

PLANNING SUBMISSION
90 S. SWAN ST.

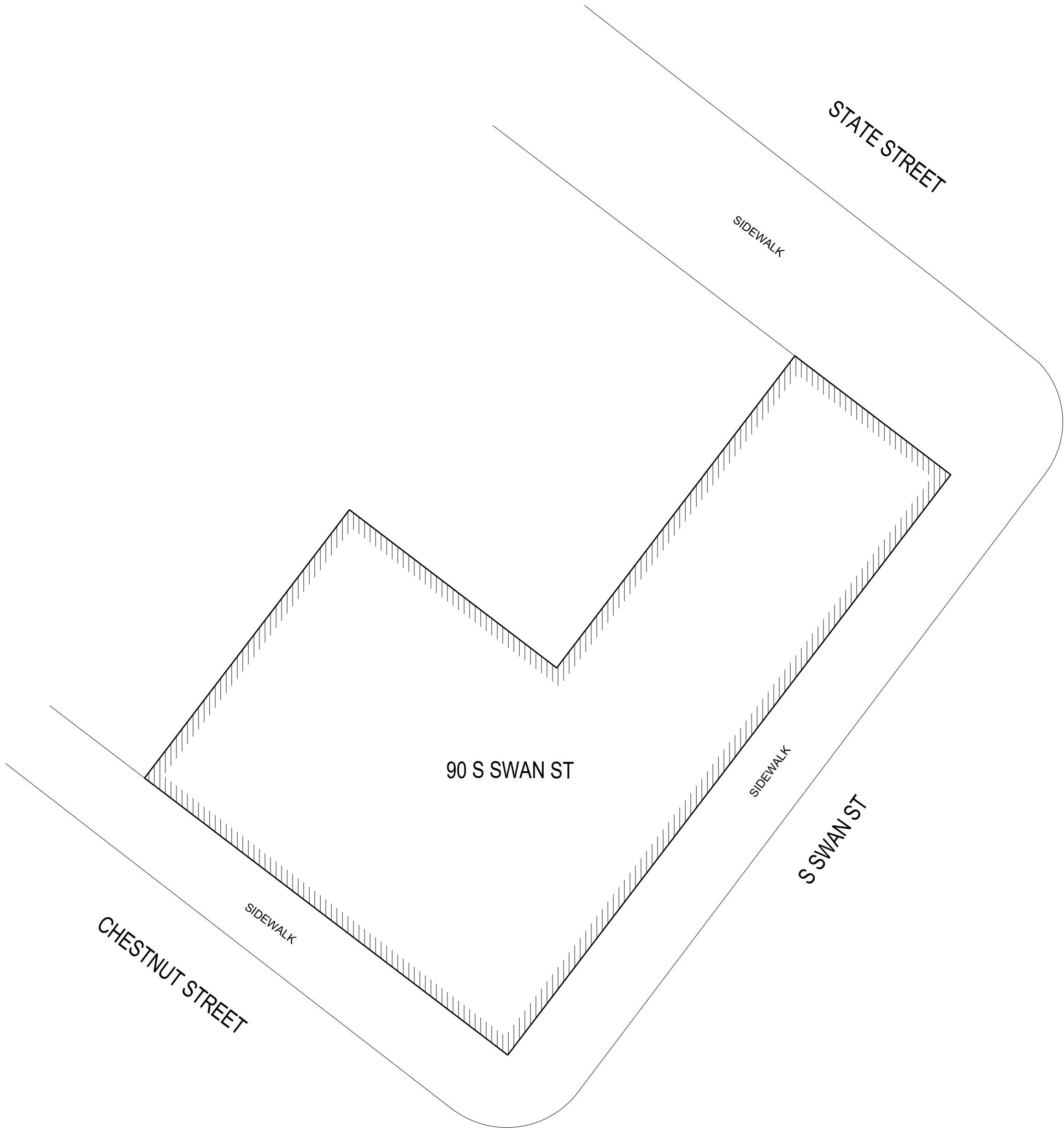
CONVERSION OF OFFICE BUILDING TO
61-UNIT APARTMENT BUILDING

90 S. SWAN ST.
ALBANY NY, 12210

TAX MAP NO. 76.24-7-44

DRAWING LIST:

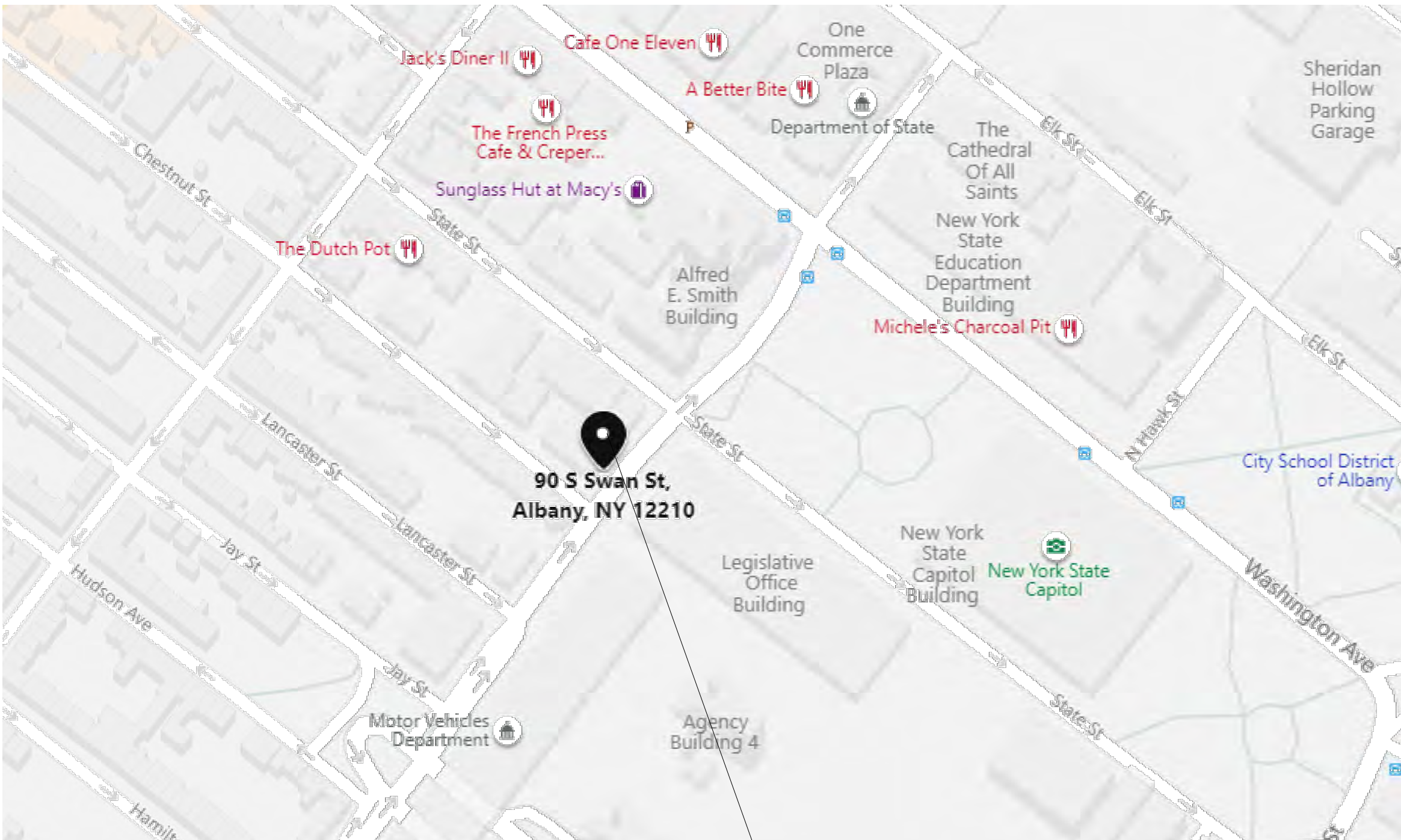
G001	COVER SHEET
1 OF 1	SURVEY
S101	LANDSCAPE PLAN
S102	UTILITY PLAN
S103	PEDESTRIAN TRAFFIC PLAN
S104	CONSTRUCTION ACCESS PLAN
S105	WORK ZONE TRAFFIC CONTROL
S106	DETAILS
A101	EXISTING FIRST FLOOR PLAN
A102	EXISTING SECOND-FOURTH FLOOR PLAN
A103	PROPOSED FIRST FLOOR PLAN
A104	PROPOSED SECOND-FOURTH FLOOR PLAN
A105	PROPOSED ROOF PLAN
A201	EXTERIOR ELEVATIONS



N
SITE PLAN
SCALE: 1" = 20'-0"



VIEW OF EXISTING BUILDING- S. SWAN STREET
SCALE: N.T.S.



N
LOCATION MAP
SCALE: N.T.S.

NOLANENGINEERINGPLLC

DESIGNING DREAMS

RICHARD E. NOLAN, P.E. - LICENSE # 083929

NEW YORK STATE LICENSED PROFESSIONAL ENGINEER

333 KINGSLEY ROAD • BURNT HILLS, NY 12027 • (516) 280-3190

WEBSITE: WWW.NOLANENGINEERING.COM

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MULTI-FAMILY CONVERSION

90 S. SWAN ST.
ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE:

STAMP:

DATE: 5/19/20

FILE:

PAGE CONTENT:
COVER SHEET

DRAFTER: SINGER
ENGINEER: NOLAN

PAPER SIZE: D (24"x36")
SCALE: AS SHOWN

SHEET:
G001

TAX PARCEL IDENTIFICATION

CITY OF ALBANY - COUNTY OF ALBANY - STATE OF NEW YORK
SECTION 76.24 - BLOCK 7 - LOT 44
12,576.2± SQUARE FEET

DEED REFERENCE

1. 90 SO. SWAN ST., LLC TO THE SANTO GROUP INC. BY DEED DATED MAY 01, 2013 AND FILED IN THE ALBANY COUNTY CLERK'S OFFICE IN DEED BOOK 3065 AT PAGE 1147.

MAP REFERENCE

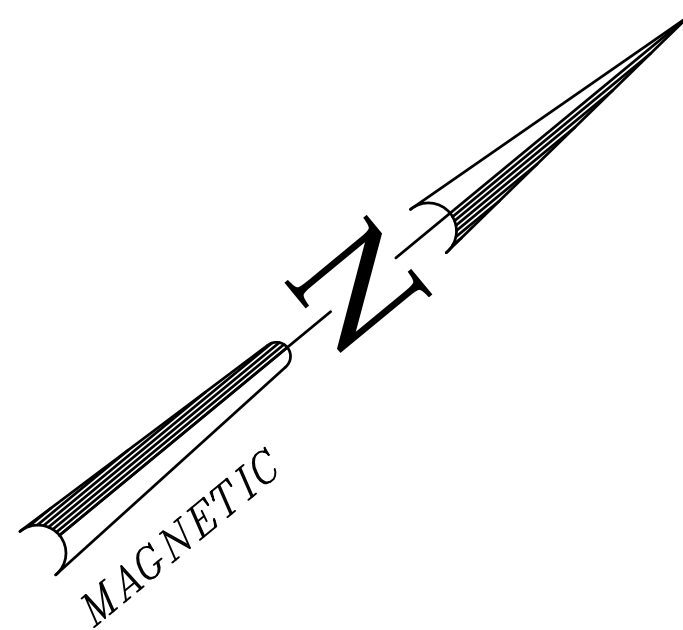
MAP ENTITLED "MAP OF SURVEY OF LANDS AT 276 STATE STREET FOR ADVANTAGE PROPERTY SERVICES, LLC." PREPARED BY BETHLEHEM LAND SURVEYING PLLC. DATED MAY 26, 2015.

