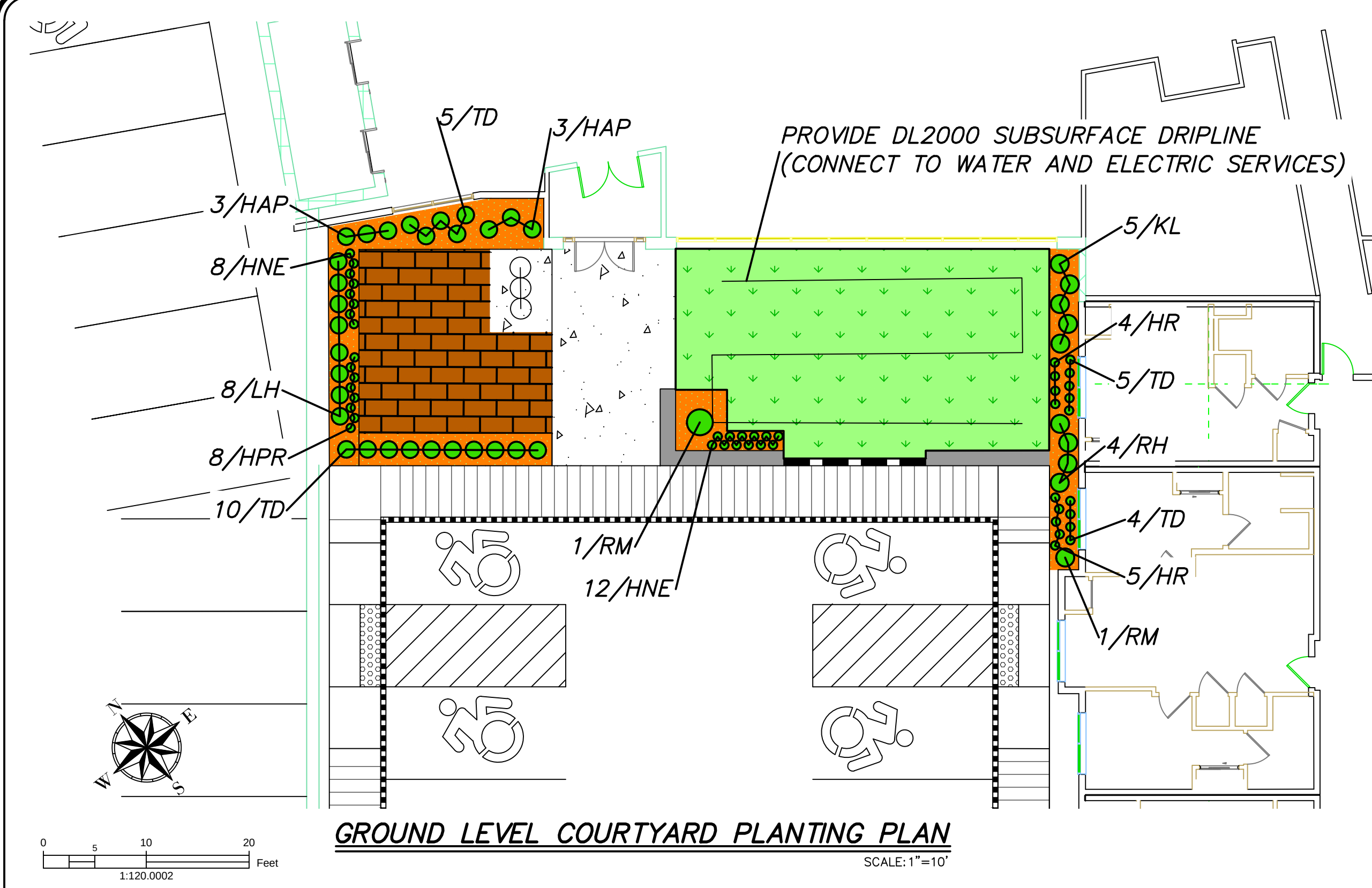


REMARKS	DATE
FULL SET OF PLANS	10/16/20
GENERAL REVISIONS	6/9/21
RESPONSE REVISIONS	7/12/21
LAND COMMENTS DATED	8/26/21
COMMENT REVISIONS	10/25/21

