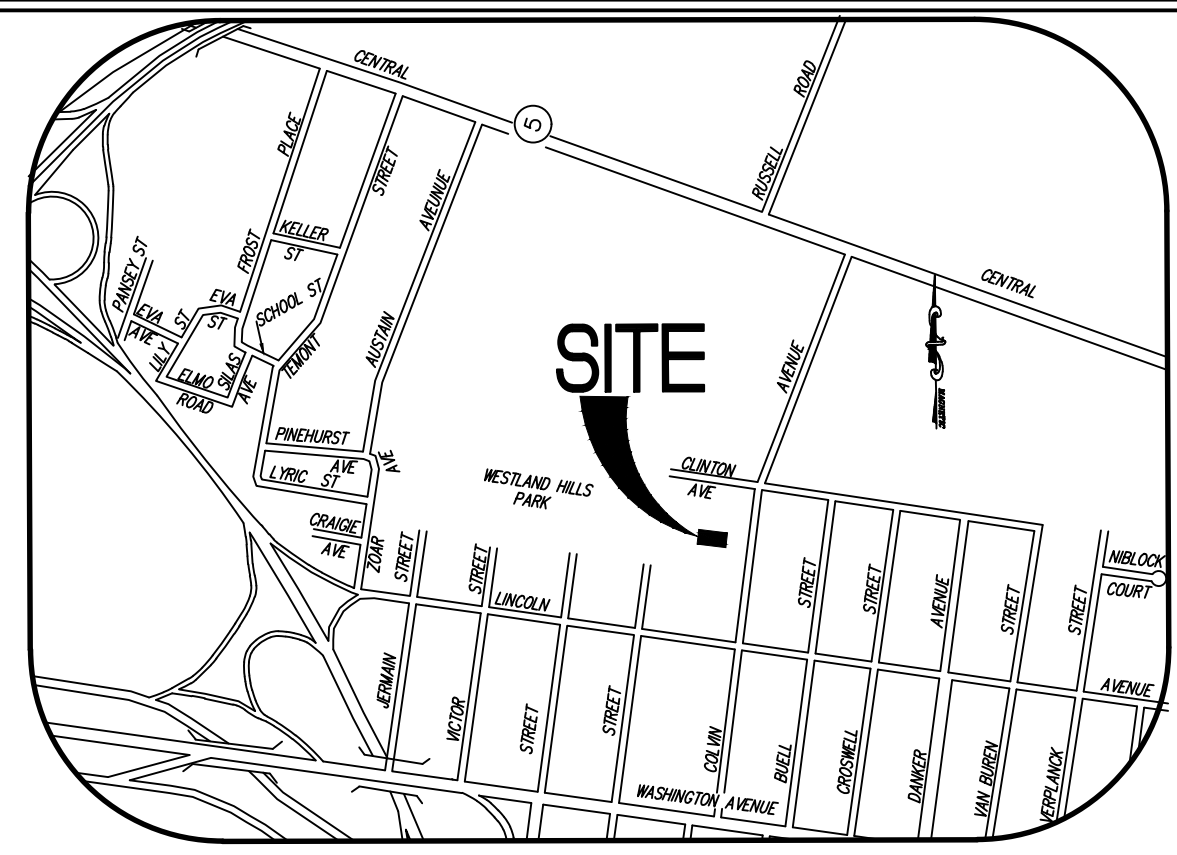


N/F OF KATHLEEN P.1059

2-STORY BRICK BUILDING  
**No.50 COLVIN AVENUE**  
 TAX MAP No. 53.82-1-64  
 LANDS N/F OF 40-50 COLVIN AVE LLC.  
 INSTRUMENT #R2018-3888

**No.60 COLVIN AVENUE**  
 TAX MAP No. 53.82-1-65  
 LANDS N/F OF 40-50 COLVIN AVENUE LLC  
 INSTRUMENT No.R2018-18526  
 Land Area 78,153 S.F.  
 1.79 Acres.

