

PLANNING SUBMISSION  
90 S. SWAN ST.

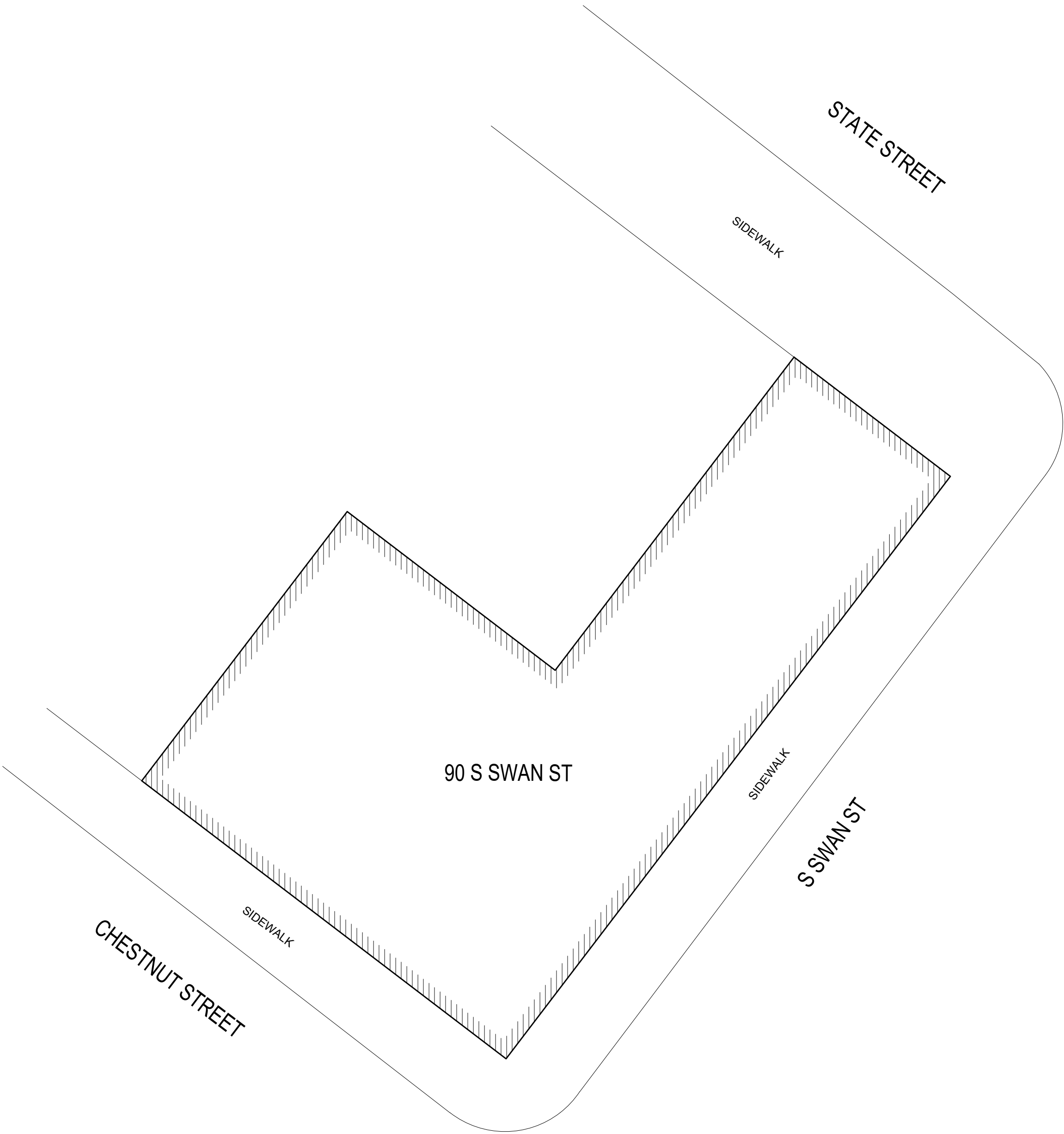
CONVERSION OF OFFICE BUILDING TO  
61-UNIT APARTMENT BUILDING

90 S. SWAN ST.  
ALBANY NY, 12210

TAX MAP NO. 76.24-7-44

DRAWING LIST:

