

# UNIT MATRIX 165 Clinton Ave

AREA	SQUARE FEET (GROSS)	UNIT A	UNIT B	UNIT C	UNIT D	UNIT E	UNIT F	UNIT G	UNIT H	TOTAL UNIT NET S.F.
		760	730	550	740	640	650	600	460	
		2BR/1B	1BR/1B	STUDIO	2BR/1B	1BR/1B	1BR/1B	1BR/1B	STUDIO	
FIRST FLOOR		1	1	1	1	0	0	0	0	2780
SECOND FLOOR		0	0	0	0	2	1	1	0	3180
THIRD FLOOR		0	0	0	0	3	0	0	1	2380
NUMBER OF BEDROOMS		2	1	1	2	5	1	1	1	14
NUMBER OF UNITS		1	1	1	1	5	1	1	1	12

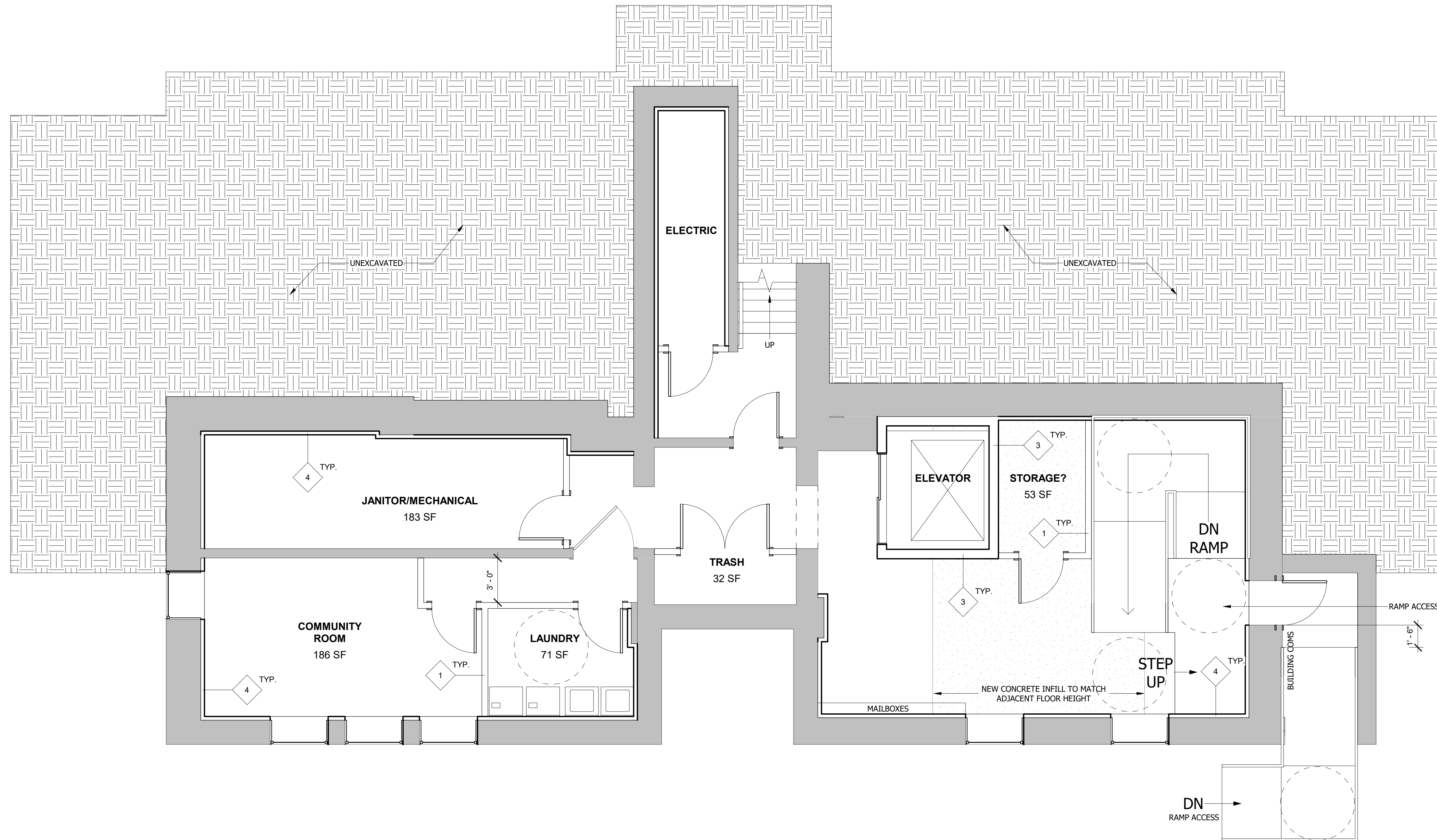
(M) ADA Units - ADA Mobility Compliant 10% = 1 units (First Floor - Unit A)  
 (HV) ADA Units - ADA Compliant w/Hearing and Visual Impaired Equipment 1% = 1 units (First Floor - Unit B)