TITLE REPORT REFERENCE

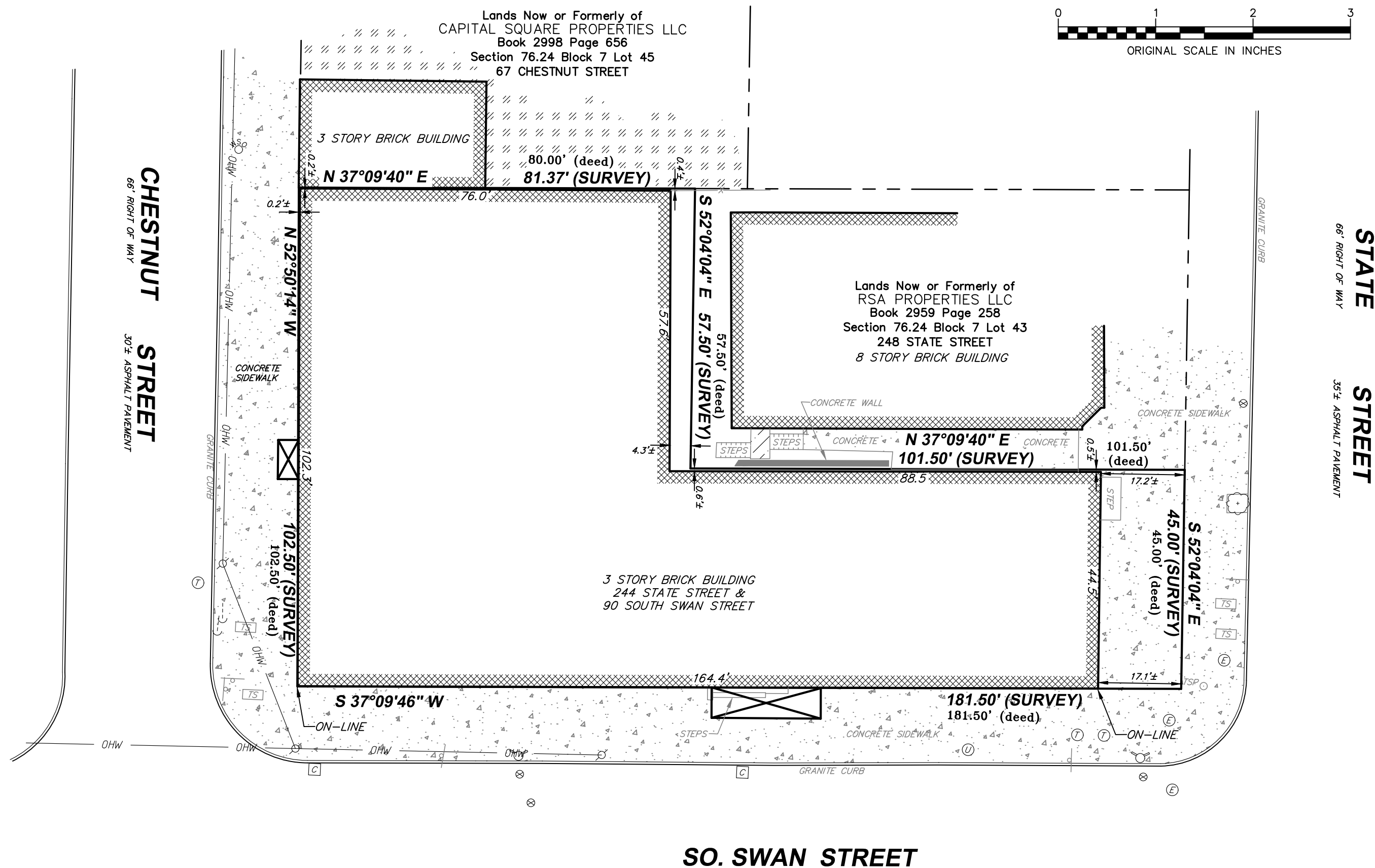
CERTIFICATE OF TITLE ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, PROVIDED BY LANDMARK ABSTRACT AGENCY LLC., TITLE COMMITMENT NO: LAA1778, EFFECTIVE DATE: OCTOBER 13, 2015.

SURVEYOR'S NOTES

1. SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.
2. SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
3. SURVEY SUBJECT TO ANY UNDERGROUND UTILITIES CROSSING THIS PROPERTY.
4. DWELLING SHOWN HEREON SERVED BY UNDERGROUND UTILITIES.
5. THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. LOCATION OF FACILITIES AND/OR STRUCTURES OUTSIDE OF LIMITS OF FIELD SURVEY ARE SUBJECT TO WHATEVER STATE OF FACTS A FIELD SURVEY MAY REVEAL. THEIR LOCATION IS NOT CERTIFIED BY THIS SURVEY.
6. CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS.
7. NORTH ORIENTATION AND BEARINGS SHOWN HEREON ARE BASED ON MAP REFERENCE 1.
8. PRINTED DIMENSIONS SHOWN ON THE MAP OF SURVEY SUPERSEDE SCALED DIMENSIONS. SOME ITEMS MAY HAVE BEEN DRAWN OUT OF SCALE TO GRAPHICALLY SHOW THEIR LOCATION.



SCALE 1 INCH = 20 FEET



LEGEND

	SUBJECT PROPERTY LINE
	ADJACENT PROPERTY LINE
	FENCE
	OVERHEAD WIRES
	SIGN
	SQUARE CATCH BASIN
	DECIDUOUS TREE
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	TRAFFIC SIGNAL CONTROL BOX
	TRAFFIC SIGNAL POLE
	UTILITY POLE
	GUY WIRE
	WATER SHUT OFF VALVE
	WATER VALVE
	HYDRANT
	CONCRETE SURFACE
	PORCH/COVERED AREA
	WOOD SURFACE
	BLACKTOP SURFACE

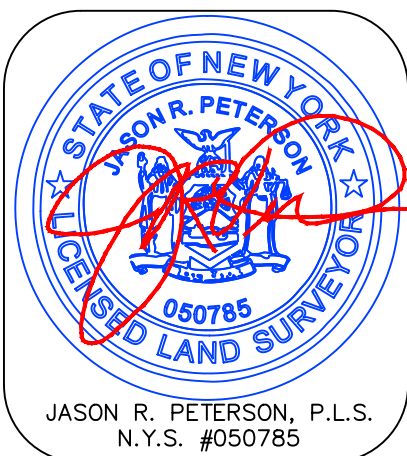
CERTIFIED TO: MAN REALTY LLC, SHARESTATES INVESTMENTS, LLC, AMTRUST TITLE INSURANCE COMPANY and ATLANTIS NATIONAL SERVICES, INC.

DRAWN BY: JRP		DATE FIELD SURVEY COMPLETED:	
CHECKED BY: JRP		NOV. 4, 2015	
JOB NO.: 2015-155		DATE SURVEY MAP COMPLETED:	
		NOV. 4, 2015	
1	07/19/18	UPDATED SURVEY, REVISED CERTIFICATIONS	J.R.P.
NO.	DATE:		BY:

BETHLEHEM
LAND SURVEYING, PLLC.

Jason R. Peterson, PLS
273 KENWOOD AVENUE
DELMAR, NEW YORK 12054
(518) 813-0059

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UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES MADE FROM THE ORIGINAL OF THIS DRAWING BEARING AN ORIGINAL INKED OR EMBOSSED SEAL AND SIGNATURE SHALL BE CONSIDERED TO BE VALID TRUE COPIES. I HEREBY CERTIFY THAT THIS SURVEY MAP IS BASED ON AN ACTUAL FIELD SURVEY CONDUCTED ON NOV. 4, 2015 AND THAT THIS SURVEY MAP WAS MADE BY ME OR UNDER MY DIRECTION, AND CONFORMS WITH THE MINIMUM STANDARD OF PRACTICE ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

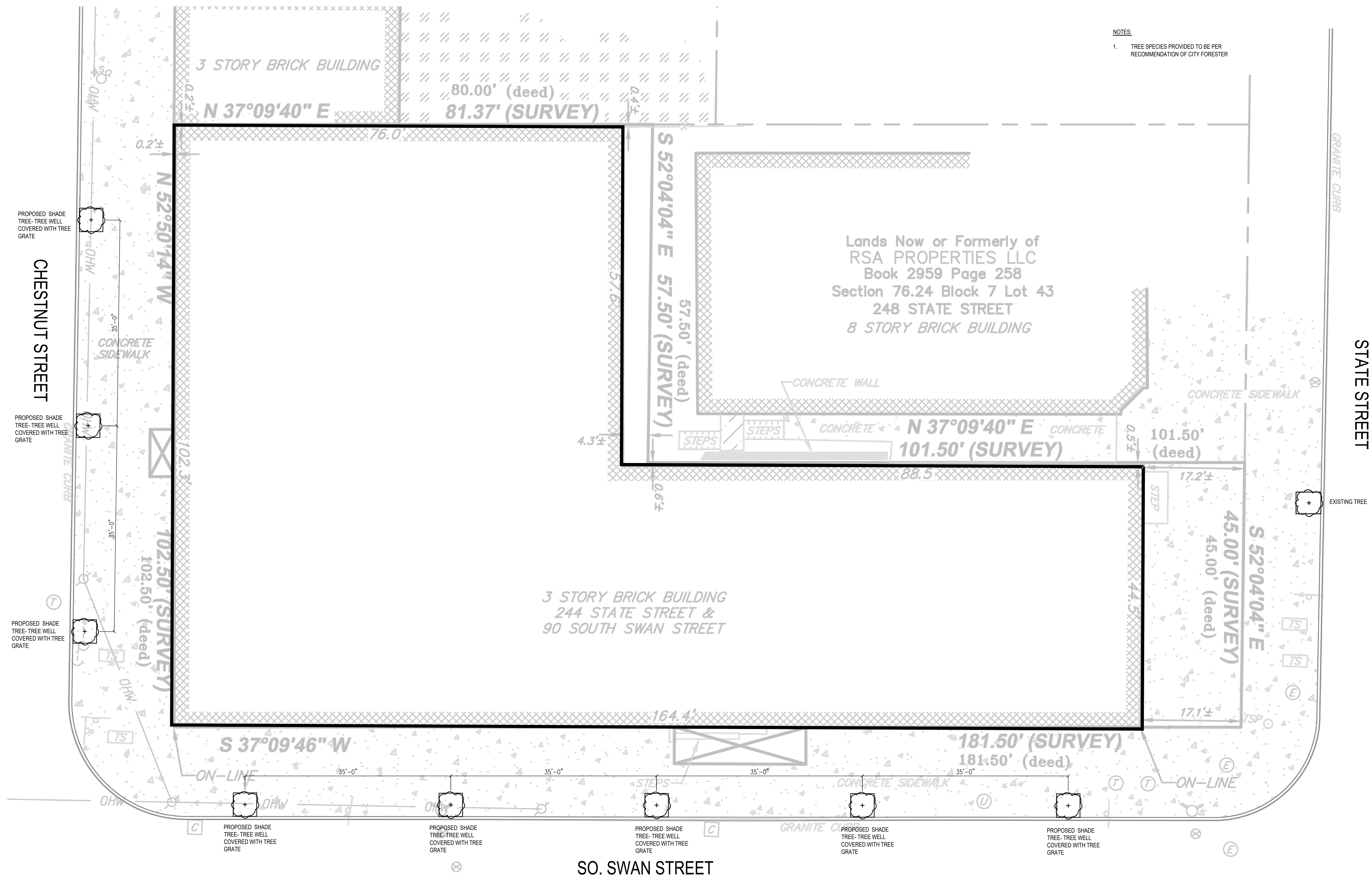
MAP OF SURVEY OF

Lands at 244 State Street &
90 So. Swan Street

- SITUATE -

CITY OF ALBANY ALBANY COUNTY

NEW YORK



PROPOSED LANDSCAPE PLAN
SCALE: $\frac{1}{8}" = 1'-0"$

NOTES:

1. TREE SPECIES PROVIDED TO BE PER RECOMMENDATION OF CITY FORESTER

[illegible]

MULTI-FAMILY CONVERSION
90 S. SWAN ST.
ALBANY, NY 12210
CLIENT: MAN REALTY

STAMP:



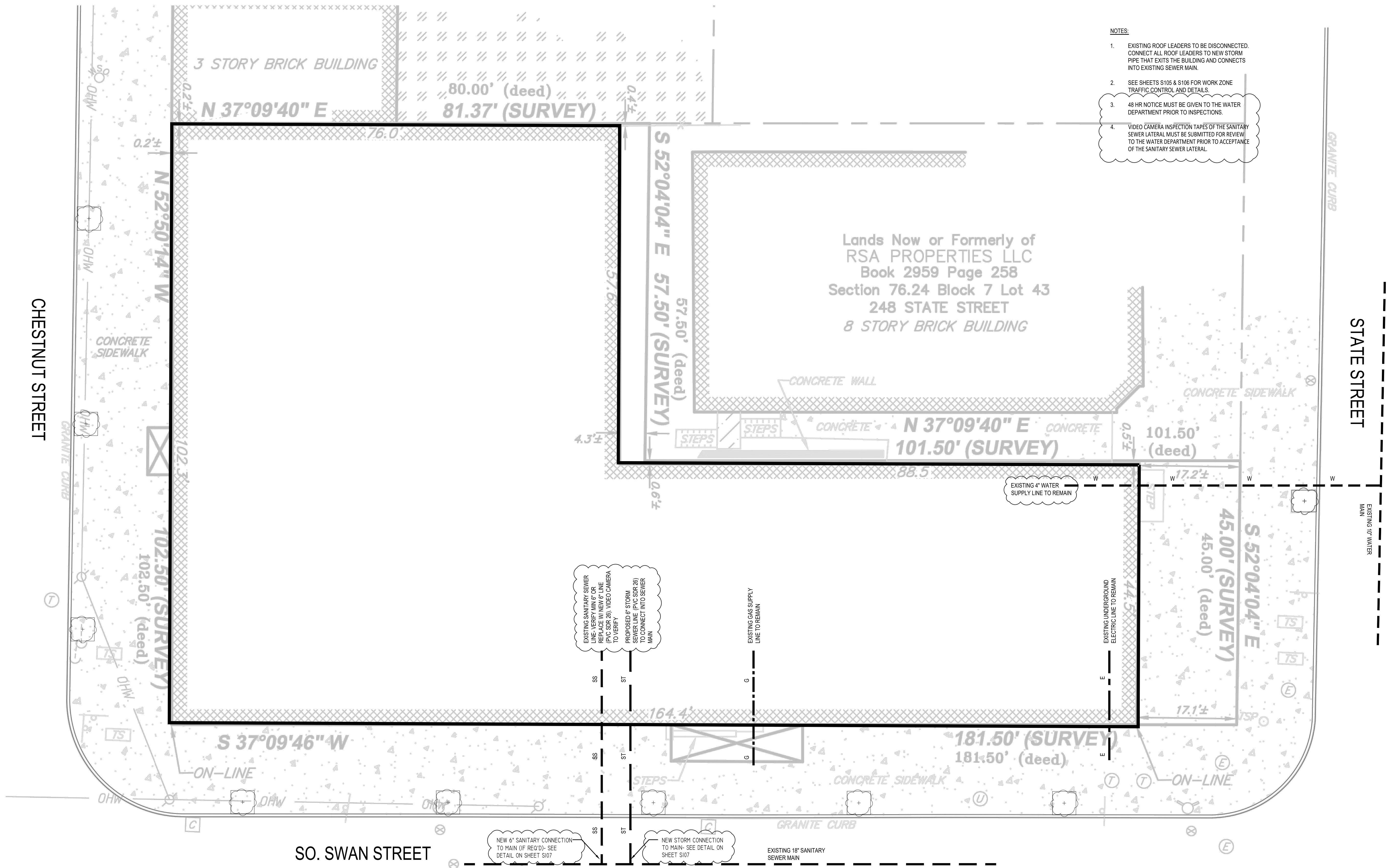
DATE: 5/19/20

FILE:

PAGE CONTENT:
PROPOSED LANDSCAPE
PLAN

PAPER SIZE: D (24"x36")	SCALE: AS SHOWN
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S101



- NOTES:
1. EXISTING ROOF LEADERS TO BE DISCONNECTED. CONNECT ALL ROOF LEADERS TO NEW STORM PIPE THAT EXITS THE BUILDING AND CONNECTS INTO EXISTING SEWER MAIN.
 2. SEE SHEETS S105 & S106 FOR WORK ZONE TRAFFIC CONTROL AND DETAILS.
 3. 48 HR NOTICE MUST BE GIVEN TO THE WATER DEPARTMENT PRIOR TO INSPECTIONS.
 4. VIDEO CAMERA INSPECTION TAPES OF THE SANITARY SEWER LATERAL MUST BE SUBMITTED FOR REVIEW TO THE WATER DEPARTMENT PRIOR TO ACCEPTANCE OF THE SANITARY SEWER LATERAL.