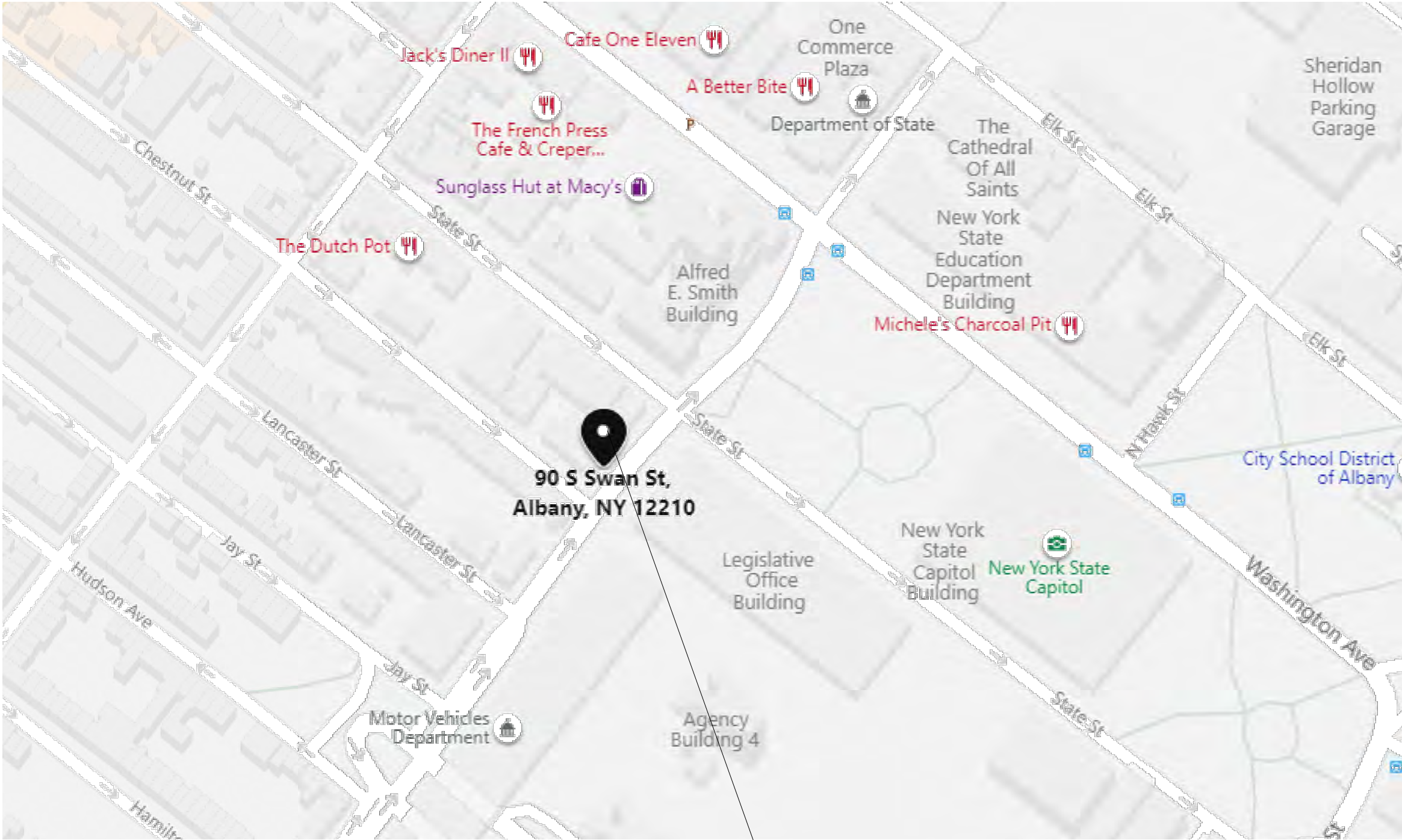
G001	COVER SHEET
1 OF 1	SURVEY
S101	LANDSCAPE PLAN
S102	UTILITY PLAN
S103	PEDESTRIAN TRAFFIC PLAN
S104	CONSTRUCTION ACCESS PLAN
S105	WORK ZONE TRAFFIC CONTROL
S106	DETAILS
S107	DETAILS
A101	EXISTING FIRST FLOOR PLAN
A102	EXISTING SECOND-FOURTH FLOOR PLAN
A103	PROPOSED FIRST FLOOR PLAN
A104	PROPOSED SECOND-FOURTH FLOOR PLAN
A105	PROPOSED ROOF PLAN
A201	EXTERIOR ELEVATIONS



N  
SITE PLAN  
SCALE: 1" = 20'-0"



VIEW OF EXISTING BUILDING- S. SWAN STREET  
SCALE: N.T.S.



N  
LOCATION MAP  
SCALE: N.T.S.

NOLANENGINEERINGPLLC

DESIGNING URBAN DREAMS

RICHARD E. NOLAN, P.E. - LICENSE # 083929

NEW YORK STATE LICENSED PROFESSIONAL ENGINEER

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WEBSITE: WWW.NOLANENGINEERING.COM EMAIL: ADMIN@NOLANENGINEERING.COM

IT IS A VIOLATION OF NEW YORK STATE E.O. 615 TO REPRODUCE OR TRANSMIT IN ANY MANNER, OR TO ACT IN THE DIRECTION OF A LICENSED ENGINEER OR ARCHITECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR ARCHITECT. ANY VIOLATION OF THESE TERMS SHALL BE SUBJECT TO THE DISCIPLINARY ACTION OF THE PROFESSIONAL BOARD OF ENGINEERS AND ARCHITECTS.

RECORD OF WORK:	
DATE:	DESCRIPTION:
1.12.22	RE-SUBMIT PLANNING SET

MULTI-FAMILY CONVERSION

90 S. SWAN ST.  
ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE:

STAMP:

DATE: 5/19/20

FILE:

PAGE CONTENT:  
COVER SHEET

DRAFTER:  
SINGER

ENGINEER:  
NOLAN

PAPER SIZE:  
D (24"x36")

SCALE:  
AS SHOWN

SHEET:  
  
G001



## TAX PARCEL IDENTIFICATION

CITY OF ALBANY - COUNTY OF ALBANY - STATE OF NEW YORK  
SECTION 76.24 - BLOCK 7 - LOT 44  
12,576.2± SQUARE FEET

## DEED REFERENCE

1. 90 SO. SWAN ST., LLC TO THE SANTO GROUP INC. BY DEED DATED MAY 01, 2013 AND FILED IN THE ALBANY COUNTY CLERK'S OFFICE IN DEED BOOK 3065 AT PAGE 1147.

## MAP REFERENCE

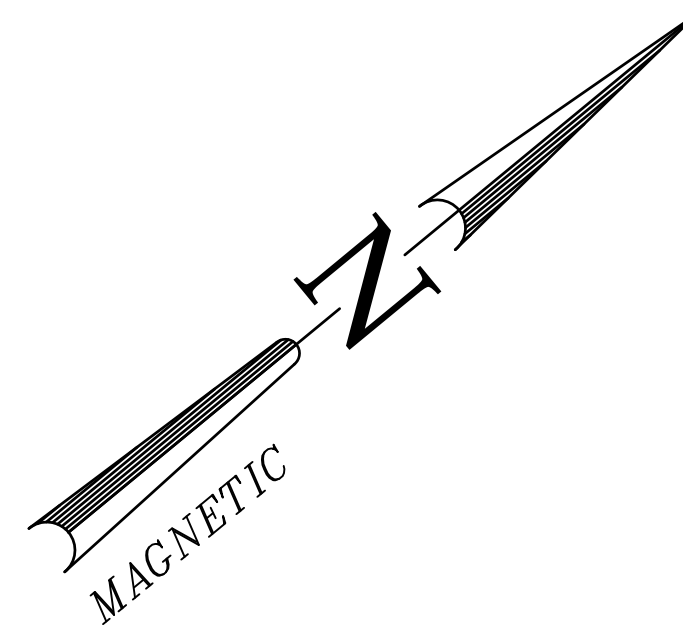
MAP ENTITLED "MAP OF SURVEY OF LANDS AT 276 STATE STREET FOR ADVANTAGE PROPERTY SERVICES, LLC." PREPARED BY BETHLEHEM LAND SURVEYING PLLC. DATED MAY 26, 2015.