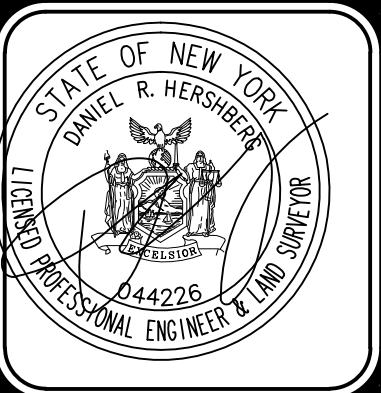


**SITE LOCATION MAP**  
 NOT TO SCALE

LEGEND	
	EXISTING TELEPHONE
	EXISTING CONTOURS
	EXISTING WATER MAIN
	EXISTING HYDRANT
	EXISTING SEWER MAIN
	EXISTING MANHOLE
	EXISTING WATER MAIN
	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRE
	BUILDING MOUNTED LIGHTS
	LIGHT POLE
	BOLLARD LIGHT
	PROPOSED CONTOURS
	PROPOSED WATER MAIN
	PROPOSED HYDRANT & VALVE
	PROPOSED STORM SEWER
	PROPOSED ROOF DRAIN
	PROPOSED STORM MANHOLE
	PROPOSED STORM MANHOLE

**HERSHBERG & HERSHBERG**  
 Consulting Engineers and Land Surveyors  