Lands Now or Formerly of
RSA PROPERTIES LLC
Book 2959 Page 258
Section 76.24 Block 7 Lot 43
248 STATE STREET
8 STORY BRICK BUILDING

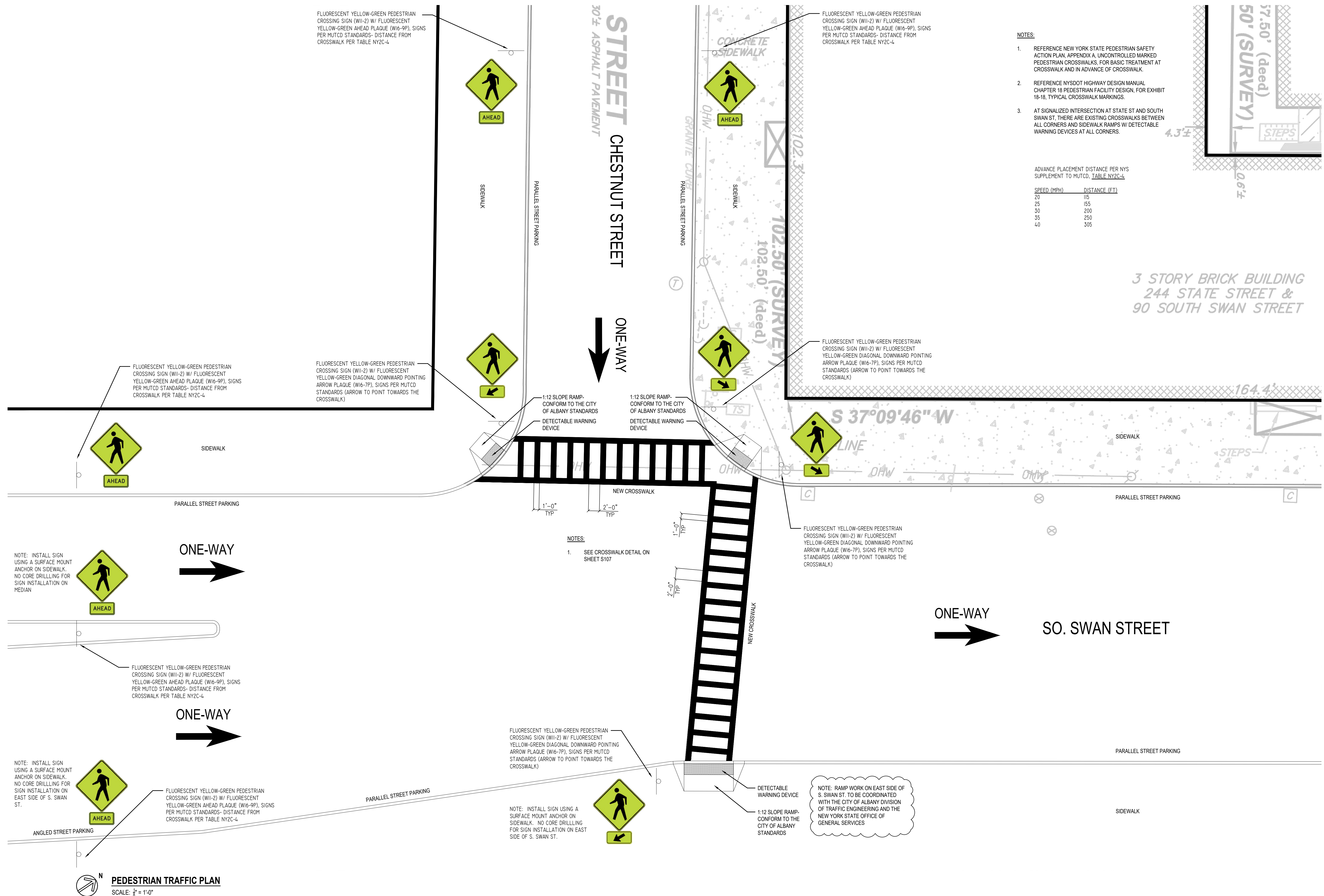
NOLAN ENGINEERING PLLC
DESIGNING DREAMS
RICHARD E. NOLAN, P.E. LICENSE # 083929
NEW YORK STATE LICENSED PROFESSIONAL ENGINEER
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7/14/20	PLANNING	COMMENTS	URS

MULTI-FAMILY CONVERSION
90 S. SWAN ST.
ALBANY, NY 12210
CLIENT: MAN REALTY

START DATE:
STAMP:

DATE:	5/19/20
FILE:	
PAGE CONTENT:	PROPOSED UTILITY PLAN
DRAFTER:	ENGINEER:
SINGER	NOLAN
PAPER SIZE:	SCALE:
D (24"x36")	AS SHOWN
SHEET:	S102



RECORD OF WORK:		
DATE:	DESCRIPTION:	BY:
7.7.20	PLANNING COMMENTS	JRS
7.14.20	PLANNING COMMENTS	JRS
9.16.20	PLANNING COMMENTS	JRS

MULTI-FAMILY CONVERSION

90 S. SWAN ST.
ALBANY, NY 12210

CLIENT: MAN REALTY

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STAMP:



DATE: 5/19/20

FILE: _____

PAGE CONTENT:
PEDESTRIAN TRAFFIC
PLAN

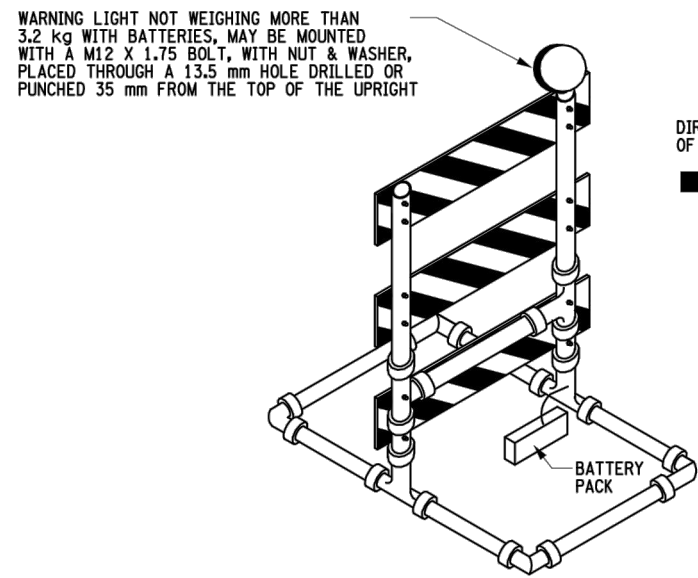
DRAFTER: SINGER	ENGINEER: NOLAN
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PAPER SIZE: D (24"x36")	SCALE: AS SHOWN
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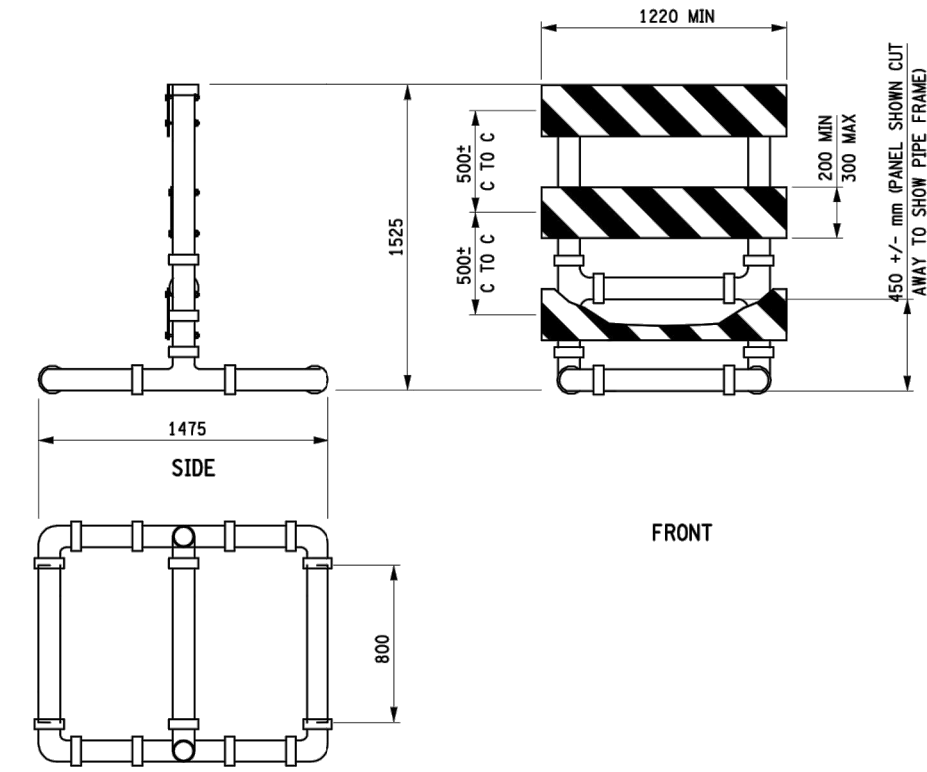
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S103

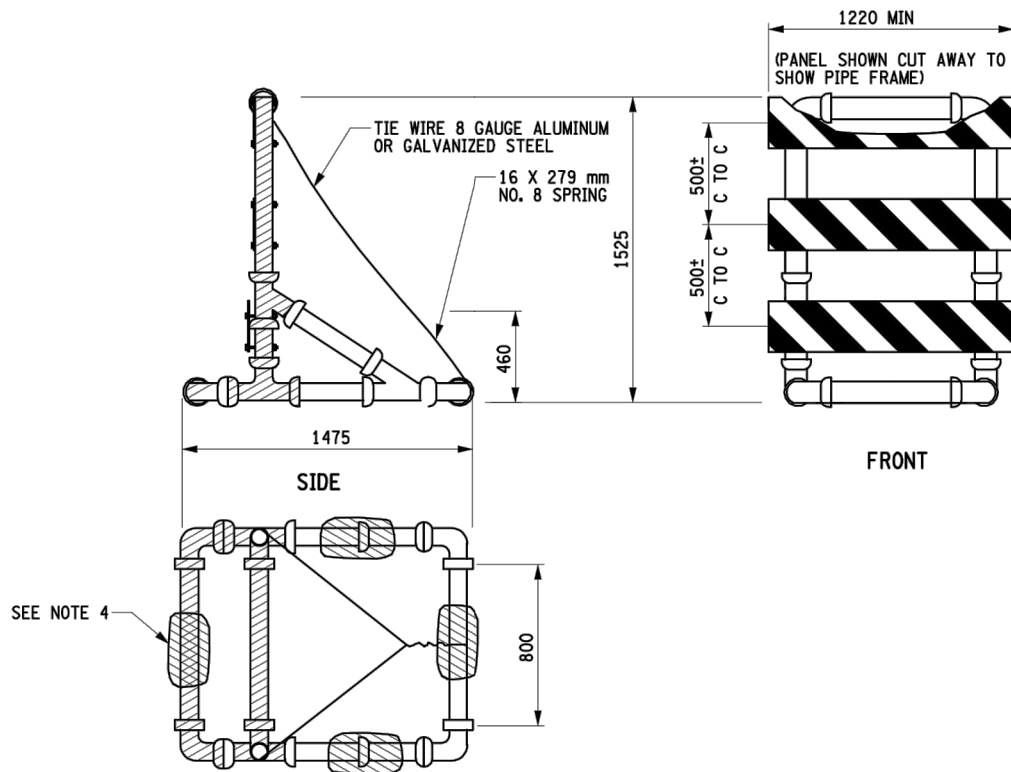
SCALE: $\frac{1}{8}'' = 1'-0''$



DETAILS FOR FASTENING LIGHT ON TOP OF BARRICADE



TYPE III CONSTRUCTION BARRICADE
ALTERNATE "A"