## TITLE REPORT REFERENCE

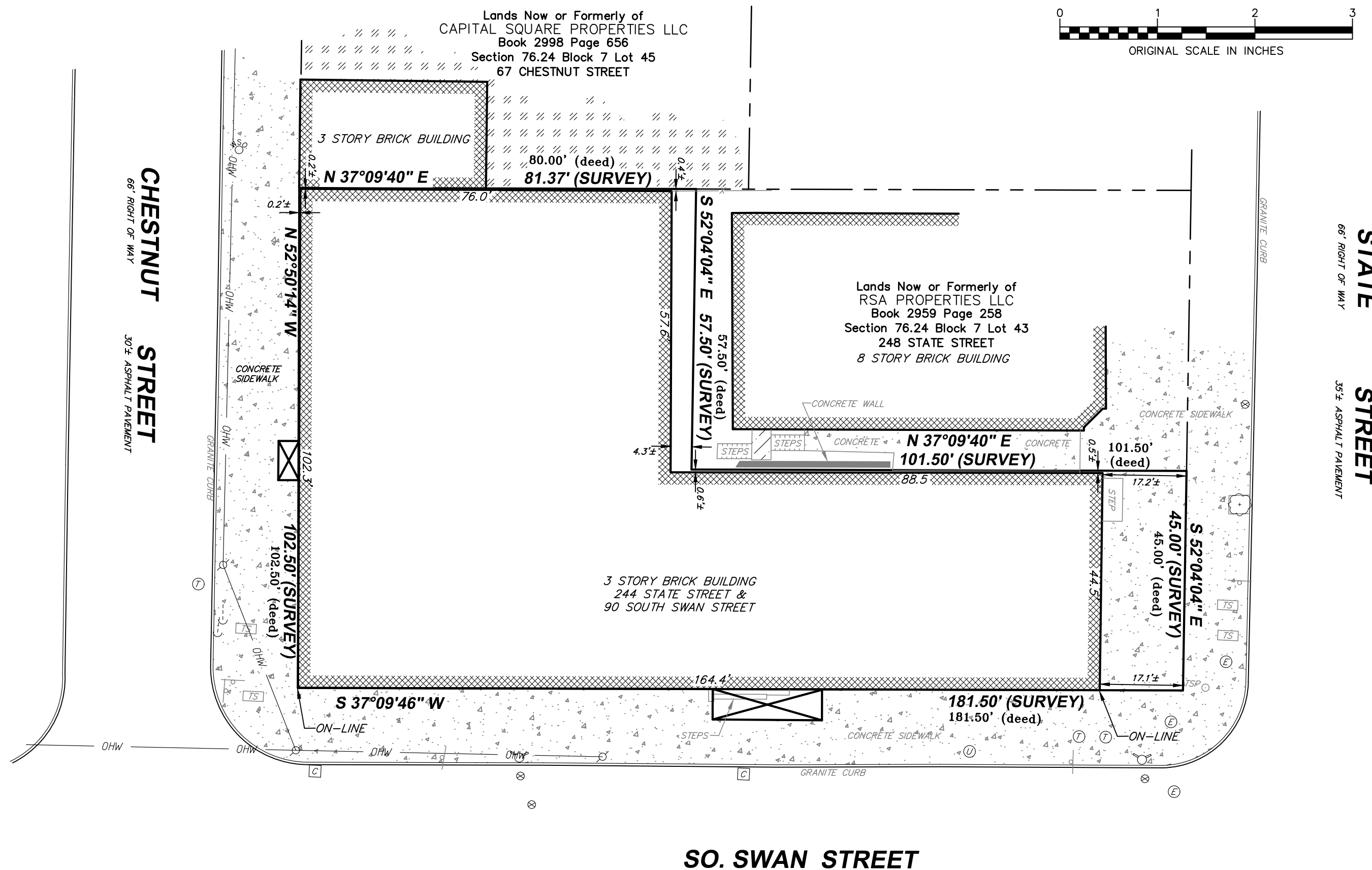
CERTIFICATE OF TITLE ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, PROVIDED BY LANDMARK ABSTRACT AGENCY LLC., TITLE COMMITMENT NO: LAA1778, EFFECTIVE DATE: OCTOBER 13, 2015.

## SURVEYOR'S NOTES

1. SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.
2. SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
3. SURVEY SUBJECT TO ANY UNDERGROUND UTILITIES CROSSING THIS PROPERTY.
4. DWELLING SHOWN HEREON SERVED BY UNDERGROUND UTILITIES.
5. THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. LOCATION OF FACILITIES AND/OR STRUCTURES OUTSIDE OF LIMITS OF FIELD SURVEY ARE SUBJECT TO WHATEVER STATE OF FACTS A FIELD SURVEY MAY REVEAL. THEIR LOCATION IS NOT CERTIFIED BY THIS SURVEY.
6. CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS.
7. NORTH ORIENTATION AND BEARINGS SHOWN HEREON ARE BASED ON MAP REFERENCE 1.
8. PRINTED DIMENSIONS SHOWN ON THE MAP OF SURVEY SUPERSEDE SCALED DIMENSIONS. SOME ITEMS MAY HAVE BEEN DRAWN OUT OF SCALE TO GRAPHICALLY SHOW THEIR LOCATION.



SCALE 1 INCH = 20 FEET



SO. SWAN STREET

CERTIFIED TO: MAN REALTY LLC, SHARESTATES INVESTMENTS, LLC, AMTRUST TITLE INSURANCE COMPANY and ATLANTIS NATIONAL SERVICES, INC.