LANDSCAPING PLAN
1415 WASHINGTON AVENUE
CITY OF ALBANY, STATE OF NEW YORK
COUNTY OF ALBANY, STATE OF NEW YORK

SCALE: AS NOTED
DATE: 1/24/2020
CHK: DRH
BY: MM
FILE: 200015

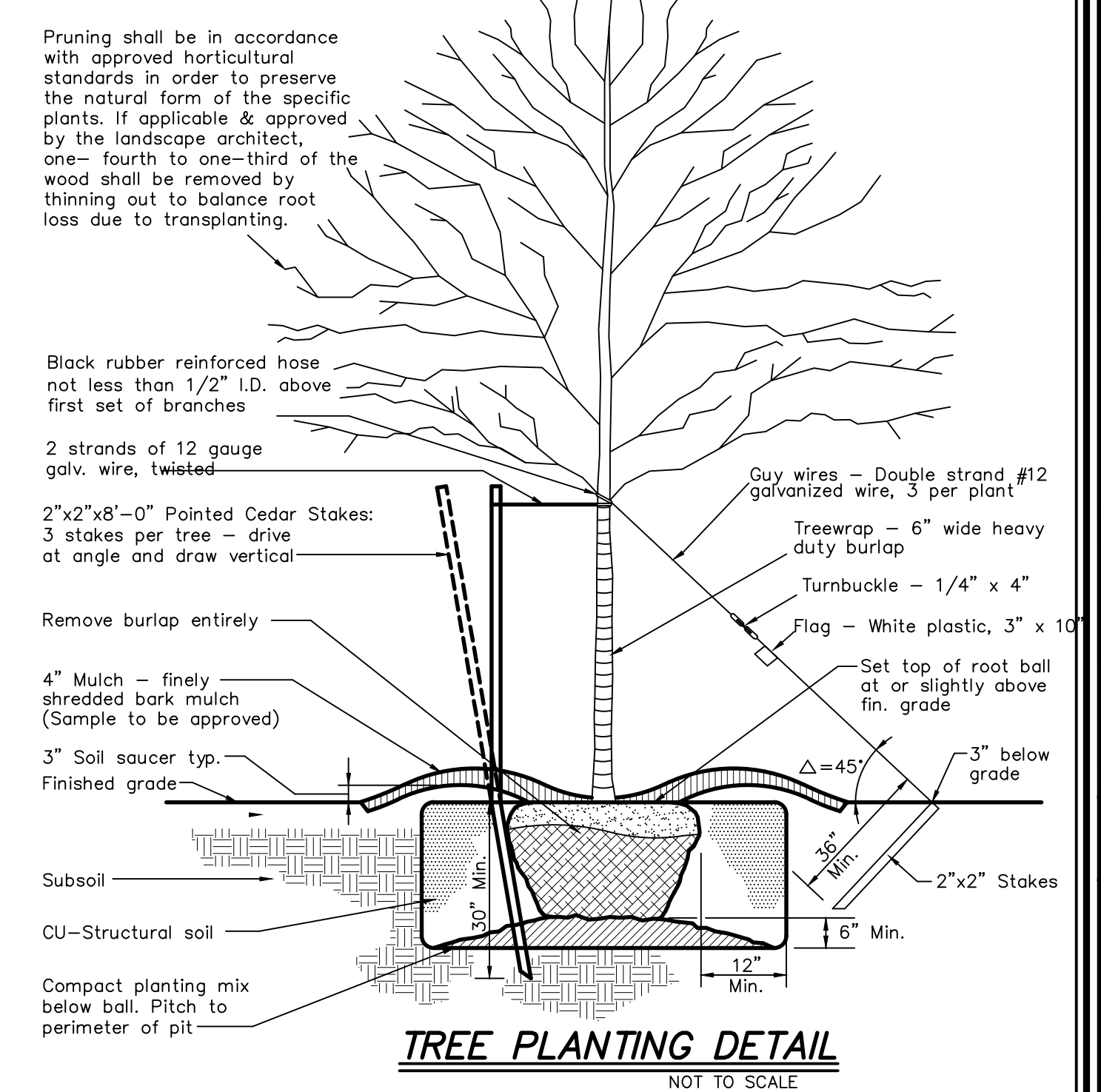
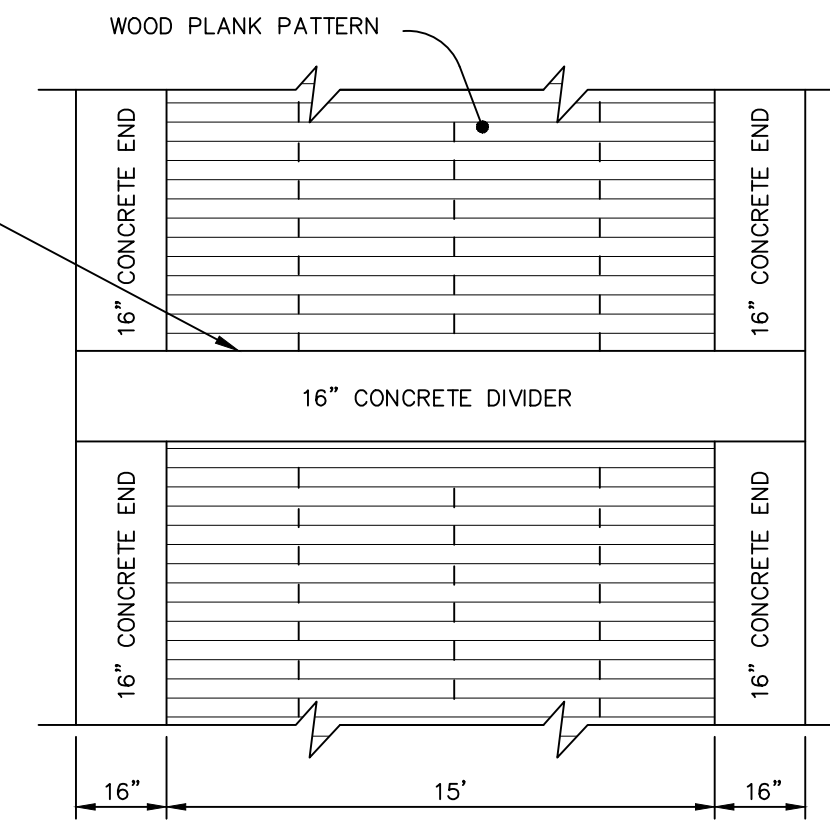
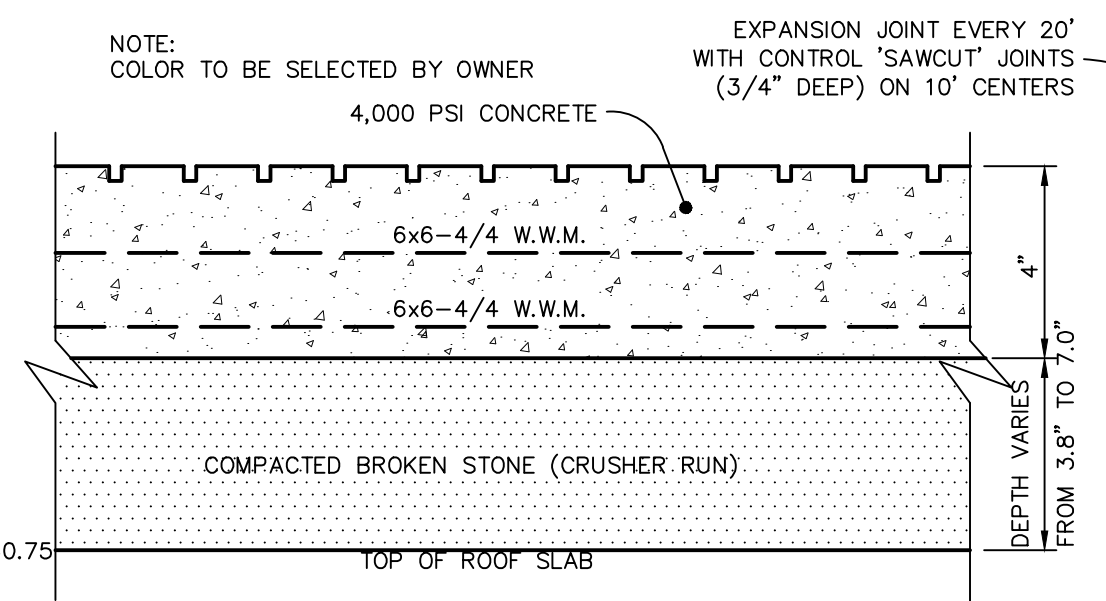
C14/15