TOTAL BY UNIT TYPE	
STUDIO	2
1BEDROOM	8
2BEDROOM	2
TOTAL	12

## GENERAL HISTORIC NEW WORK PLAN NOTES

THE SCOPE ABOVE AND FOLLOWING NOTES SUMMARIZE THE INTENT OF SCOPE OF HISTORIC PRESERVATION AND SHALL NOT BE DEEMED ALL INCLUSIVE. THE CONTRACTOR SHALL APPLY THE STATED INTENT TO WORK THROUGHOUT THE ENTIRE PROJECT.

- ALL WALLS, CEILINGS AND PAINTED MATERIALS TO RECEIVE NEW PAINT. ALL NON-PAINTED WOOD TO REMAIN AND BE CLEANED AND RE-STAINED AS REQUIRED; NEW CLEAR FINISH SHALL BE RE-APPLIED.
- CORRIDOR WALLS TO BE RE-PAINTED (TYPICAL). ALL LOOSE PLASTER TO BE REMOVED AND REPAIRED IN KIND.
- ALL TRIM, BASEBOARD AND CHAIR RAIL IN THE CORRIDOR TO REMAIN. ALL NON-PAINTED WOOD TO REMAIN AND BE CLEANED AND RE-STAINED AS REQUIRED; NEW CLEAR FINISH SHALL BE RE-APPLIED.
- EXISTING GLASS ABOVE DOORS WITHIN UNITS TO REMAIN. RE-GLAZE TRANSOMS IN KIND/AS REQUIRED FOR AREAS WHERE GLAZING WAS BROKEN.
- EXISTING CEILINGS TO BE RE-PAINTED. PROVIDE DROP CEILINGS IN KITCHENS, BATHROOMS AND CLOSETS TO ALLOW FOR VENTILATION DUCTS, MISC. CONDUITS ETC.
- EXISTING EXTERIOR WOOD WINDOWS TO BE RETAINED AND REPAIRED. NEW OPERABLE INSULATED THERMAL PANEL AND MEETING RAIL TO BE INSTALLED ON THE INSIDE TO MATCH THE HEIGHT OF THE EXISTING.
- RE-INSTALL ALL WINDOW AND DOOR TRIM, CHAIR RAIL, BASE, WAINSCOT AND CROWN ON TO THE NEW 3" FURRED INSULATED WALL.
- EXISTING METAL STAIRS TO BE RE-PAINTED. ALL TREADS TO BE SECURED TO THE EXISTING METAL STAIRS WHERE LOOSE.
- ALL EXTERIOR WALLS TO BE FURRED PER WALL TYPE 4 (SEE A001).