TYPE III CONSTRUCTION BARRICADE
ALTERNATE "B"

- NOTES:
- THE DETAILS AND MATERIALS FOR TYPE III CONSTRUCTION BARRICADES ARE NCHRP 350 APPROVED. IF THE CONTRACTOR ELECTS TO USE AN ALTERNATE DESIGN OR MATERIALS, THE ALTERNATIVE SHALL BE NCHRP 350 APPROVED.
 - THE ALTERNATES SHOWN ON THIS SHEET ARE EQUALLY ACCEPTABLE AND THE CONTRACTOR MAY USE ANY ONE OR A MIXTURE OF TYPES.
 - PANELS SHALL HAVE 150 mm WIDE REFLECTORIZED ORANGE AND WHITE DIAGONAL STRIPES SLOPING AT AN ANGLE OF 45°. IN ACCORDANCE WITH 8729-06, THE STRIPES SHALL SLOPE DOWNWARD TOWARD THE SIDE ON WHICH TRAFFIC IS TO PASS.
 - BALLAST MAY BE PLACED ON THE BASE MEMBERS OF THE BARRICADE. BALLAST SHALL NOT EXTEND INTO THE ACCESSIBLE PASSAGE WIDTH OF 1.525 m WHERE BARRICADES ARE USED TO CHANNELIZE PEDESTRIANS.
 - PANELS FOR BARRICADES MAY BE WOOD, PLASTIC, OR ALUMINUM. PIPE FOR BARRICADES SHALL USE SDR SIZES 21 TO 32.
 - WHEN BATTERY AND LIGHT WEIGH MORE THAN 3.2 kg, THE BATTERY SHALL BE MOUNTED AT THE BOTTOM OF THE BARRICADE.
 - ALL PIPES SHOULD BE WHITE. WHITE FITTINGS ARE PREFERRED. BLACK MAY BE USED. ALL JOINTS IN ALTERNATIVE "A" SHALL BE GLED WITH A SOLVENT CEMENT COMPATIBLE WITH THE P.V.C. PIPE.
 - IF BARRICADES ARE USED TO TEMPORARILY CHANNELIZE PEDESTRIANS, THERE SHALL BE CONTINUOUS DETECTABLE BOTTOM AND TOP RAILS WITH NO GAP BETWEEN INDIVIDUAL BARRICADES. BARRICADES SHALL BE DETECTABLE TO BLIND OR VISUALLY IMPAIRED USERS OF LONG CANES. THE BOTTOM OF THE BOTTOM RAIL SHALL BE NO HIGHER THAN 150 mm ABOVE THE GROUND SURFACE. THE TOP OF THE TOP RAIL SHALL BE NO LOWER THAN 1 m ABOVE THE GROUND SURFACE.

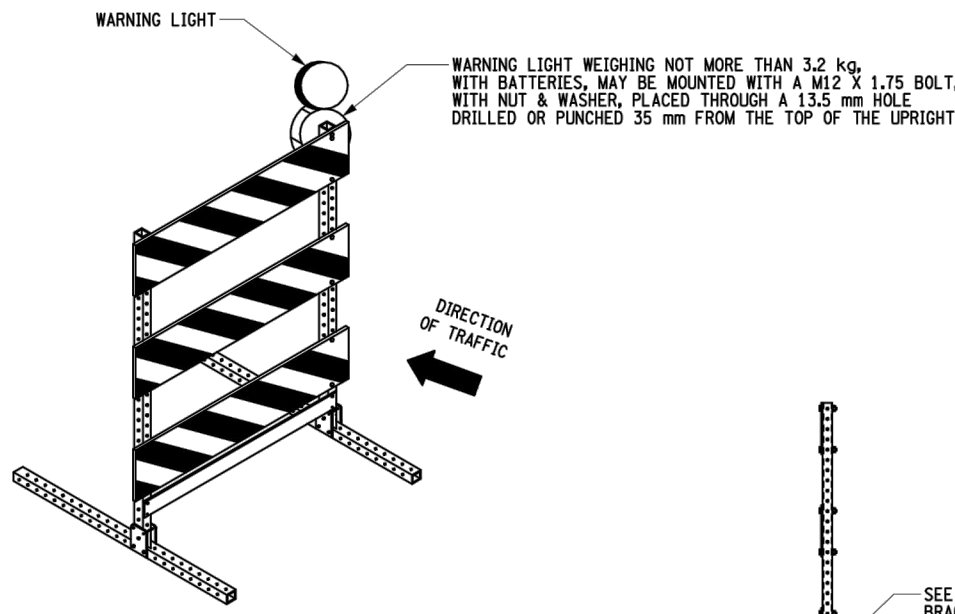
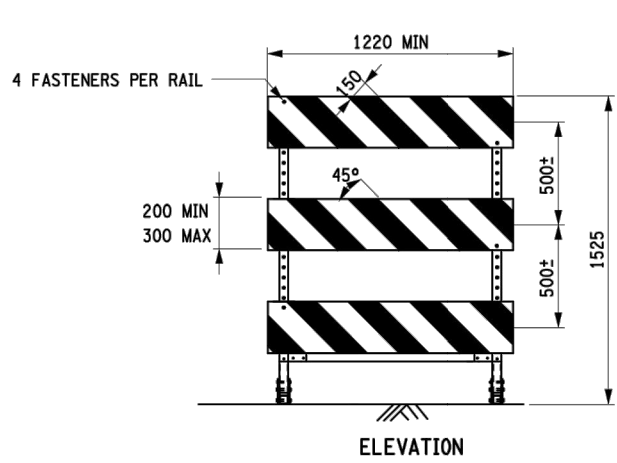
STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION

METRIC STANDARD SHEET

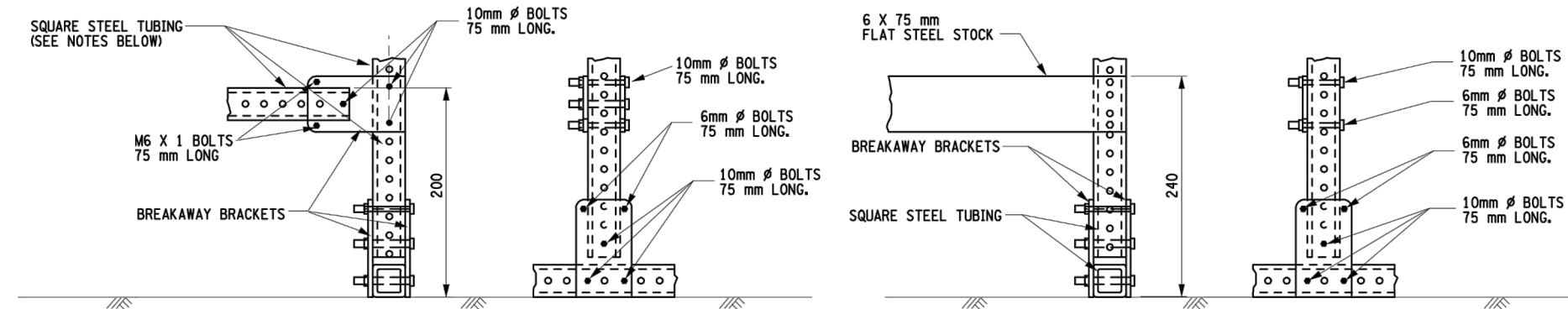
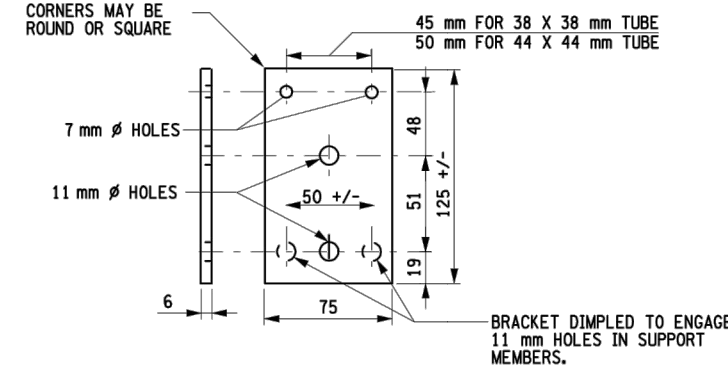
PVC
TYPE III CONSTRUCTION BARRICADES
(SHEET 1 OF 2)

APPROVED
/S/ DANIEL D'ANGELO, PE
DEPUTY CHIEF ENGINEER
DESIGN

ISSUED UNDER EB 07-028
EFFECTIVE DATE: 05-01-08
M619-4R2



DETAIL FOR FASTENING LIGHT
ON TOP OF BARRICADE



ALTERNATE BRACKET DETAIL

NOTE: SQUARE STEEL TUBING SHALL MEET ONE OF THE FOLLOWING SIZE AND MATERIAL REQUIREMENTS:

- 12 GAGE 44.5 X 44.5, ASTM A653
- 12 GAGE 38.1 X 38.1, ASTM A653
- 14 GAGE 44.5 X 44.5, ASTM A1011

ALL BOLTS ARE A325 OR EQUIVALENT BOLTS

STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION

METRIC STANDARD SHEET

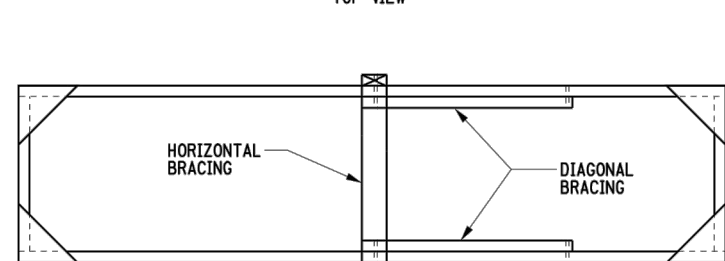
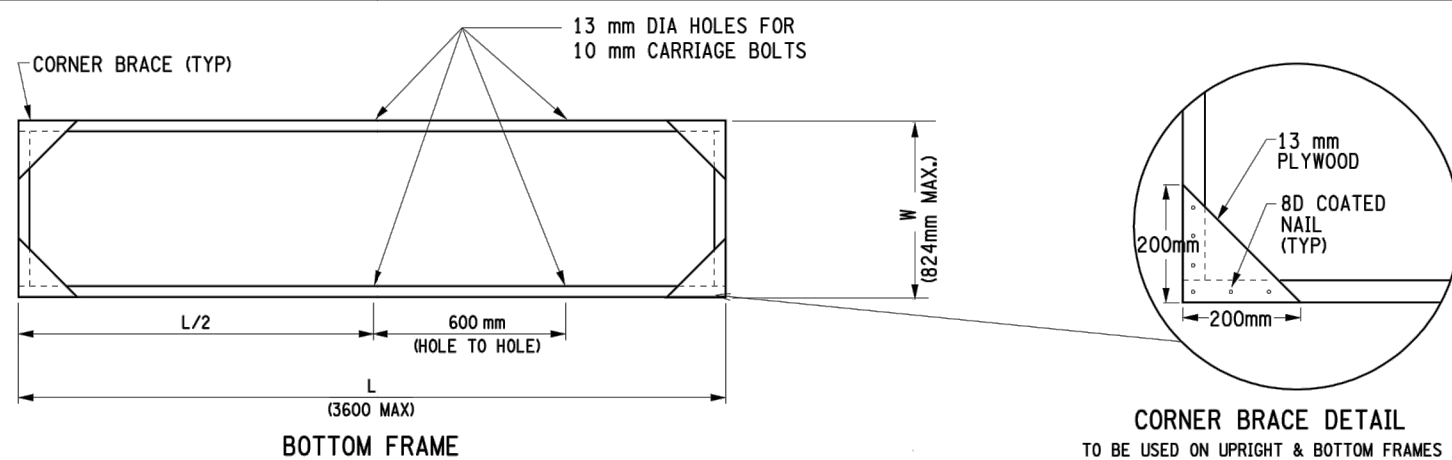
METAL FRAME
TYPE III CONSTRUCTION BARRICADES
(SHEET 2 OF 2)