 18 Locust Street  
 Albany, New York 12203

ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, IS ILLEGAL

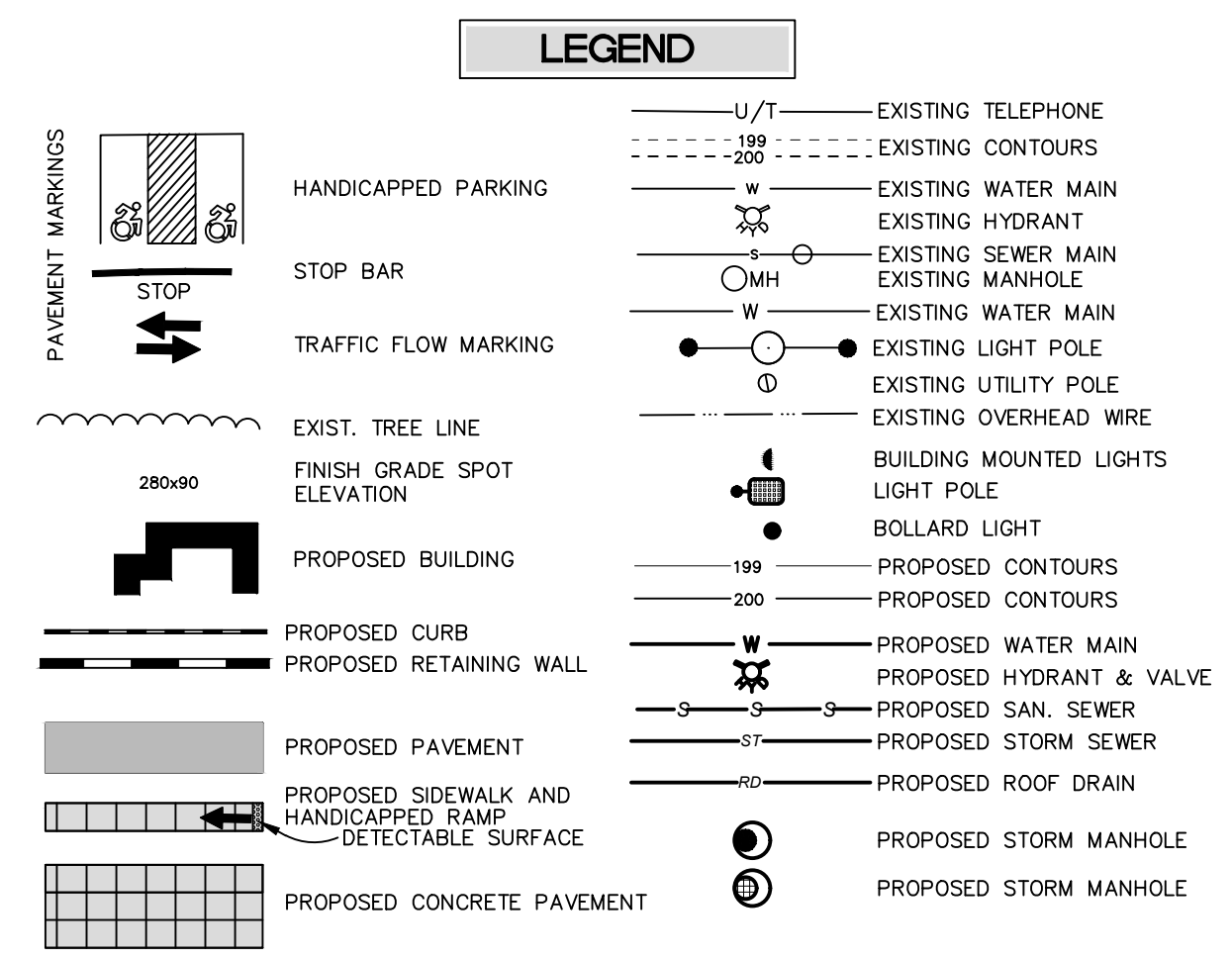
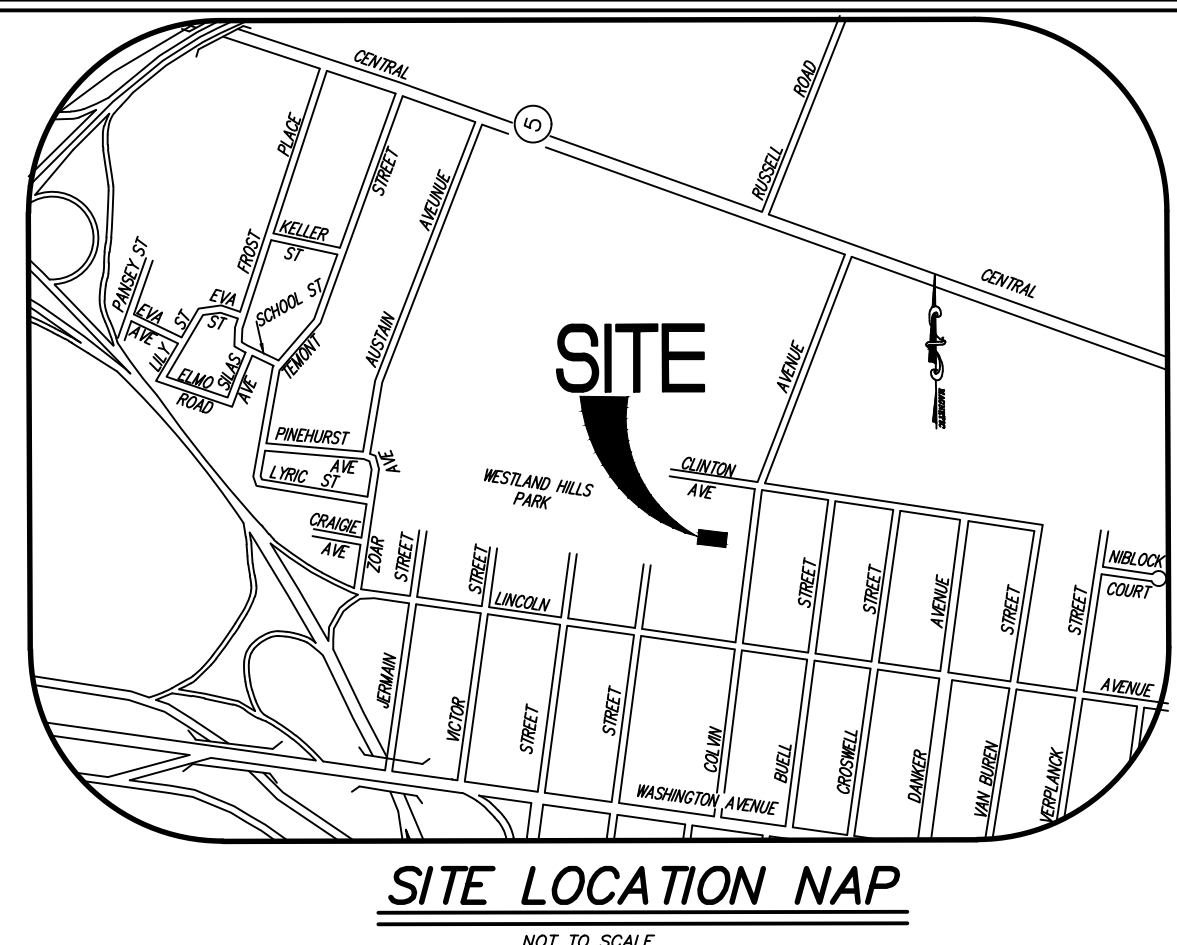
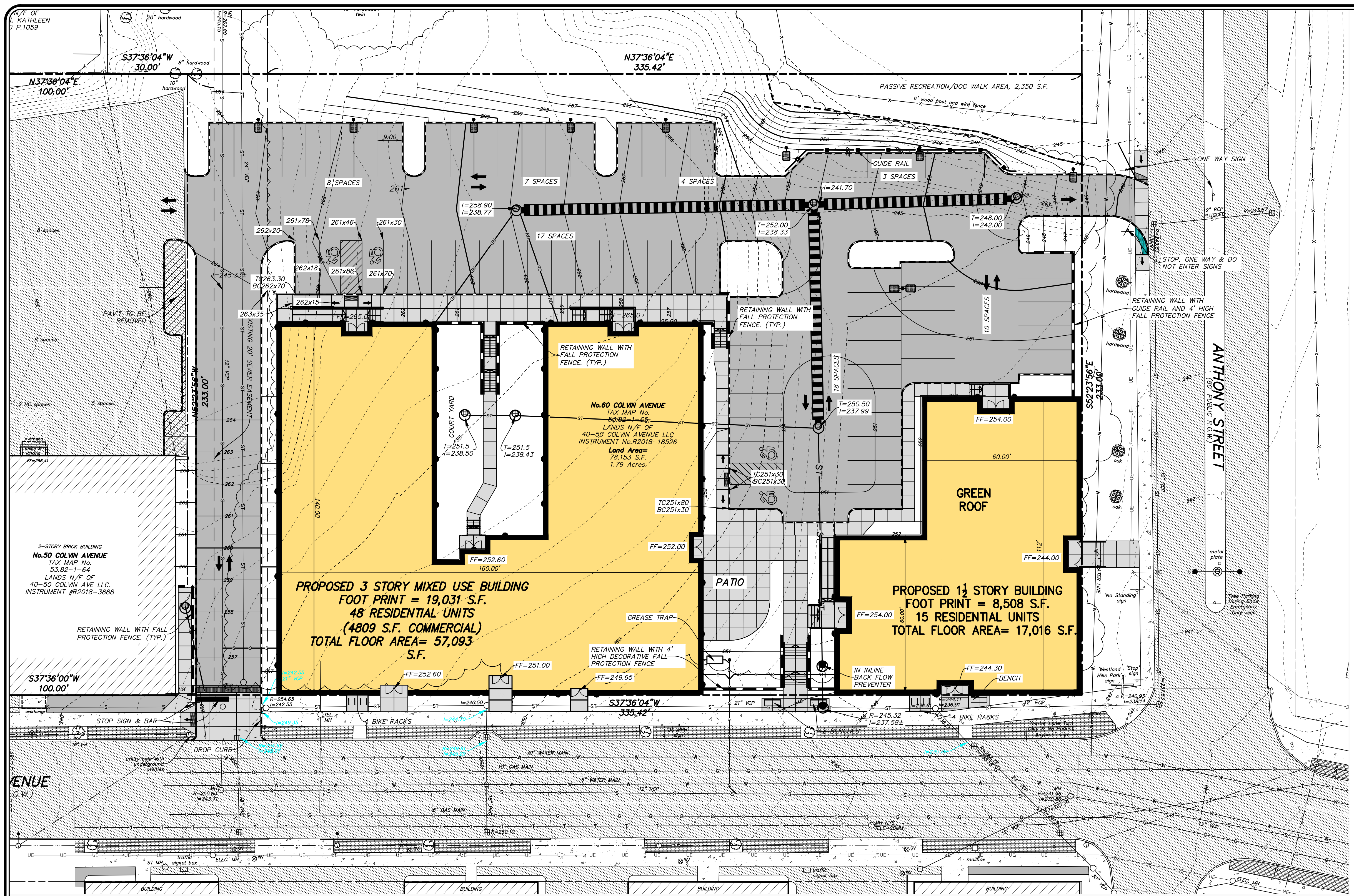