SEAL  
PROGRESS SET  
02/25/2020

PROJECT TITLE  
**CLINTON AVE II - 165 CLINTON AVE**

ALBANY, NEW YORK 12210

SHEET TITLE  
**NEW WORK - BASEMENT - 1,980 SQ FT**

CONSULTANT

DRAWN BY: MT  
CHECKED BY: GM

DATE: 02/25/2020

PROJECT NO.: 19-022

REVISIONS

NO.	DESCRIPTION	DATE

PRINTED ON: 2/25/2020 11:01:30 AM



283 RIVER STREET • TROY, NY • 12180  
PH 518 618 0900 FX 518 618 0901

SHEET NO.  
**A100**

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# UNIT MATRIX

## 165 Clinton Ave

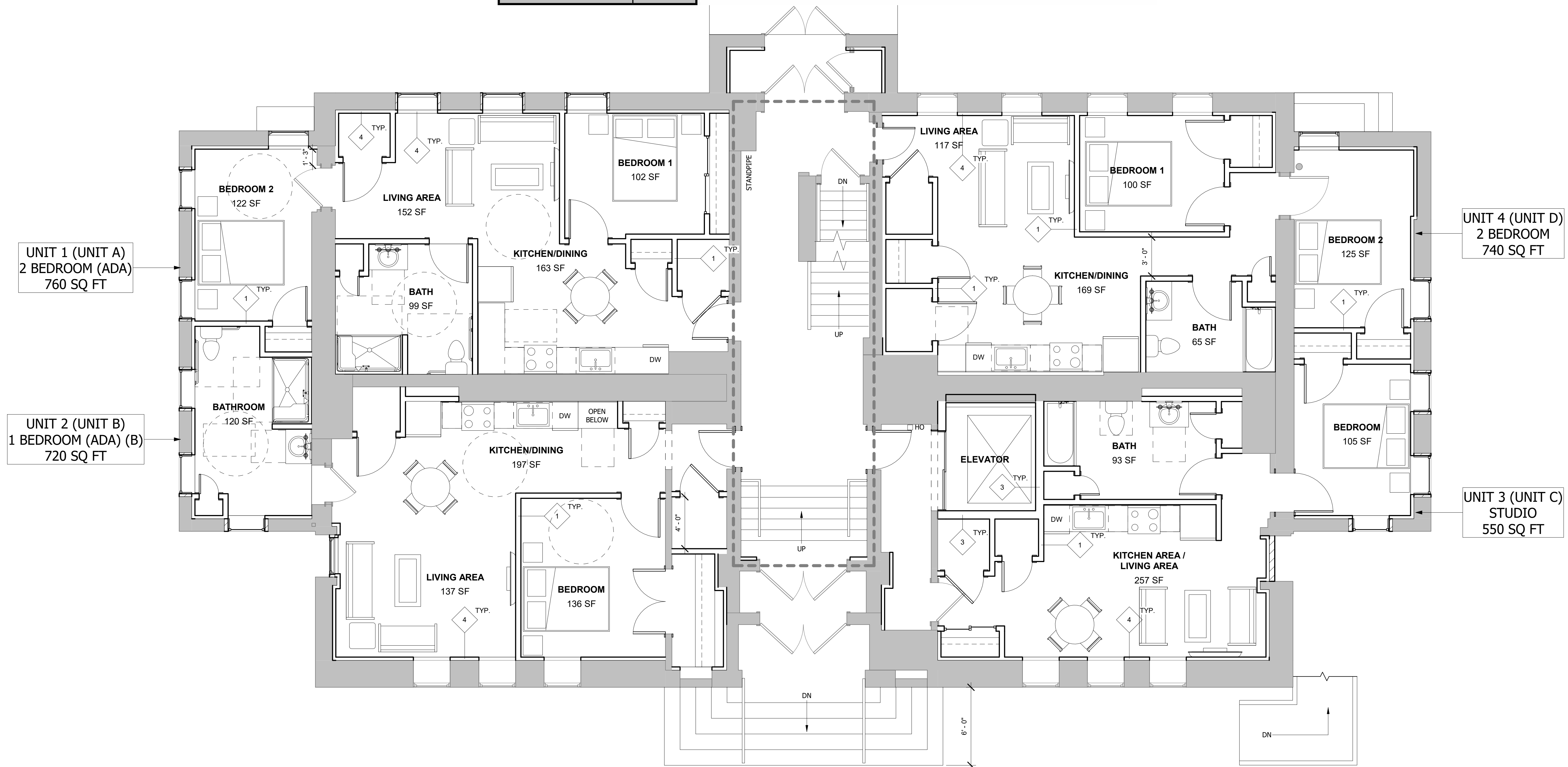
AREA	SQUARE FEET (GROSS)	UNIT A	UNIT B	UNIT C	UNIT D	UNIT E	UNIT F	UNIT G	UNIT H	TOTAL UNIT NET S.F.
		760	730	550	740	640	650	600	460	
FIRST FLOOR		1	1	1	1	0	0	0	0	2780
SECOND FLOOR		0	0	0	0	2	1	1	0	3180
THIRD FLOOR		0	0	0	0	3	0	0	1	2380
NUMBER OF BEDROOMS		2	1	1	2	5	1	1	1	14
NUMBER OF UNITS		1	1	1	1	5	1	1	1	12