DRAWN BY: JRP		DATE FIELD SURVEY COMPLETED:	
CHECKED BY: JRP		NOV. 4, 2015	
JOB NO.: 2015-155		DATE SURVEY MAP COMPLETED:	
		NOV. 4, 2015	
1	07/19/18	UPDATED SURVEY, REVISED CERTIFICATIONS	J.R.P.
NO.	DATE:		BY:

**BETHLEHEM**  
**LAND SURVEYING, PLLC.**

Jason R. Peterson, PLS  
273 KENWOOD AVENUE  
DELMAR, NEW YORK 12054  
(518) 813-0059



UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES MADE FROM THE ORIGINAL OF THIS DRAWING BEARING AN ORIGINAL INKED OR EMBOSSED SEAL AND SIGNATURE SHALL BE CONSIDERED TO BE VALID TRUE COPIES. I HEREBY CERTIFY THAT THIS SURVEY MAP IS BASED ON AN ACTUAL FIELD SURVEY CONDUCTED ON NOV. 4, 2015 AND THAT THIS SURVEY MAP WAS MADE BY ME OR UNDER MY DIRECTION, AND CONFORMS WITH THE MINIMUM STANDARD OF PRACTICE ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

MAP OF SURVEY OF

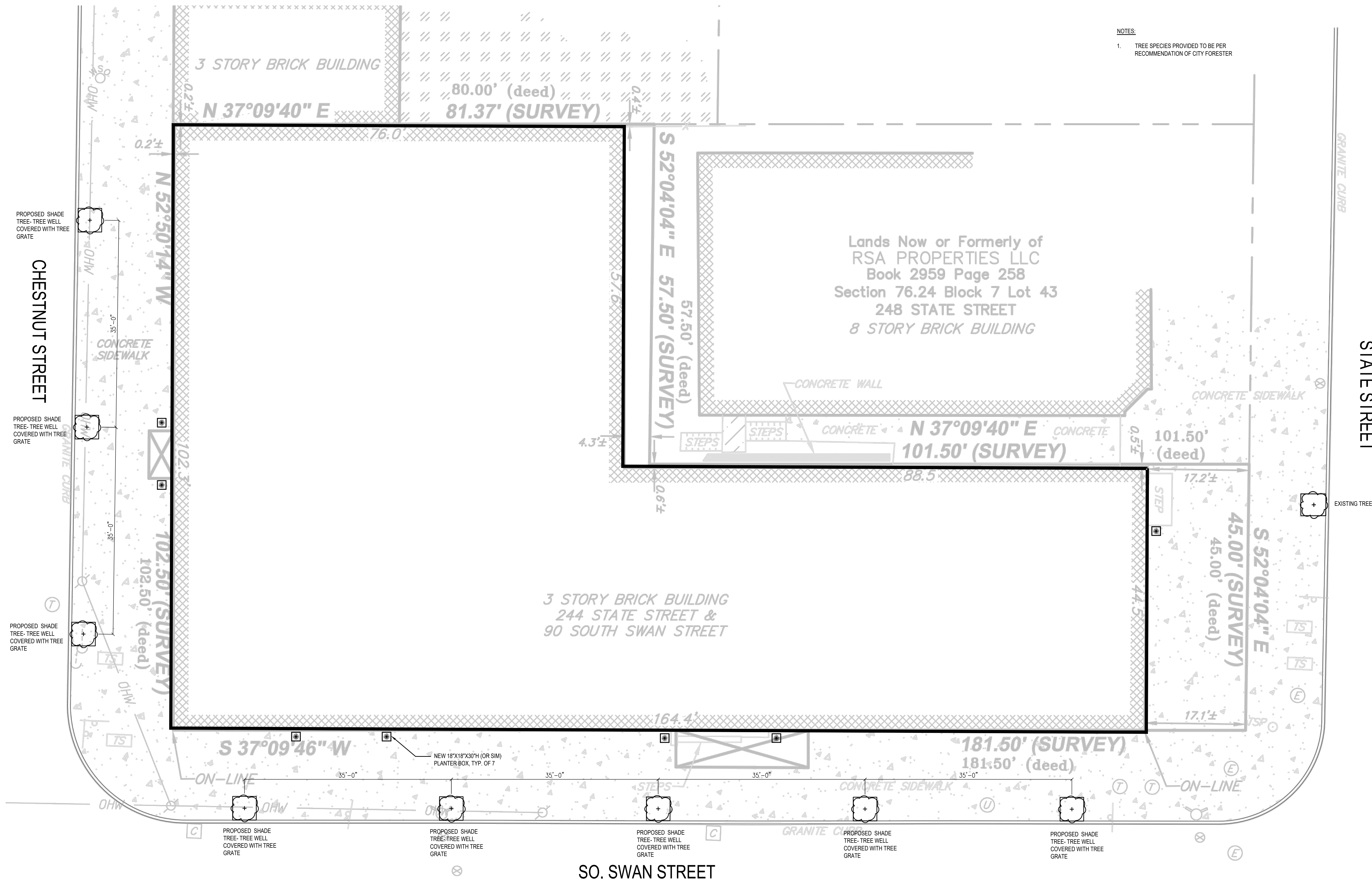
Lands at 244 State Street &  
90 So. Swan Street

- SITUATE -

CITY OF ALBANY ALBANY COUNTY

NEW YORK





- NOTES:
1. TREE SPECIES PROVIDED TO BE PER RECOMMENDATION OF CITY FORESTER

NOLAN

ENGINEERING PLLC

DESIGNING URBAN DREAMS

RICHARD E. NOLAN, P.E. LICENSE # 083929  
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WEBSITE: WWW.NOLAN-ENGINEERING.COM

IT IS A VIOLATION OF NEW YORK STATE ELECTION LAWS FOR ANY PERSON ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO PREPARE OR SIGN ANY WAY ANY PLANS, SPECIFICATIONS, PLATS OR REPORTS TO WHICH THE SEAL OF PROFESSIONAL ENGINEER HAS BEEN AFFIXED.