APPROVED
/S/ DANIEL D'ANGELO, PE
DEPUTY CHIEF ENGINEER
DESIGN

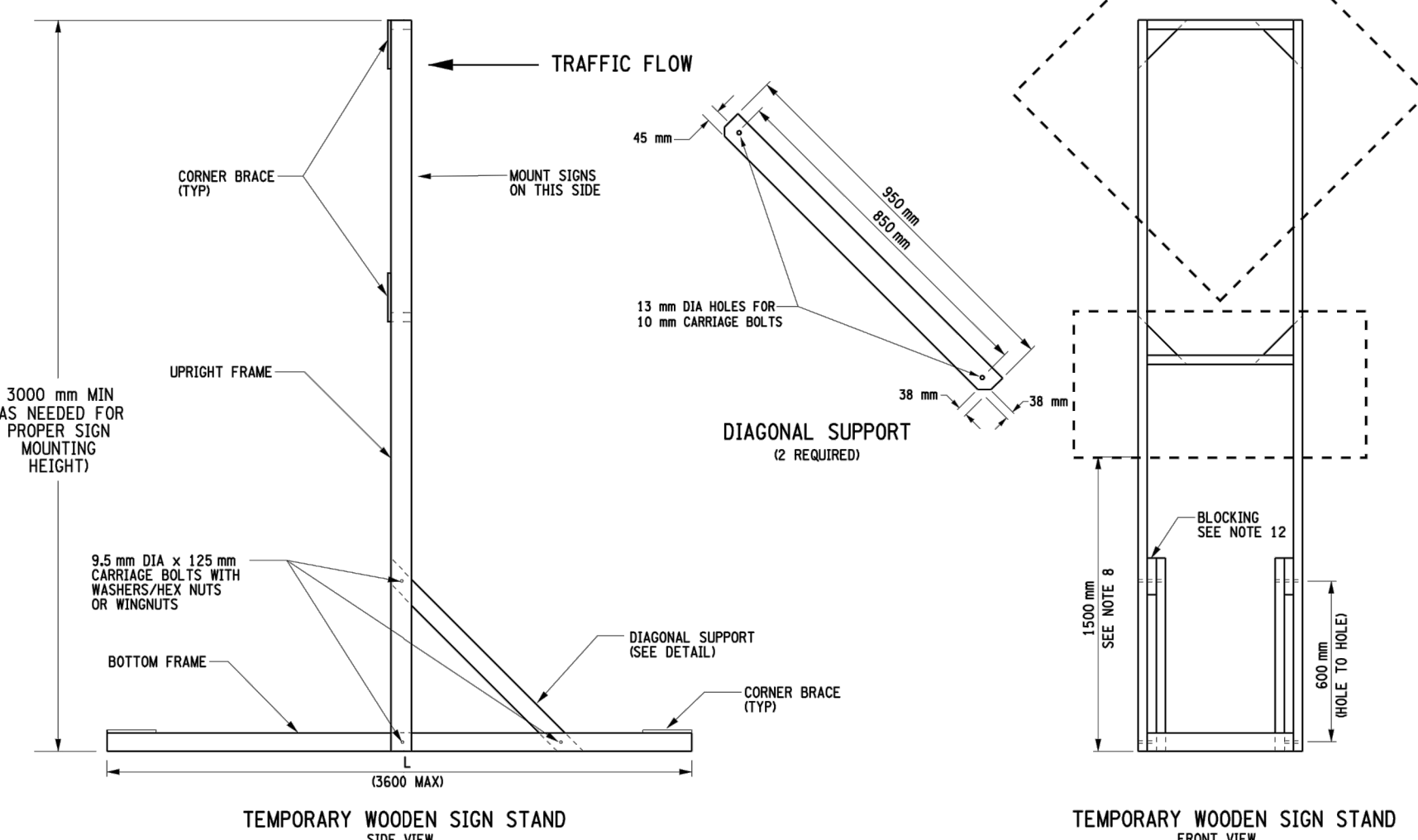
ISSUED UNDER EB 07-028
EFFECTIVE DATE: 05-01-08
M619-5R2

D.O.T. TYPE III CONSTRUCTION BARRICADES

SCALE: N.T.S.



TEMPORARY WOODEN SIGN STAND
TOP VIEW



TEMPORARY WOODEN SIGN STAND
SIDE VIEW

TEMPORARY WOODEN SIGN STAND
FRONT VIEW

- NOTES:
- ALL LUMBER SHALL BE 38 x 89 DIMENSIONAL LUMBER. ALL CORNER BRACES SHALL BE 13mm PLYWOOD. ALL BOLTS SHALL BE 3.5 mm x 125 mm CARRIAGE W/ WASHERS & HEX NUTS. CONNECT FRAME MEMBERS WITH 2 EACH 120 COATED NAILS.
 - CONNECT FRAME CORNER BRACES TO FRAME MEMBERS W/ 6 EACH - 80 COATED NAILS. 13 NAILS INTO EACH FRAME MEMBER.
 - PAINT SIGN SUPPORT W/ 2 COATS OF WHITE PAINT.
 - UPRIGHT FRAME MOUNTS ON THE OUTSIDE OF THE BOTTOM FRAME.
 - DIAGONAL SUPPORTS MOUNT INSIDE BOTH UPRIGHT & BOTTOM FRAMES. ALL UPRIGHT DIAGONAL BRACING SHALL BE SLOPED SUCH THAT BRACING COLLAPSES DOWNWARD UPON IMPACT BY A VEHICLE.
 - A SINGLE LAYER OF BALLAST PLACED ON THE BOTTOM FRAME MAY BE USED TO PREVENT SIGNS FROM TIPPING OVER FROM WIND AND VEHICLE GUSTS.
 - NO HORIZONTAL BRACING ALLOWED BETWEEN 600 mm AND 1500 mm ON UPRIGHT VERTICALS, MEASURED FROM THE BOTTOM OF THE SKID BASE.
 - 1500 mm MINIMUM SIGN MOUNTING HEIGHT, MEASURED FROM THE BOTTOM OF THE SKID BASE TO THE BOTTOM OF THE SIGN. VERTICAL SUPPORTS SHALL BE TALL ENOUGH TO ALLOW FOR HIGHER MOUNTING HEIGHTS FOR THOSE LOCATIONS REQUIRED BY THE MUTCD (E.G. SIDEWALKS, ROADSIDE PARKING AND ENHANCEMENTS).
 - CONNECTIONS ALLOW FOR THE FOLDING, TRANSPORT AND STORAGE OF THE SUPPORT. WHEN FOLDED IN THE DOWN POSITION WITHIN THE CLEAR ZONE, THE MAXIMUM ASSEMBLY HEIGHT SHALL NOT EXCEED 150 mm. SIMILAR NON-FOLDING SUPPORTS SHALL BE STORED OUTSIDE THE CLEAR ZONE OR BEHIND A BARRIER.
 - L = LENGTH OF BOTTOM FRAME.
 - W = WIDTH OF BOTTOM FRAME.
 - ALL 13 mm DIAMETER HOLES TO BE DRILLED IN CENTERLINE OF FRAME MEMBERS AND DIAGONAL BRACES.
 - 150 mm BLOCK SPACER MAY BE USED BETWEEN DIAGONAL BRACE AND VERTICAL SUPPORT.

STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION

METRIC STANDARD SHEET

PORTABLE
TEMPORARY WOODEN SIGN SUPPORT

APPROVED
/S/ DANIEL D'ANGELO, PE
DEPUTY CHIEF ENGINEER
DESIGN

ISSUED UNDER EB 04-021
EFFECTIVE DATE: APRIL 29, 2004
M619-8

D.O.T. PORTABLE TEMPORARY WOODEN SIGN SUPPORT

SCALE: $\frac{1}{8}" = 1'-0"$

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NEW YORK STATE LICENSED PROFESSIONAL ENGINEER
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DETAILS

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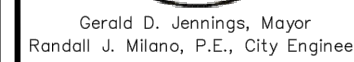
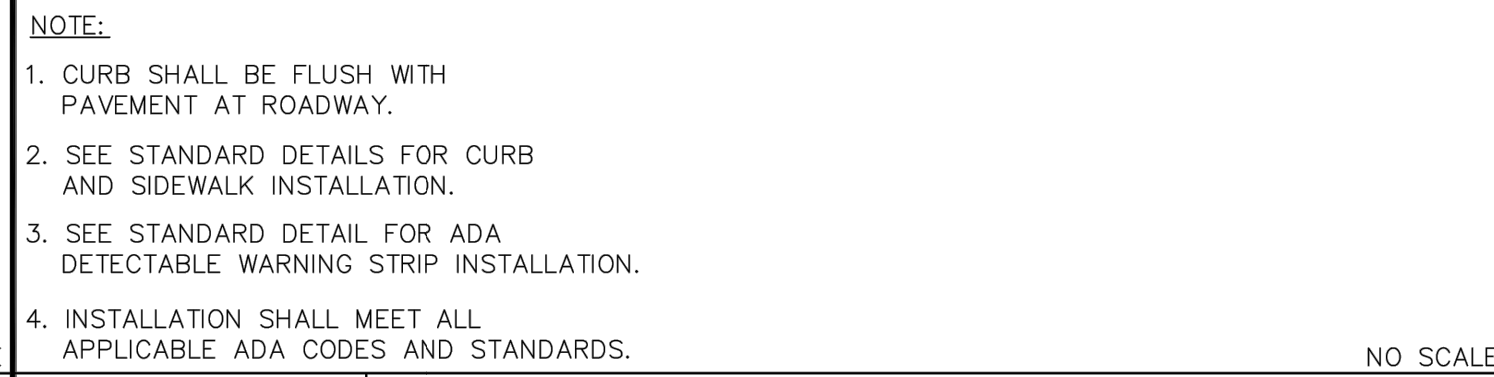
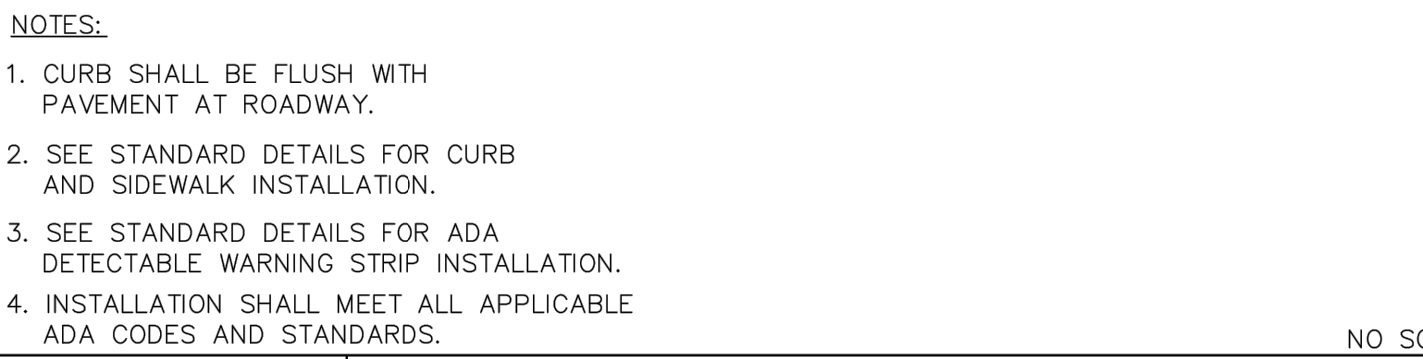
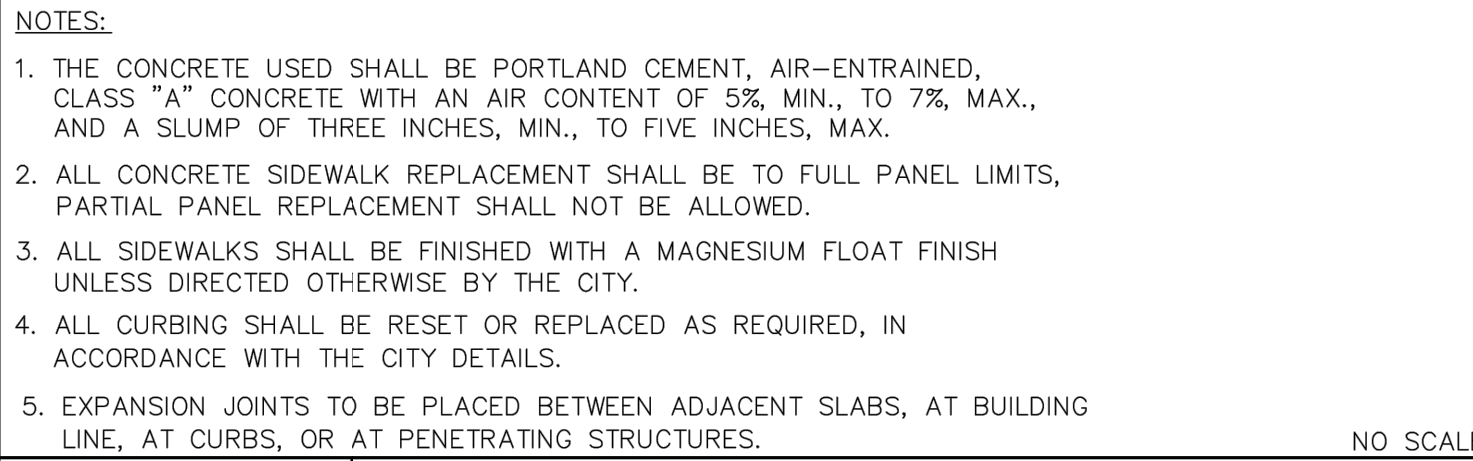
ENGINEER: NOLAN

PAPER SIZE: D (24"x36")

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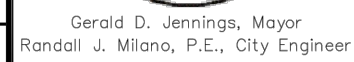
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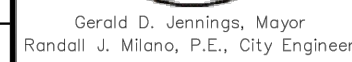
SIDEWALK REPLACEMENT DETAIL

DETAIL No. SW-2	FILE NAME: SW-2.DWG	DATE ISSUED 05/01/02	REVISION DATE 06/01/10
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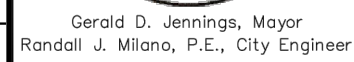
SIDEWALK RAMP AT STREET
DETAIL