(M) ADA Units - ADA Mobility Compliant 10% = 1 units (First Floor - Unit A)  
 (HV) ADA Units - ADA Compliant w/Hearing and Visual Impaired Equipment 1% = 1 units (First Floor - Unit B)

TOTAL BY UNIT TYPE	
STUDIO	2
1BEDROOM	8
2BEDROOM	2
TOTAL	12

### GENERAL HISTORIC NEW WORK PLAN NOTES

- THE SCOPE ABOVE AND FOLLOWING NOTES SUMMARIZE THE INTENT OF SCOPE OF HISTORIC PRESERVATION AND SHALL NOT BE DEEMED ALL INCLUSIVE. THE CONTRACTOR SHALL APPLY THE STATED INTENT TO WORK THROUGHOUT THE ENTIRE PROJECT.
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  - ALL EXTERIOR WALLS TO BE FURRED PER WALL TYPE 4 (SEE A001).



SEAL  
PROGRESS SET  
02/25/2020

PROJECT TITLE  
**CLINTON AVE II - 165 CLINTON AVE**

ALBANY, NEW YORK 12210

SHEET TITLE  
**NEW WORK - FIRST FLOOR - 4,266 SQ FT**

CONSULTANT

DRAWN BY: MT  
CHECKED BY: GM

DATE: 02/25/2020

PROJECT NO.: 19-022

REVISIONS

NO.	DESCRIPTION	DATE
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# UNIT MATRIX

## 165 Clinton Ave

AREA	SQUARE FEET (GROSS)	UNIT A	UNIT B	UNIT C	UNIT D	UNIT E	UNIT F	UNIT G	UNIT H	TOTAL UNIT NET S.F.
		760	730	550	740	640	650	600	460	
FIRST FLOOR		1	1	1	1	0	0	0	0	2780
SECOND FLOOR		0	0	0	0	2	1	1	0	3180
THIRD FLOOR		0	0	0	0	3	0	0	1	2380
NUMBER OF BEDROOMS		2	1	1	2	5	1	1	1	14
NUMBER OF UNITS		1	1	1	1	5	1	1	1	12

(M) ADA Units - ADA Mobility Compliant 10% = 1 units (First Floor - Unit A)  
 (HV) ADA Units - ADA Compliant w/Hearing and Visual Impaired Equipment 1% = 1 units (First Floor - Unit B)

TOTAL BY UNIT TYPE	
STUDIO	2
1BEDROOM	8
2BEDROOM	2
TOTAL	12

### GENERAL HISTORIC NEW WORK PLAN NOTES

THE SCOPE ABOVE AND FOLLOWING NOTES SUMMARIZE THE INTENT OF SCOPE OF HISTORIC PRESERVATION AND SHALL NOT BE DEEMED ALL INCLUSIVE. THE CONTRACTOR SHALL APPLY THE STATED INTENT TO WORK THROUGHOUT THE ENTIRE PROJECT.

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7. RE-INSTALL ALL WINDOW AND DOOR TRIM, CHAIR RAIL, BASE, WAINSCOT AND CROWN ON TO THE NEW 3" FURRED INSULATED WALL.
8. EXISTING METAL STAIRS TO BE RE-PAINTED. ALL TREADS TO BE SECURED TO THE EXISTING METAL STAIRS WHERE LOOSE.
9. ALL EXTERIOR WALLS TO BE FURRED PER WALL TYPE 4 (SEE A001).