RECORD OF WORK:	
DATE:	DESCRIPTION:
1.12.22	RE-SUBMIT PLANNING SET
1.26.22	ADDED PLANTERS

MULTI-FAMILY CONVERSION

90 S. SWAN ST.  
ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE:

STAMP:

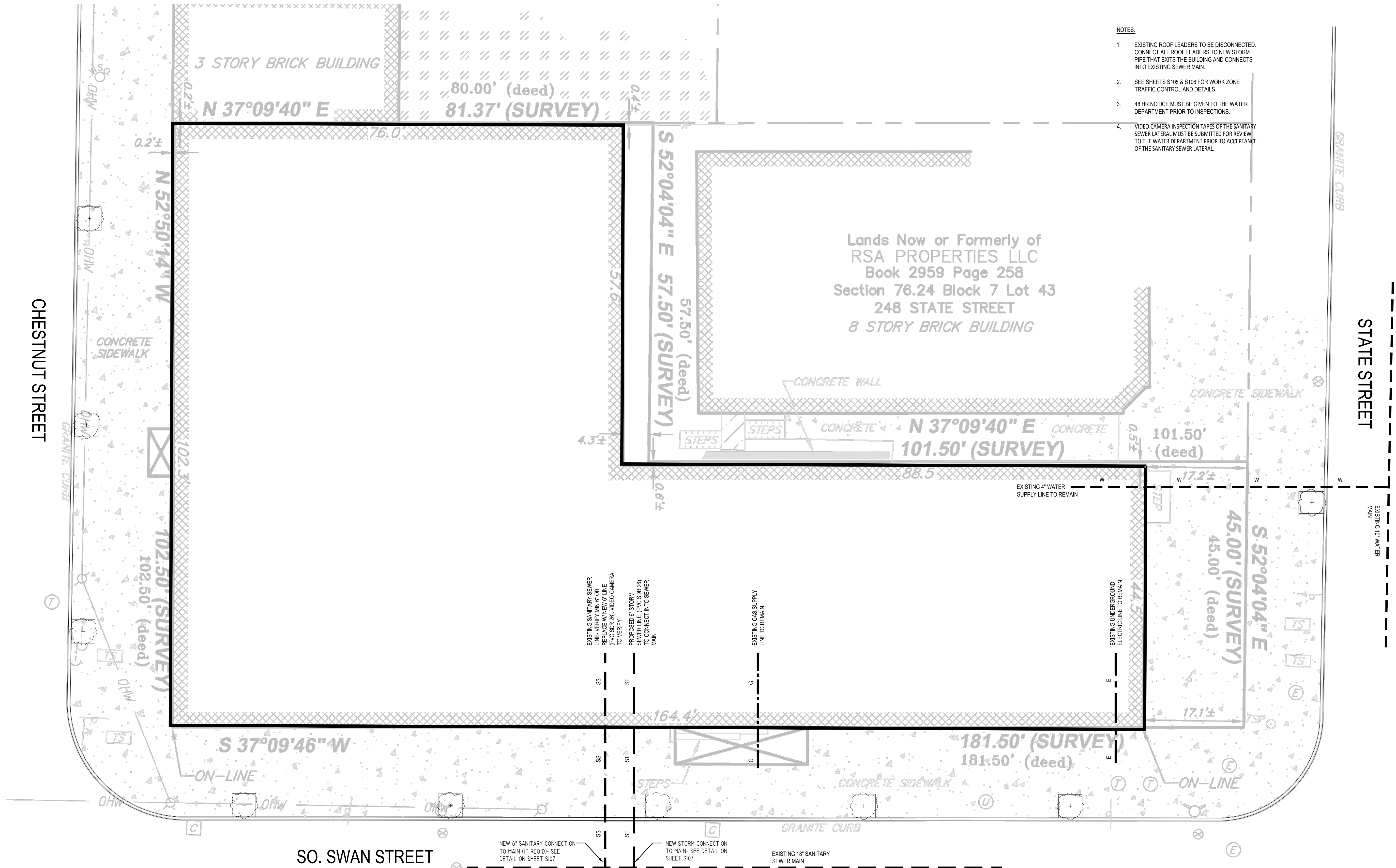
DATE: 5/19/20

FILE:

PAGE CONTENT:  
PROPOSED LANDSCAPE PLAN

DRAFTER: SINGER	ENGINEER: NOLAN
PAPER SIZE: D (24"x36")	SCALE: AS SHOWN
SHEET:  S101	





- NOTES:
- EXISTING ROOF LEADERS TO BE DISCONNECTED. CONNECT ALL ROOF LEADERS TO NEW STORM PIPE THAT EXITS THE BUILDING AND CONNECTS INTO EXISTING SEWER MAIN.
  - SEE SHEETS S105 & S106 FOR WORK ZONE TRAFFIC CONTROL AND DETAILS.
  - 48 HR NOTICE MUST BE GIVEN TO THE WATER DEPARTMENT PRIOR TO INSPECTIONS.
  - VIDEO CAMERA INSPECTION TAPES OF THE SANITARY SEWER LATERAL MUST BE SUBMITTED FOR REVIEW TO THE WATER DEPARTMENT PRIOR TO ACCEPTANCE OF THE SANITARY SEWER LATERAL.

**NOLAN ENGINEERING PLLC**  
DESIGNING URBAN DREAMS  
RICHARD E. NOLAN, P.E. LICENSE # 083929  
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333 KINGSLEY ROAD • BURN HILLS, NY 12027 • (516) 280-3190  
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WARNING:  
IT IS A VIOLATION OF NEW YORK STATE EDITION 2010 OF THE PROFESSIONAL ENGINEERING ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER TO PREPARE OR SIGN ANY WAY ANY PLANS, SPECIFICATIONS, PLATS OR REPORTS TO WHICH THE SEAL OF PROFESSIONAL ENGINEER HAS BEEN AFFIXED.