DETAIL No. SW-3	FILE NAME: SW-3.DWG	DATE ISSUED 05/01/02	REVISION DATE 06/01/10
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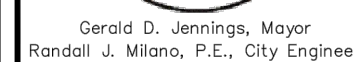
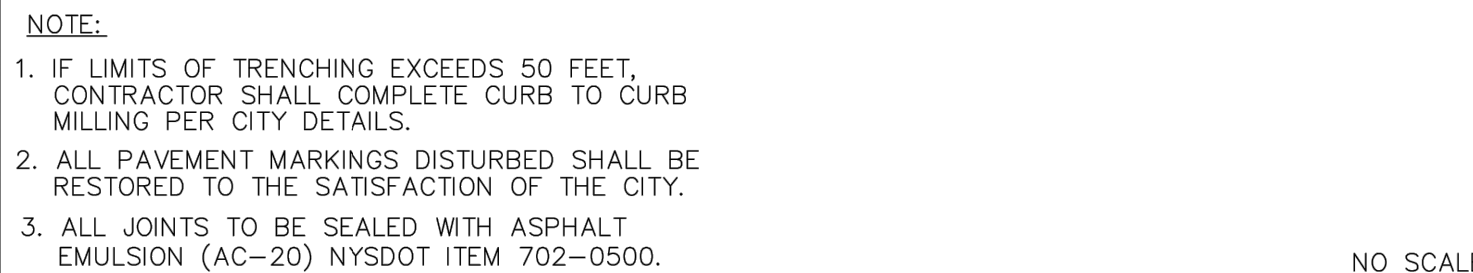
SIDEWALK RAMP AT STREET CORNER DETAIL

DETAIL No. SW-4	FILE NAME: SW-4.DWG	DATE ISSUED 05/01/02	REVISION DATE 06/01/10
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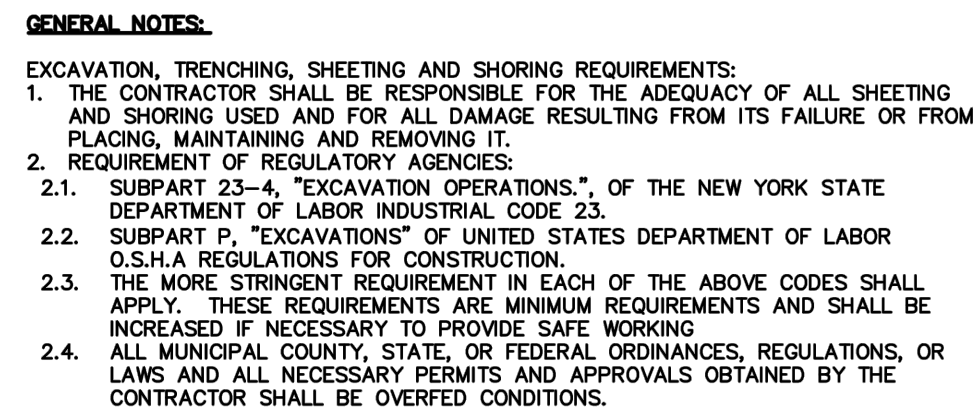
CROSSWALK DETAIL

DETAIL No. CW-1	FILE NAME: CW-1.DWG	DATE ISSUED 12/9/03	REVISION DATE 06/01/10
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STREET RESTORATION ASPHALT PAVEMENT DETAIL

DETAIL No. SR-1	FILE NAME: SR-1.DWG	DATE ISSUED 05/01/02	REVISION DATE 10/10/12
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SANITARY SEWER SERVICE CONNECTIONS

NOLAN ENGINEERING PLLC
WORK SPACE ENGINEERING & DESIGN
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NEW YORK STATE LICENSED PROFESSIONAL ENGINEER
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7.14.20	PLANNING COMMENTS	JRS

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CLIENT: MAN REALTY

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DETAILS

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ENGINEER:

NOLAN

PAPER SIZE:

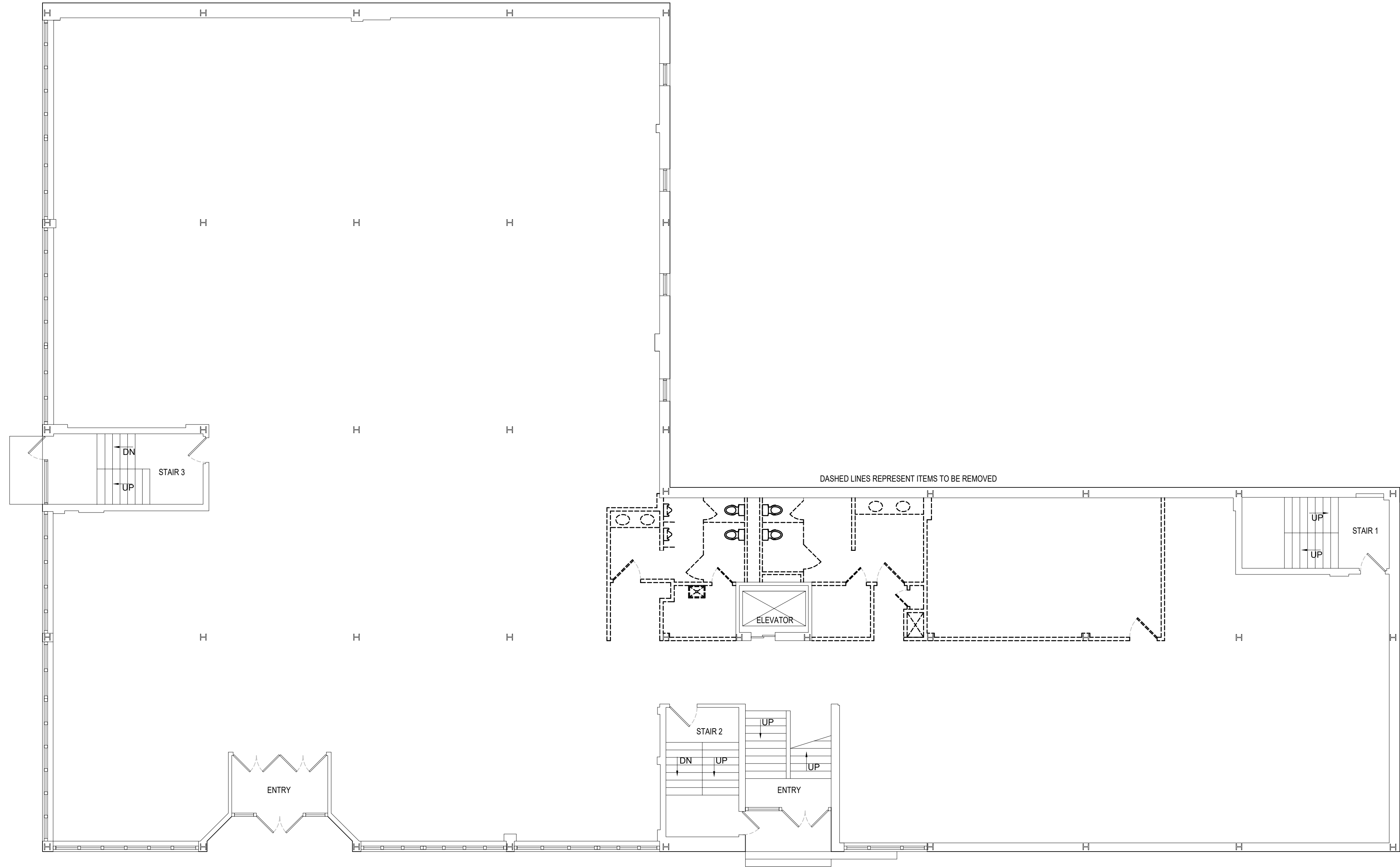
SCALE:

SHEET:

S107



EXISTING FIRST FLOOR PLAN
SCALE: $\frac{1}{8}" = 1'-0"$



DESIGNING
YOUNG
DREAMS

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ENGINEERING PLLC

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ALBANY, NY 12210

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START DATE:

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DATE: 5/19/20

FILE:

PAGE CONTENT:
EXISTING FIRST
FLOOR PLAN

DRAFTER: SINGER	ENGINEER: NOLAN
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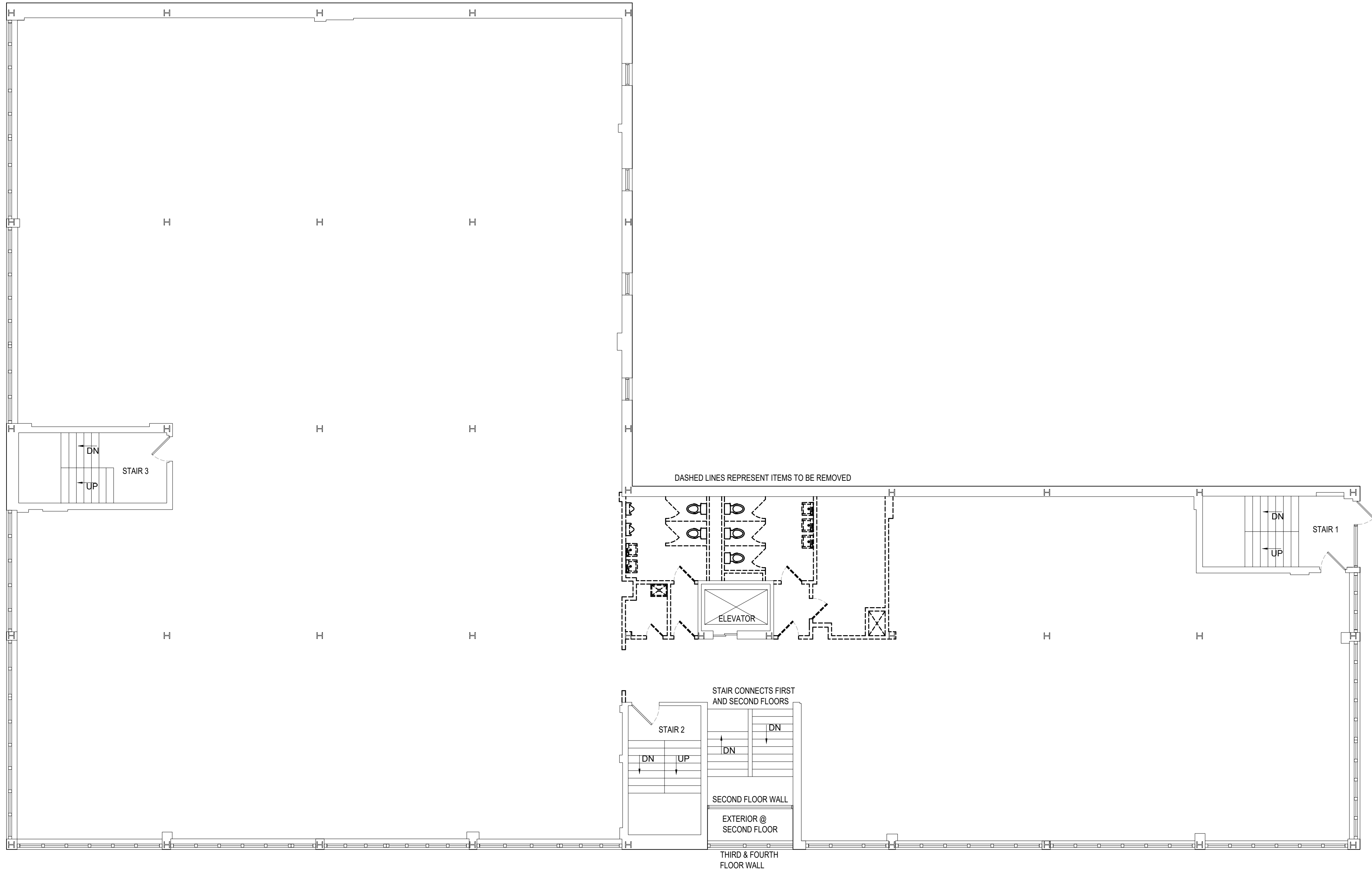
PAPER SIZE: D (24"x36")	SCALE: AS SHOWN
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SHEET:

A101



EXISTING SECOND - FOURTH FLOOR PLAN
SCALE: $\frac{1}{8}" = 1'-0"$



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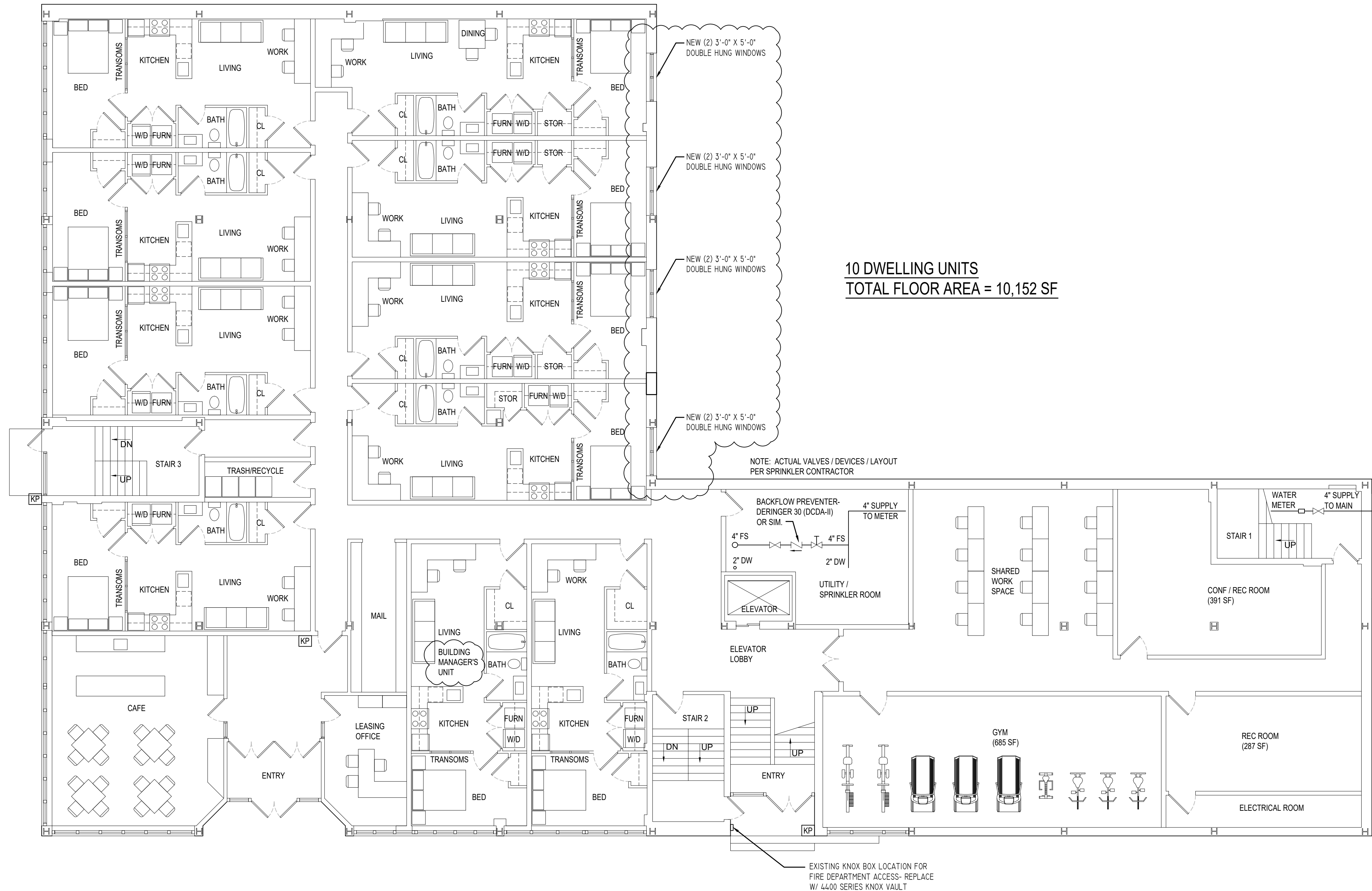
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PAGE CONTENT:
EXISTING 2ND-4TH
FLOOR PLAN

DRAFTER: SINGER	ENGINEER: NOLAN
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PAPER SIZE: D (24"x36")	SCALE: AS SHOWN
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SHEET:
A102



10 DWELLING UNITS
TOTAL FLOOR AREA = 10,152 SF

NOTES:

- USDO 10% RECREATION SPACE REQUIREMENT:
SITE AREA = 12,768 SF
1,277 SF RECREATION SPACE REQUIRED
GYM + REC RM + CONF/REC ROOM = 1,363 SF PROVIDED
- SEE A201 EXTERIOR ELEVATIONS FOR LOCATIONS
WHERE OPAQUE FILM IS TO BE INSTALLED ON INTERIOR
FACE OF GLASS WHERE UNIT DEMISING WALL OCCURS
- REFERENCE USDO AFFORDABLE HOUSING COMPLIANCE
PLAN FOR 3 (5% OF TOTAL) REQUIRED AFFORDABLE
RENTAL UNITS

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DATE:	DESCRIPTION:	URS
7.14.20	PLANNING COMMENTS	URS
8.6.20	TRASH / RECYCLE ROOM	URS
9.2.20	BUILDING MANAGER	URS

MULTI-FAMILY CONVERSION

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PROPOSED FIRST
FLOOR PLAN

DRAFTER:

SINGER

ENGINEER:

NOLAN

PAPER SIZE:

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SCALE:

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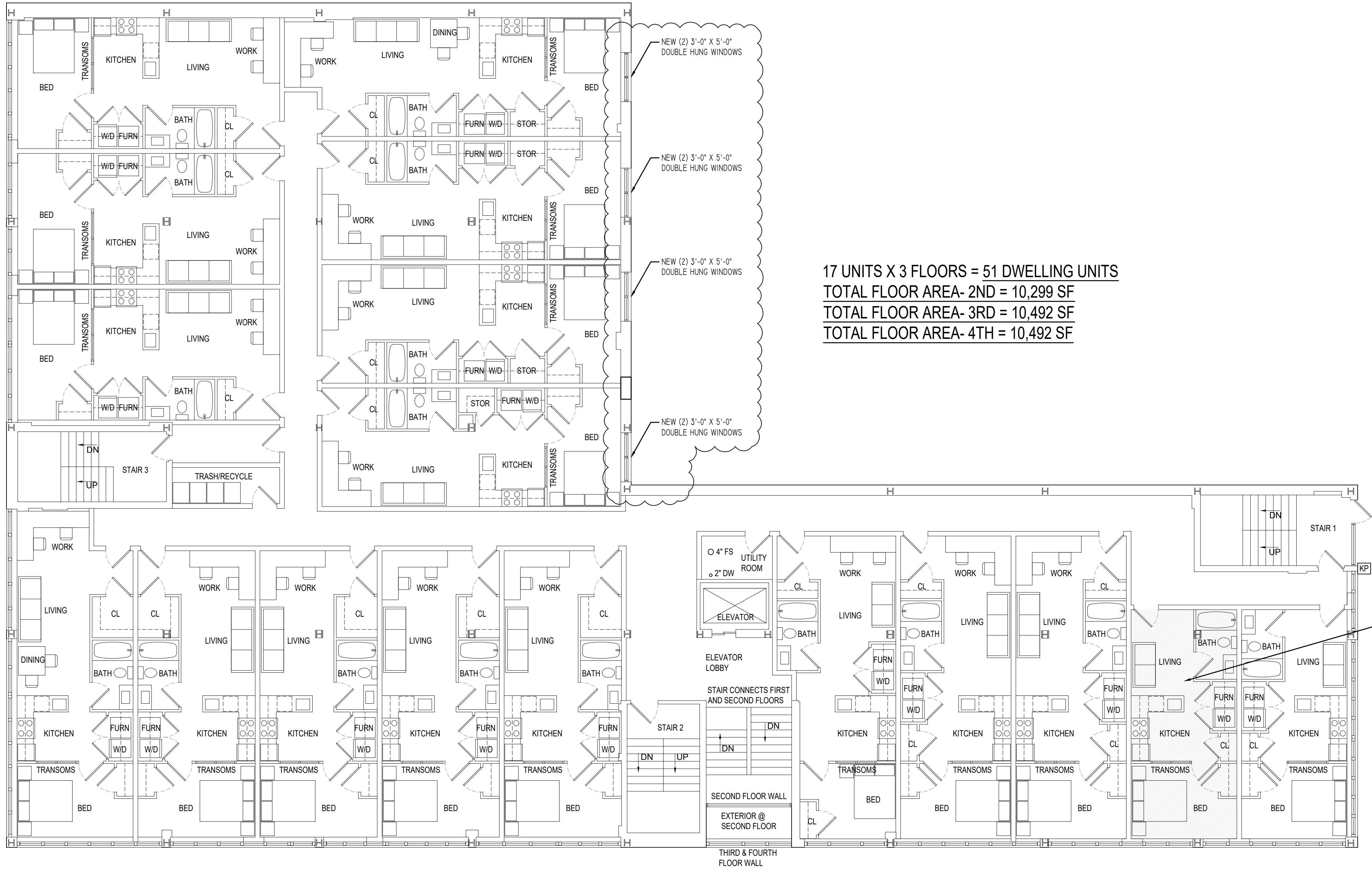
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A103



PROPOSED FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



17 UNITS X 3 FLOORS = 51 DWELLING UNITS
TOTAL FLOOR AREA- 2ND = 10,299 SF
TOTAL FLOOR AREA- 3RD = 10,492 SF
TOTAL FLOOR AREA- 4TH = 10,492 SF

- NOTES:
- SEE A201 EXTERIOR ELEVATIONS FOR LOCATIONS WHERE OPAQUE FILM IS TO BE INSTALLED ON INTERIOR FACE OF GLASS WHERE UNIT DEMISING WALL OCCURS
 - REFERENCE USDO AFFORDABLE HOUSING COMPLIANCE PLAN FOR 3 (5% OF TOTAL) REQUIRED AFFORDABLE RENTAL UNITS

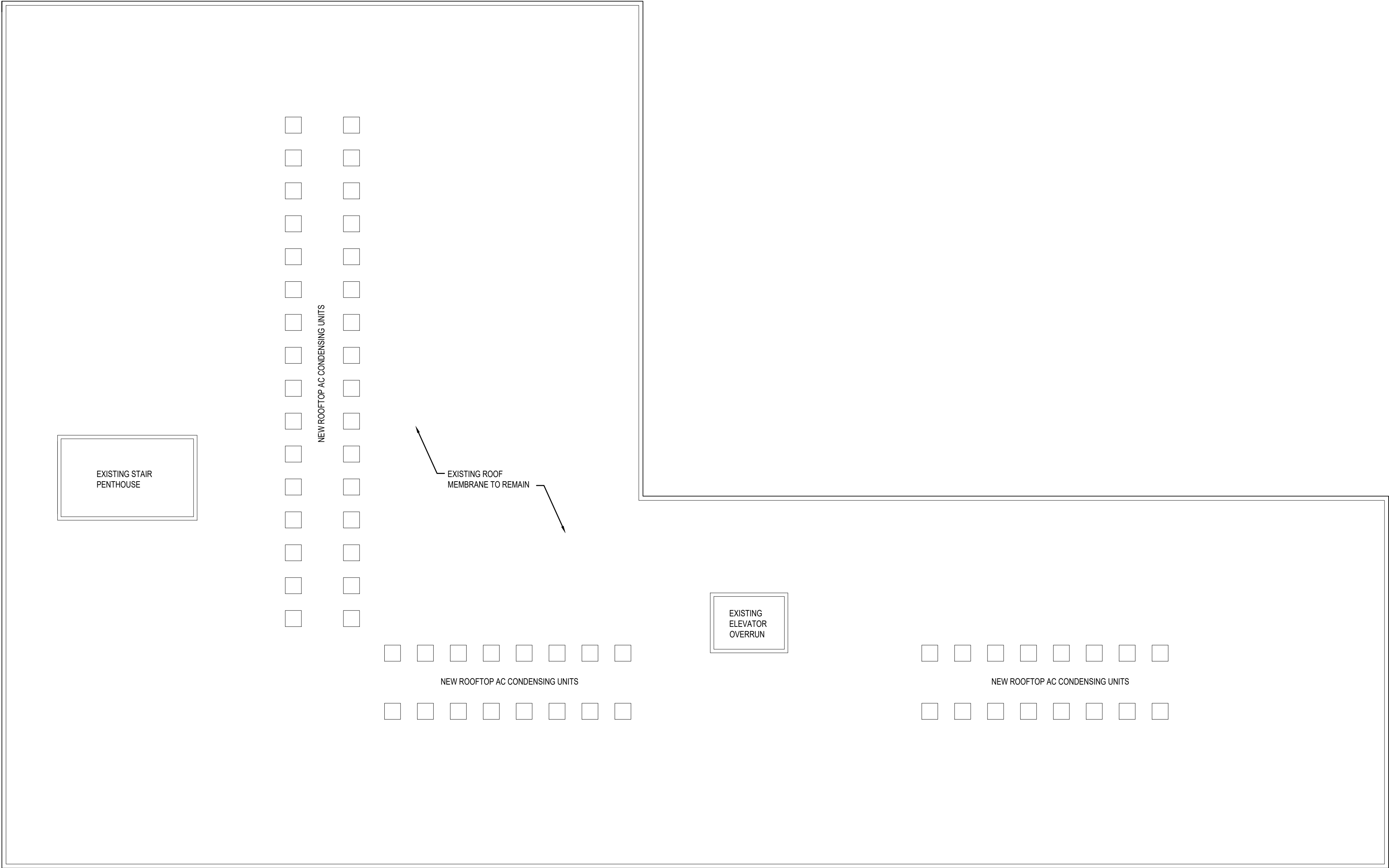
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8.6.20	TRASH/RECYCLE ROOM
9.2.20	REAR WINDOWS

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PAGE CONTENT:	PROPOSED 2ND-4TH FLOOR PLAN
DRAFTER:	ENGINEER:
SINGER	NOLAN
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SHEET:	A104



NOTES:

1. ALL NEW INTAKE & EXHAUST FOR DWELLING UNIT MECHANICAL UNITS, BATHROOM & DRYER EXHAUSTS, AND CAFE AND COMMON AREA EXHAUST AS REQUIRED, TO BE THROUGH THE ROOF.
2. EXISTING RTUS NOT REQUIRED TO BE REMOVED.
3. ALL ROOF LEADERS TO BE DISCONNECTED FROM SANITARY DRAIN LINES THROUGHOUT BUILDING. ROOF LEADERS TO BE CONNECTED TO ONE PIPE THAT EXITS THE BUILDING AND CONNECTS INTO EXISTING SEWER MAIN.