SEAL

PROGRESS SET  
02/25/2020

PROJECT TITLE

CLINTON AVE II -  
165 CLINTON AVE

ALBANY, NEW YORK 12210

SHEET TITLE

NEW WORK -  
SECOND FLOOR -  
3,500 SQ FT

CONSULTANT

DRAWN BY  
MT

CHECKED BY  
GM

DATE  
02/25/2020

PROJECT NO.  
19-022

REVISIONS

NO.	DESCRIPTION	DATE
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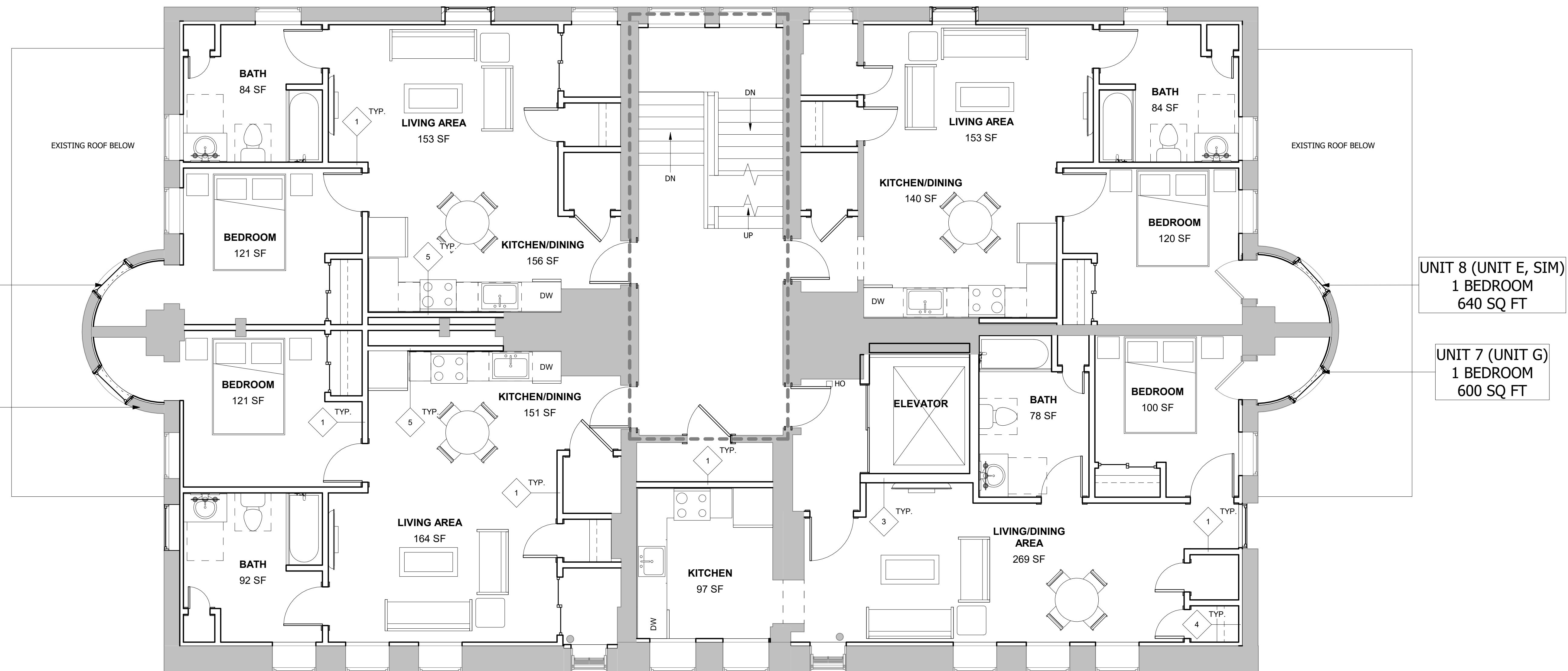


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UNIT 5 (UNIT E)  
1 BEDROOM  
640 SQ FT

UNIT 6 (UNIT F)  
1 BEDROOM  
650 SQ FT

UNIT 8 (UNIT E, SIM)  
1 BEDROOM  
640 SQ FT

UNIT 7 (UNIT G)  
1 BEDROOM  
600 SQ FT



# UNIT MATRIX 165 Clinton Ave

AREA	SQUARE FEET (GROSS)	UNIT A	UNIT B	UNIT C	UNIT D	UNIT E	UNIT F	UNIT G	UNIT H	TOTAL UNIT NET S.F.
		2BR/1B	1BR/1B	STUDIO	2BR/1B	1BR/1B	1BR/1B	1BR/1B	STUDIO	
FIRST FLOOR		1	1	1	1	0	0	0	0	2780
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NUMBER OF UNITS		1	1	1	1	5	1	1	1	12

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TOTAL BY UNIT TYPE	
STUDIO	2
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2BEDROOM	2
TOTAL	12