RECORD OF WORK:	
DATE:	DESCRIPTION:
7/14/20	PLANNING COMMENTS
1/12/22	RE-SUBMIT PLANNING SET

MULTI-FAMILY CONVERSION  
90 S. SWAN ST.  
ALBANY, NY 12210  
CLIENT: MAN REALTY

START DATE:  
STAMP:

DATE: 5/19/20

FILE:

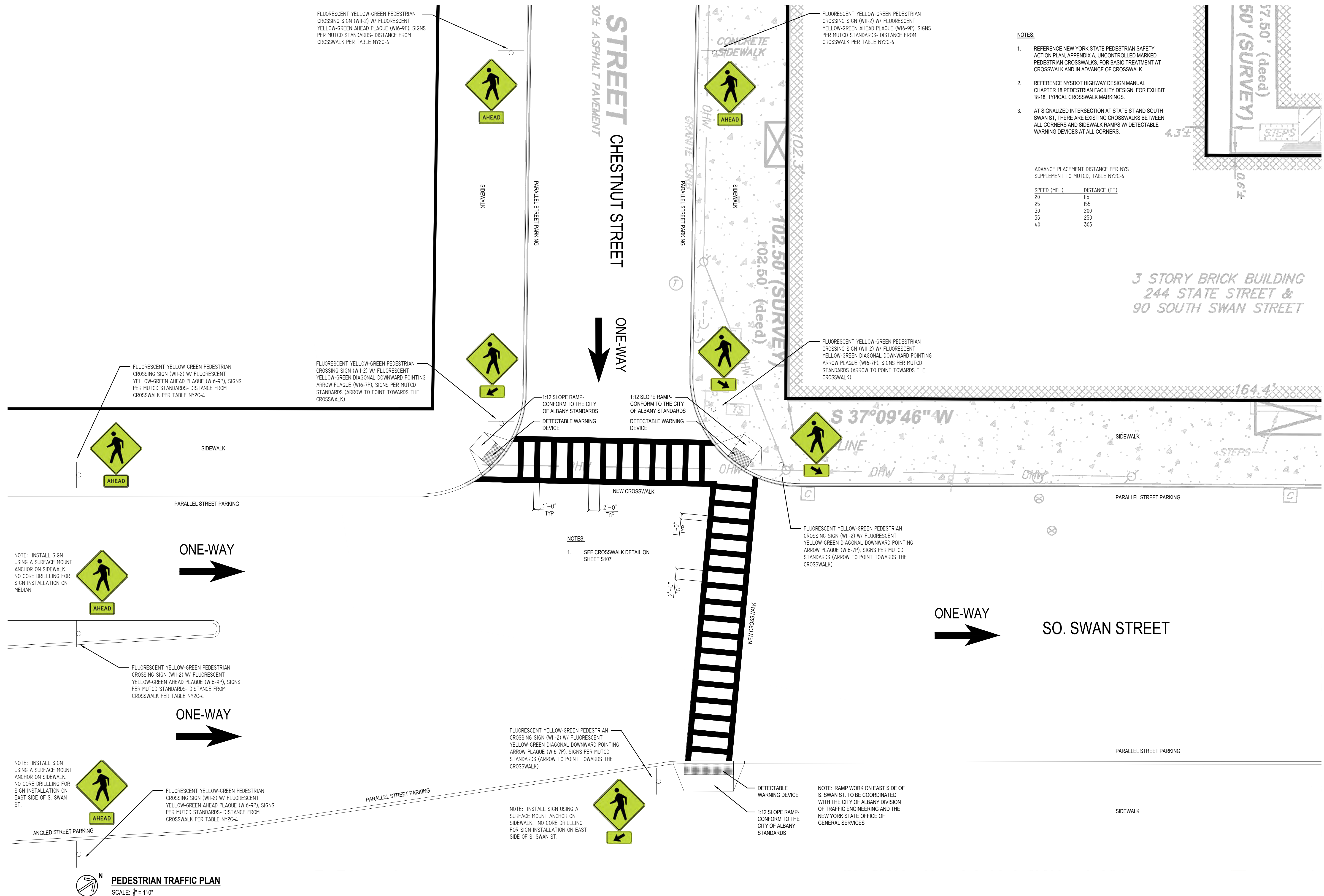
PAGE CONTENT:  
PROPOSED UTILITY  
PLAN

DRAFTER: SINGER  
ENGINEER: NOLAN

PAPER SIZE: D (24"x36")  
SCALE: AS SHOWN

SHEET:  
S102





RECORD OF WORK:		
DATE:	DESCRIPTION:	BY:
7.7.20	PLANNING COMMENTS	JRS
7.14.20	PLANNING COMMENTS	JRS
9.16.20	PLANNING COMMENTS	JRS
1.12.22	RE-SUBMIT PLANNING SET	JRS

MULTI-FAMILY CONVERSION

90 S. SWAN ST.  
ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE: \_\_\_\_\_

STAMP:

DATE: 5/19/20

FILE: \_\_\_\_\_

**PAGE CONTENT:**  
PEDESTRIAN TRAFFIC  
PLAN

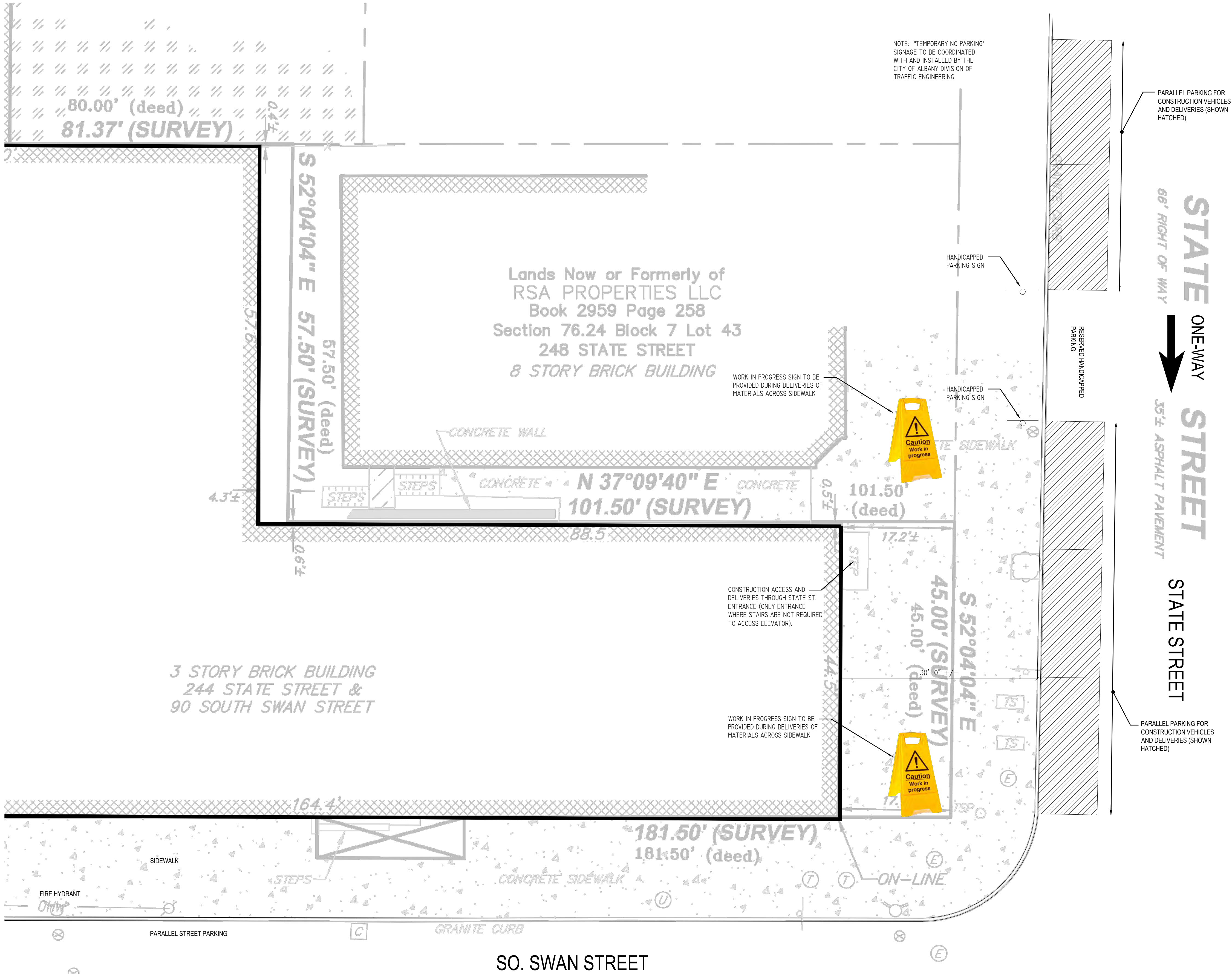
DRAFTER: SINGER	ENGINEER: NOLAN
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PAPER SIZE: D (24"x36")	SCALE: AS SHOWN
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SHEET:

S103





- NOTES:
- DURING DELIVERIES AND MOVEMENT OF CONSTRUCTION MATERIALS IN AND OUT OF BUILDING, WORK IN PROGRESS SIGN TO BE PROVIDED TO NOTIFY PEDESTRIANS. MEMBER OF CONSTRUCTION CREW TO MANAGE SAFE MOVEMENT OF PEDESTRIANS.

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RICHARDE.NOLAN.PE - LICENSE # 083929

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IT IS A VIOLATION OF NEW YORK STATE EDITION 2019 OF THE PROFESSIONAL ENGINEERING ACT FOR ANY LICENSEE ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER TO PREPARE ANY SPECIFIC WAY ANY PLANS, SPECIFICATIONS, PLOTS OR REPORTS TO WHICH THE SEAL OF PROFESSIONAL ENGINEER HAS BEEN AFFIXED

RECORD OF WORK:	
DATE:	DESCRIPTION:
7.7.20	PLANNING COMMENTS
9.16.20	PLANNING COMMENTS
1.12.22	RE-SUBMIT PLANNING SET

MULTI-FAMILY CONVERSION

90 S. SWAN ST.  
ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE:

STAMP:

DATE: 5/19/20

FILE:

PAGE CONTENT:  
CONSTRUCTION ACCESS  
PLAN

DRAFTER:  
SINGER

ENGINEER:  
NOLAN

PAPER SIZE:  
D (24"x36")

SCALE:  
AS SHOWN

SHEET:

S104



- GENERAL NOTES
1. THE TYPICAL DETAILS DEPICTED ON THE STANDARD SHEETS AND IN THE MUTCD, REFLECT THE MINIMUM REQUIREMENTS.
  2. THE CONTRACTOR MUST SUBMIT TO THE ENGINEER, IN WRITING, PROPOSED REVISIONS TO THE TRAFFIC CONTROL PLAN FOR REVIEW AND APPROVAL BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE FIVE (5) WORK DAYS PRIOR TO THE PLANNED IMPLEMENTATION OF SUCH PROPOSED REVISIONS. EXCEPT FOR CHANGES THAT ARE THE SCOPE OF THE TRAFFIC CONTROL PLAN, SUCH CHANGES IN SCOPE MUST BE SUBMITTED TO THE ENGINEER FOR APPROVAL BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE THIRTY (30) WORKING DAYS PRIOR TO IMPLEMENTATION OF SUCH REVISIONS.
  3. THE CONTRACTOR SHALL PROVIDE IN WRITING, WITH THE NAMES, ADDRESSES, AND TELEPHONE NUMBERS OF STAFF WHO ARE AUTHORIZED TO SECURE LABOR, MATERIALS, AND EQUIPMENT FOR THE PROJECT, AND TO OBTAIN NECESSARY PERMITS. THE ENGINEER WILL PROVIDE THE SUBMITTED INFORMATION TO REGIONAL MANAGEMENT, THE NEW YORK STATE POLICE, THE RESIDENT ENGINEER, AND THE LOCAL POLICE.