MULTI-FAMILY CONVERSION

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PAGE CONTENT:
PROPOSED ROOF PLAN

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ENGINEER:
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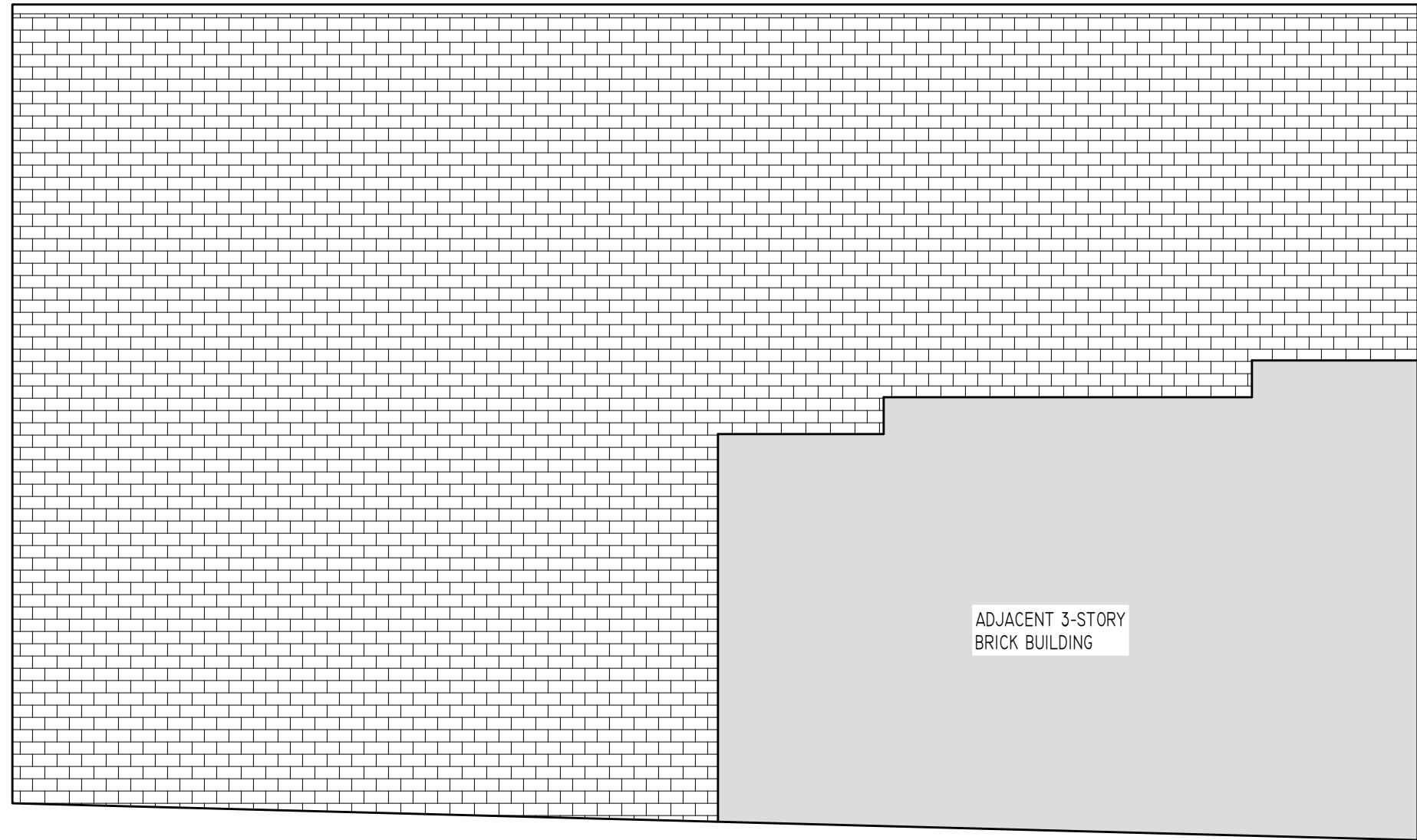
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A105

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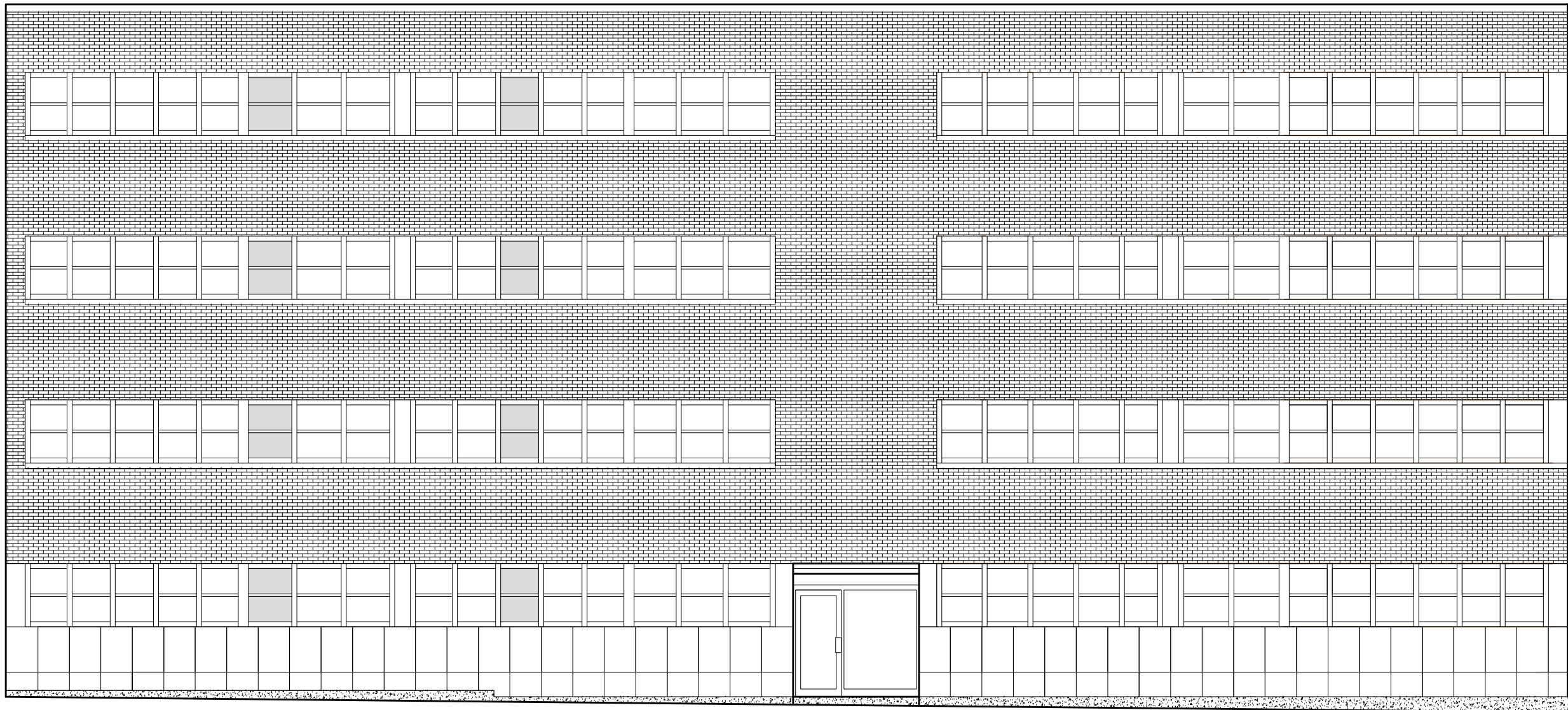
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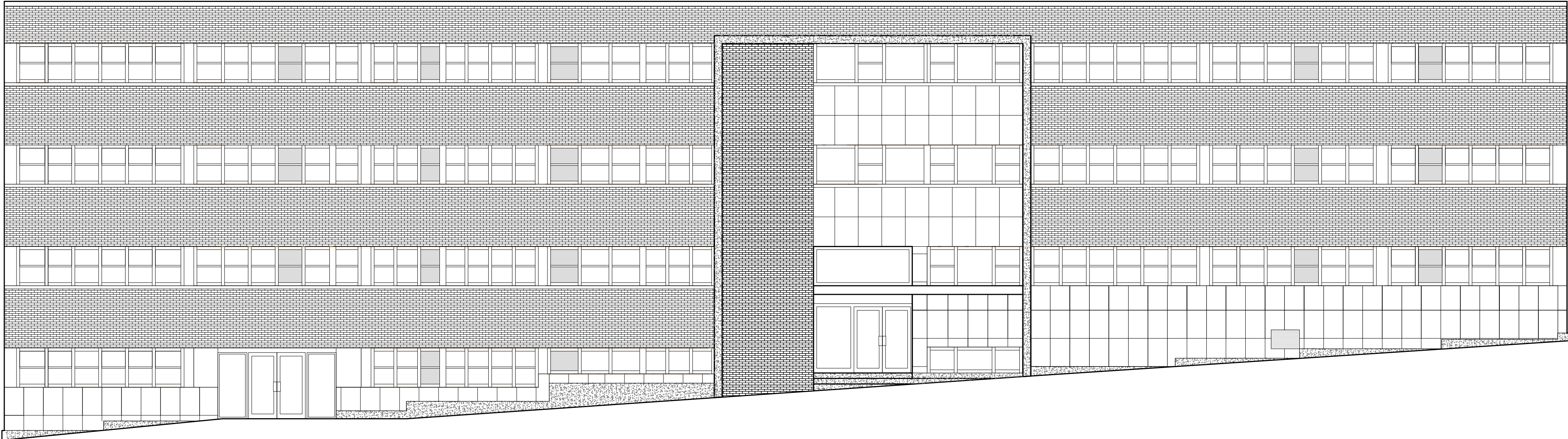
NORTHWEST ELEVATION (CHESTNUT ST.)
SCALE: $\frac{1}{8}" = 1'-0"$

NOTE: NO CHANGES TO THE EXISTING ELEVATION



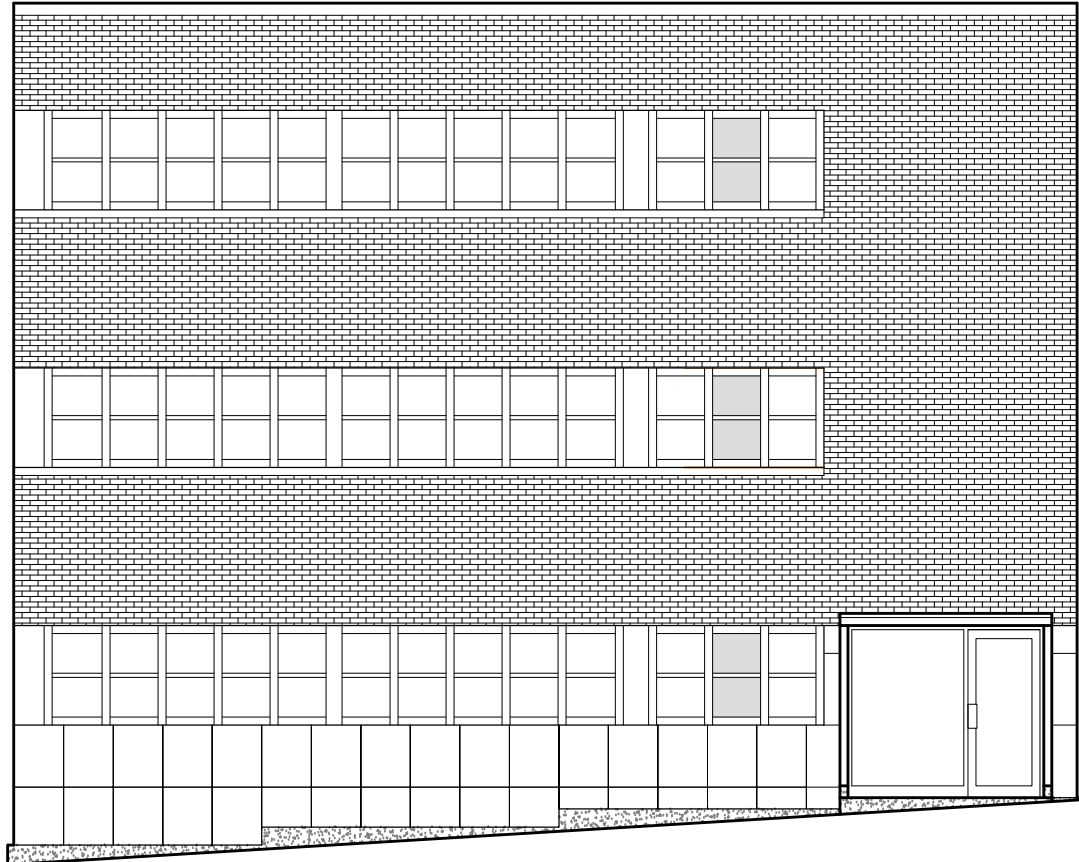
SOUTHWEST ELEVATION (CHESTNUT ST.)
SCALE: $\frac{1}{8}" = 1'-0"$

NOTE: NO CHANGES TO THE EXISTING ELEVATION



SOUTHEAST ELEVATION (S. SWAN ST.)
SCALE: $\frac{1}{8}" = 1'-0"$

NOTE: NO CHANGES TO THE EXISTING ELEVATION



NORTHEAST ELEVATION (STATE ST.)
SCALE: $\frac{1}{8}" = 1'-0"$

NOTE: NO CHANGES TO THE EXISTING ELEVATION

- NOTES:**
- HATCH AT WINDOWS REPRESENTS OPAQUE FILM TO BE INSTALLED ON INTERIOR FACE OF GLASS WHERE UNIT DEMISING WALL OCCURS.

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