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SEAL

PROGRESS SET  
02/25/2020

PROJECT TITLE

CLINTON AVE II -  
165 CLINTON AVE

ALBANY, NEW YORK 12210

SHEET TITLE

NEW WORK - THIRD  
FLOOR - 3,500 SQ  
FT

CONSULTANT

DRAWN BY  
MT

CHECKED BY  
GM

DATE  
02/25/2020

PROJECT NO.  
19-022

REVISIONS

NO.	DESCRIPTION	DATE
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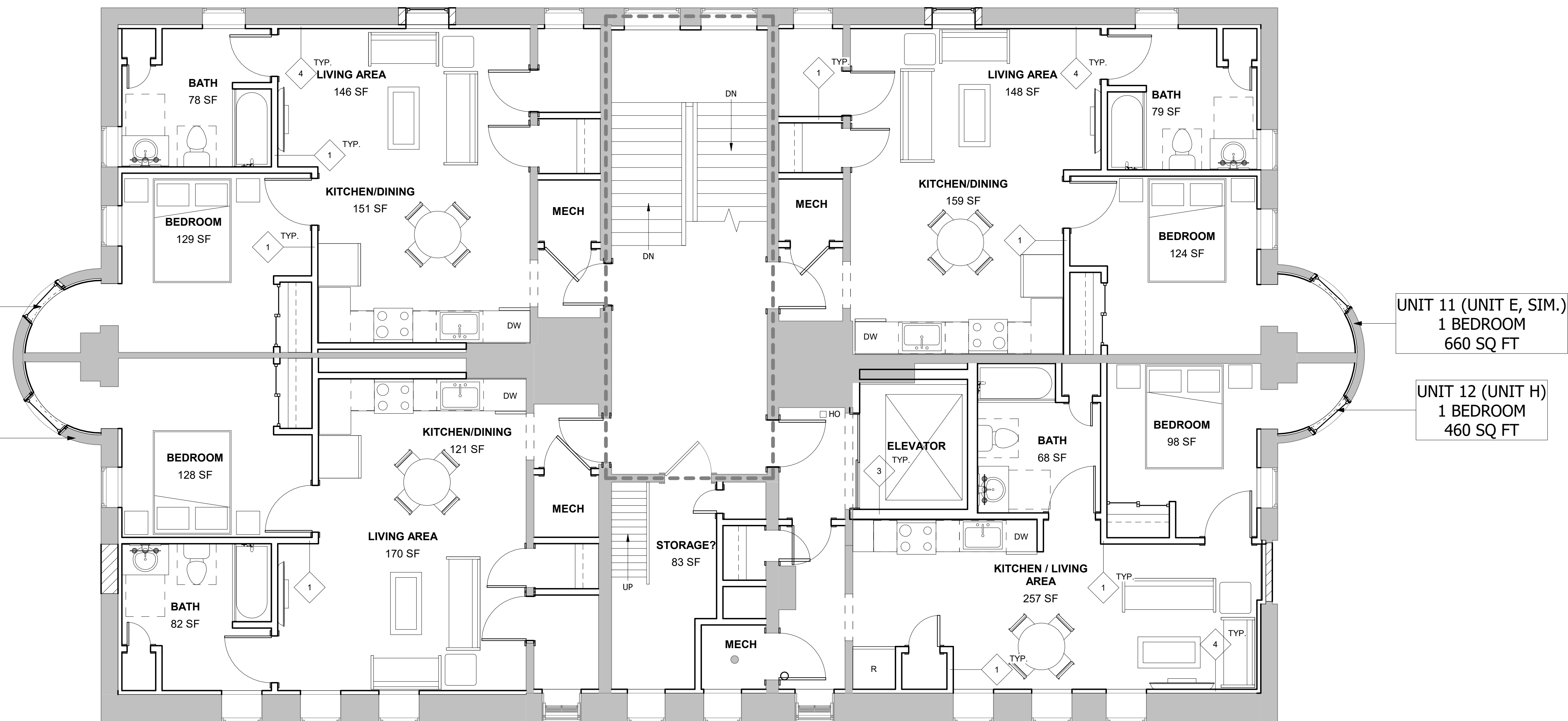
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UNIT 9 (UNIT E, SIM.)  
1 BEDROOM  
650 SQ FT

UNIT 11 (UNIT E, SIM.)  
1 BEDROOM  
660 SQ FT

UNIT 10 (UNIT E, SIM.)  
1 BEDROOM  
660 SQ FT

UNIT 12 (UNIT H)  
1 BEDROOM  
460 SQ FT

1 NEW WORK - 3RD FLOOR  
1/4" = 1'-0"