GROUND LEVEL COURTYARD PLANTING PLAN					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	AMT	COMMENTS
SHRUBS					
LH	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT PANICLE HYDRANGEA	#7 CONT.	8	CONTAINER GROWN
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	2"-2 1/2" CAL.	5	B & B, NYNS
RM	RHODODENDRON MAXIMUM	GREAT LAUREL	30"-36" HT.	2	B & B, NYNS
RH	RHODODENDRON 'P.J.M.'	P.J.M. RHODODENDRON	2 1/2" HT.	4	B & B
PERENNIALS					
HAP	HYDRANGEA ANOMALA PETIOLARIS	CLIMBING HYDRANGEA	2 GAL.	6	CONTAINER GROWN
HPR	HEMEROCALLIS PORCELAIN RUFFLES DAYLILY	'PORCELAIN RUFFLES'	BULB	8	IVORY W/PINK COLOR
HNE	HEMEROCALLIS TROPHYTAKER DAYLILY	'NIGHT EMBERS'	BULB	20	BURGUNDY COLOR
HR	HOSTA 'REGAL SPENDOR'	'REGAL SPENDOR' HOSTA	2 GAL.	9	CONTAINER GROWN

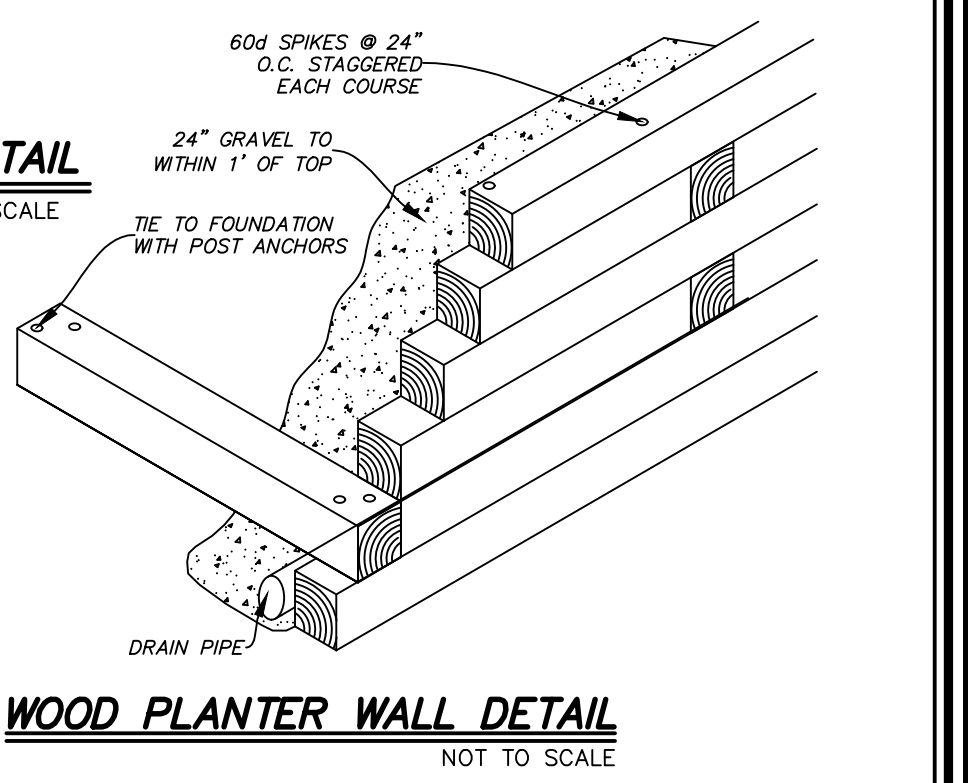
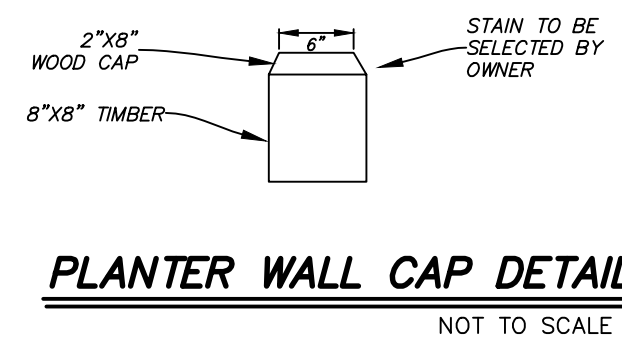
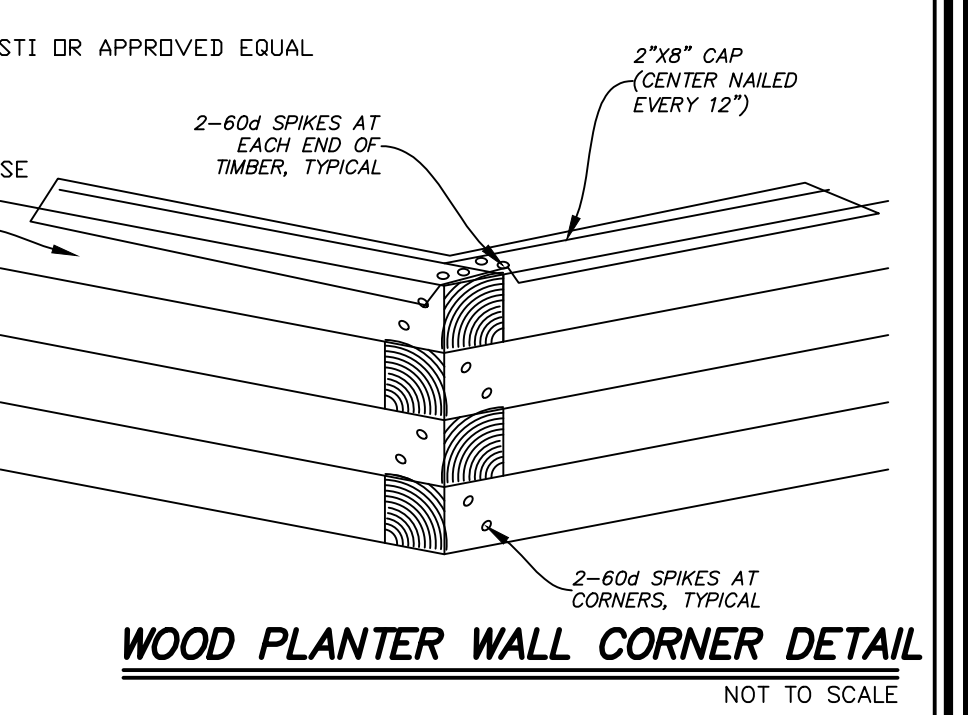
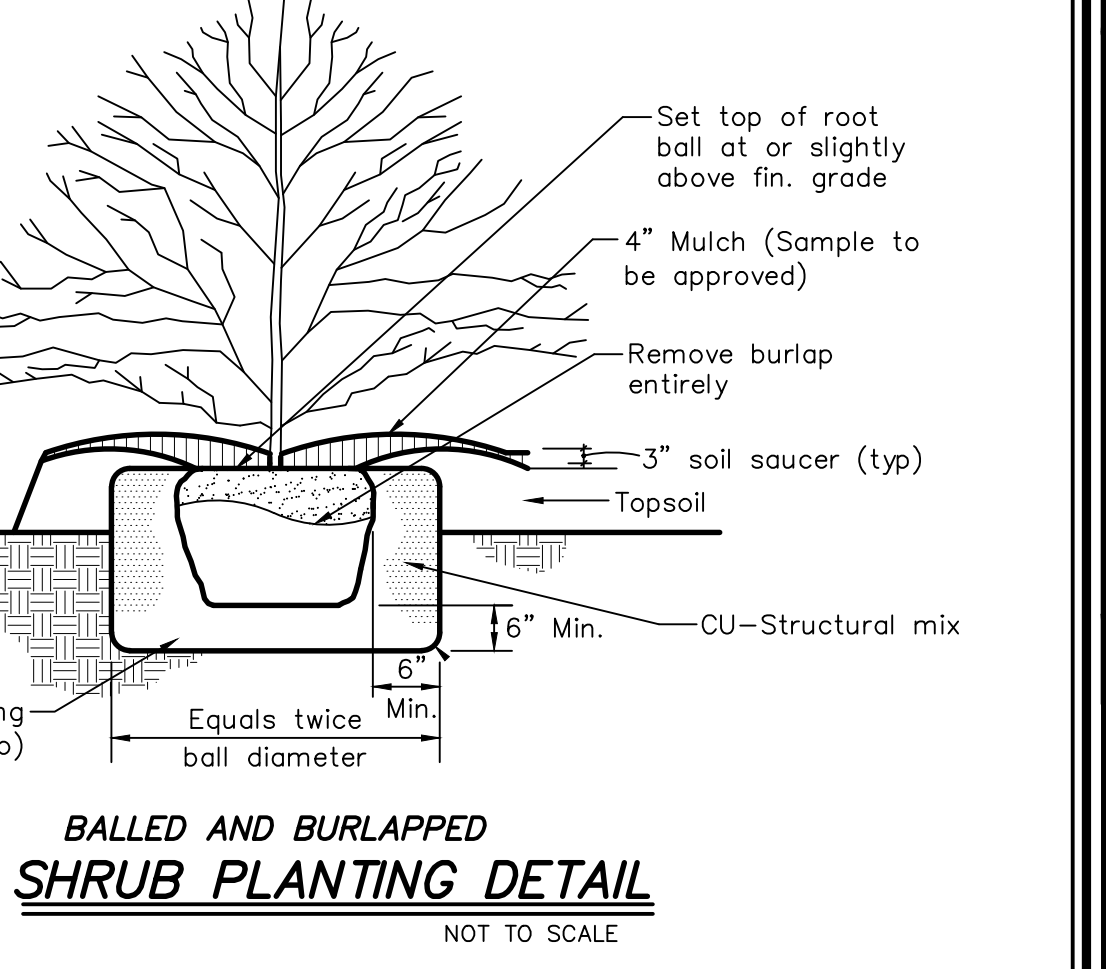
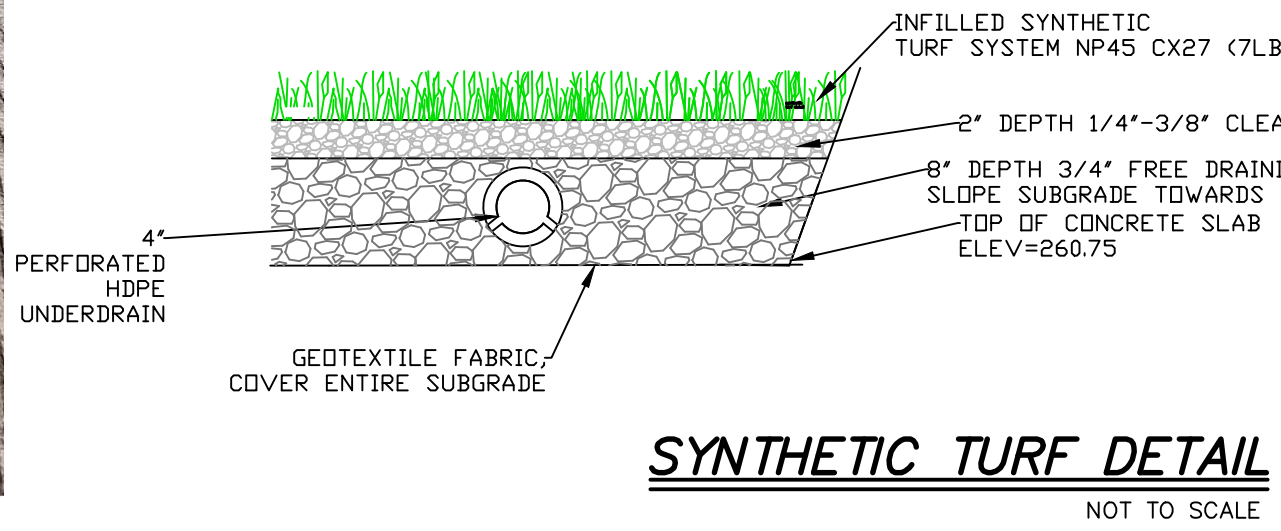
SEEDING AND MULCHING NOTES FOR GRASS AREAS:

1. SEED AREAS AFTER GRADING AT PROPER SEASON.
2. UTILIZE A SEED MIX OF 70% HARD FESCUE, 20% PERENNIAL RYEGRASS, 10% KENTUCKY BLUE (NASSAU OR CHALLENGER). APPLY AT 4 LBS. PER 1000 S.F.
3. TREAT AREAS WITH FIBER MULCH.



STAMPED CONCRETE WOOD PLANKS
NOT TO SCALE

2nd FLOOR COURTYARD PLANTING PLAN					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	AMT	COMMENTS
SHRUBS					
AT	AZALEA 'STEWARTSONIAN'	STEWARTSONIAN AZALEA	18"-24" HT.	8	CONTAINER GROWN
AC	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	6'-7' HT. HEAVY	5	B & B
CNG	CHAMAECYPARIS OBUSA 'NANA GRACILIS'	DWARF HINKO CYPRESS	24"-30" HT.	3	B & B
CRS	CLETIIRA ANIFOLIA 'RUBY SPICE'	SUMMER SWEET	24"-30" HT.	6	B & B
AZ	AZALEA POKHANENSIS	AZALEA	2' HT.	5	B & B
HM	HYDRANGEA MACROPHILIA 'BALLMAR'	ENDLESS SUMMER HYDRANGEA	#5 CONT.	23	CONTAINER GROWN
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	2"-2 1/2" CAL.	15	B & B, NYNS
TD	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	24" HT.	29	B & B
RO	RHODODENDRON 'OLGA MEZITT'	OLGA MEZITT RHODODENDRON	3'-4" HT.	8	B & B, NYNS
ROL	RHODODENDRON 'ORCHID LIGHTS'	ORCHID LIGHTS AZALEA	24"-30" HT.	4	B & B, NYNS
RB	RHODODENDRON 'BOULE DE NEIGE'	BOULE DE NEIGE RHODODENDRON	24"-30" HT.	4	B & B
PF	POTENTILLA FRUTICOSA 'KATHERINE DYKES'	MUGHO PINE	18"-24" HT.	5	CONTAINER GROWN
SP	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	3'-4" HT.	4	B & B
SAW	SPIRAEA x BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	#3 CONTAINER	6	CONTAINER GROWN
YF	YUCCA FILAMENTOSA 'GOLDEN SWORD'	YUCCA	18"-24" HT.	7	B & B
RM	RHODODENDRON MAXIMUM	GREAT LAUREL	30"-36" HT.	1	B & B, NYNS
TREES					
AB	ABIES CONCOLOR	WHITE FIR	5'-6" HT.	4	B & B
CF	CORNUS FLORIDA	WHITE FLOWERING DOGWOOD	2 1/2" CAL.	2	B & B
PERENNIALS					
HAP	HYDRANGEA ANOMALA PETIOLARIS	CLIMBING HYDRANGEA	2 GAL.	5	CONTAINER GROWN
HK	HOSTA 'KROSSA REGAL'	'KROSSA REGAL' HOSTA	2 GAL.	5	CONTAINER GROWN
HR	HOSTA 'REGAL SPENDOR'	'REGAL SPENDOR' HOSTA	2 GAL.	5	CONTAINER GROWN
LM	LAMIMUM MACULATUM 'PURPLE DRAGON'	SPOTTED DEADNETTLE	2 GAL.	10	CONTAINER GROWN
RU	RUDBECKIA HIRTA	BLACK-EYED SUSAN	1/2 GAL.	10	CONTAINER GROWN
HPR	HEMEROCALLIS PORCELAIN RUFFLES DAYLILY	'PORCELAIN RUFFLES'	BULB	6	IVORY W/PINK COLOR



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DATE	REMARKS
8/26/21	LAND COMMENTS DATED 8/26/21
10/25/21	COMMENT REVISIONS

REVISIONS

COURTYARD'S LANDSCAPING PLAN
1415 WASHINGTON AVENUE
CITY OF ALBANY
COUNTY OF ALBANY, STATE OF NEW YORK

FILE: 200015
SCALE: AS NOTED
CHK: DRH
DATE: 1/24/2020
BY: MM
200015-5.DWG

C15/15