DATE	REVISIONS

**EXISTING CONDITIONS PLAN**  
**60 COLVIN AVENUE**  
**ALBANY, NEW YORK**

FILE: 190162    SCALE: 1"=20'    DATE: 5/12/2020    CHK: DWH    190162-5.DWG

FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION



2-STORY BRICK BUILDING  
No. 50 COLVIN AVENUE  
TAX MAP No. 53.82-1-64  
LANDS N/F OF  
40-50 COLVIN AVE LLC.  
INSTRUMENT #R2018-3888

**PROPOSED 3 STORY MIXED USE BUILDING**  
FOOT PRINT = 19,031 S.F.  
48 RESIDENTIAL UNITS  
(4809 S.F. COMMERCIAL)  
TOTAL FLOOR AREA= 57,093 S.F.

**PROPOSED 1 1/2 STORY BUILDING**  
FOOT PRINT = 8,508 S.F.  
15 RESIDENTIAL UNITS  
TOTAL FLOOR AREA= 17,016 S.F.

**PARKING TABLE:**

REQUIRED PARKING			
RESIDENTIAL UNITS(63)	1 PER UNIT	63	
RESTAURANT (2887 SF)	1 PER 150 SF	20	
GENERAL RETAIL (1922 SF)	1 PER 400 SF	5	
	SUBTOTAL	88	
	SHARED PARKING CORRECTION (1.1)	-8	
	PROXIMITY TO TRANSIT (20%)	-17	
	TOTAL REQUIRED	63	
	PROVIDED	70	

**RECREATION AREAS**

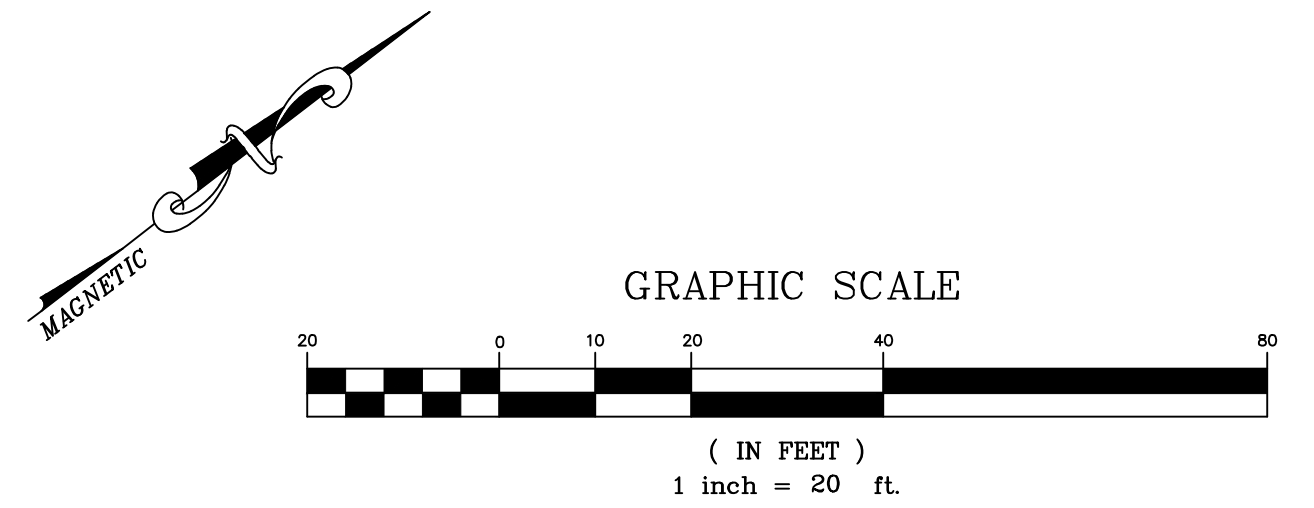
PASSIVE RECREATION/DOG WALK AREA	2,350	SF
COURTYARD	2,782	SF
ADJOINING PATIO	1,130	SF
FITNESS CENTER/LOUNGE	1,720	SF
TOTAL PROVIDED	7,982	SF
TOTAL REQUIRED	7,815	SF

**EXISTING SITE COVERAGE STATISTICS**

DESCRIPTION	S.F.	ACRES	%
GROSS SITE AREA	78,153	1.79	100.00%
IMPERVIOUS AREA	0	0	0
BUILDING COVERAGE	0	0	0
PAVEMENT/SIDEWALK COVERAGE	0	0	0
PERVIOUS AREA	78,153	1.79	100.00

**PROPOSED SITE COVERAGE STATISTICS**

DESCRIPTION	S.F.	ACRES	%
GROSS SITE AREA	78,153	1.79	100.00%
IMPERVIOUS AREA	59,672	1.37	76.4
BUILDING COVERAGE	19,031	0.44	24.4
PAVEMENT/SIDEWALK COVERAGE	40,641	0.93	52.0
PERVIOUS AREA	18,481	0.42	23.6



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DATE	
REVISIONS	

**PROPOSED SITE PLAN**  
60 COLVIN AVENUE  
ALBANY, NEW YORK

DATE: 5/14/2020  
CHK: DMW  
BY: AS  
SCALE: AS SHOWN  
FILE: 190162

190162-5.DWG

2 OF 2