- ACTIVITY AREA
1. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 500' LONGITUDINAL DISTANCE BETWEEN CONSTRUCTION OPERATIONS ON ALTERNATE SIDES OF THE ROADWAY, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
  2. WHEN TWO OR MORE AREAS ARE ADJACENT, OVERLAP, OR ARE IN CLOSE PROXIMITY, THE CONTRACTOR SHALL ENSURE THERE ARE NO CONFLICTING SIGNS AND THAT LANE CONTINUITY IS MAINTAINED THROUGHOUT ALL WORK AREAS.

- SIGNS
1. THE LOCATIONS OF THE SIGNS SHOWN ON THE WORK ZONE TRAFFIC CONTROL PLANS AND DETAILS MAY BE ADJUSTED BASED ON SIGHT DISTANCE AND OTHER CONSIDERATIONS. THE FINAL LOCATIONS OF SIGNS ARE SUBJECT TO APPROVAL OF THE ENGINEER.
  2. ANY EXISTING SIGNS, INCLUDING OVERHEAD SIGNS, WHICH CONFLICT WITH THE TEMPORARY TRAFFIC CONTROL SIGN LAYOUT SHALL BE COVERED, REMOVED, STORED OR RESET, AS APPROVED BY THE ENGINEER. ALL APPROPRIATE EXISTING SIGNS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND/OR LOCATION UNLESS OTHERWISE REPLACED IN THIS CONTRACT.
  3. SIGNS AT OR NEAR INTERSECTIONS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT A MOTORIST'S LINE OF SIGHT.
  4. ALL WARNING AND REGULATORY SIGNS SHALL BE POSTED ON BOTH SIDES OF MULTI-LANE DIVIDED HIGHWAYS, MULTI-LANE RAMP, AND ONE-WAY STREETS. IN CASES WHERE LANE RESTRICTIONS REDUCE THE TRAVEL LANE TO ONE LANE, SIGNS SHALL BE POSTED ON THE RIGHT SIDE OF THE ACTIVE TRAVEL LANE, UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.
  5. SIGNS MOUNTED ON THE MEDIAN OF DIVIDED HIGHWAYS WHERE MEDIAN BARRIER IS IN PLACE MAY BE MOUNTED ON THE BARRIER WITH A SINGLE-TYPE BRACKET, LATING THE SIGN DOWN IN A HORIZONTAL POSITION IS NOT PERMITTED.
  6. THE DIMENSIONS OF WORK ZONE TRAFFIC CONTROL SIGNS ARE DESCRIBED IN THE MUTCD. ANY CHANGES TO THE DIMENSIONS SHALL BE APPROVED BY THE REGIONAL DIRECTOR OR BY HIS/HER DESIGNEE.
  7. W20-2 MAY BE USED IN PLACE OF W199-11.

- CHANNELIZING DEVICES
1. WHERE POSSIBLE ALL CHANNELIZING AND GUIDING DEVICES ARE TO BE PLACED SO AS TO PROVIDE A MINIMUM 2' LATERAL CLEARANCE TO THE TRAVELED WAY.
- PUBLIC ACCESS
1. PROPERTY OWNERS WHOSE DRIVEWAYS WILL BE MADE INACCESSIBLE SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST 24 HOURS PRIOR TO RESTRICTING USE OF THE DRIVEWAY FOR MULTIPLE ACCESS PROPERTIES. AT LEAST ONE DRIVEWAY SHALL BE OPEN AT ALL TIMES. ACCESS SHALL BE RESTORED TO ALL DRIVEWAYS AS SOON AS POSSIBLE.

- SUITABLE RAMPS SHALL BE INSTALLED TO MAINTAIN SMOOTH TRANSITIONS FROM RESIDENTIAL AND COMMERCIAL DRIVEWAYS TO AND FROM THE WORK AREA.
- LANE CLOSURES
1. THE CONTRACTOR SHALL LOCATE LANE CLOSURES TO PROVIDE OPTIMUM VISIBILITY, I.E. BEFORE CURVES AND CRESTS, TO THE EXTENT CONDITIONS PERMIT.
  2. THE ENGINEER MAY REQUIRE THAT ALL LANES BE RE-OPENED AT ANY TIME IF THE ROUTE IS NEEDED FOR EMERGENCY PURPOSES. THIS COULD INCLUDE INCIDENTS AT LOCATIONS OUTSIDE THE CONTRACT LIMITS.

- LANE WIDTHS
1. UNLESS AUTHORIZED BY THE ENGINEER, THE MINIMUM LANE WIDTHS FOR WORK ZONE TRAVEL LANES SHALL BE AS FOLLOWS: FREEWAYS AND/OR EXPRESSWAYS IS 11'. THE MINIMUM LANE WIDTH FOR ALL OTHER TYPES OF ROADWAYS IS 10'.
  2. THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE TO THE ENGINEER, A MINIMUM OF 21 CALENDAR DAYS IN ADVANCE OF PERFORMING ANY WORK THAT RESULTS IN THE REDUCED WIDTH OF AN EXISTING ROADWAY, SO THAT THE ENGINEER MAY NOTIFY THE REGIONAL PERMIT ENGINEER IN A TIMELY MANNER.

- BARRIER/SHADOW VEHICLES
1. BARRIER AND SHADOW VEHICLES SHALL BE REQUIRED AS PER STANDARD SHEET TITLED "WORK ZONE TRAFFIC CONTROL LEGENDS AND NOTES".
  2. NO WORK ACTIVITY, EQUIPMENT, VEHICLES AND/OR MATERIALS SHALL BE LOCATED BETWEEN THE BARRIER OR SHADOW VEHICLE AND THE ACTIVE WORK AREA (ROLL AHEAD DISTANCE).
  3. THE CONTRACTOR MAY BE REQUIRED TO PROVIDE A BARRIER VEHICLE IN CONJUNCTION WITH POLICE PRESENCE IN THE WORK ZONE, TO BE INCLUDED IN THE UNIT BID PRICE FOR BASIC WORK ZONE TRAFFIC CONTROL.

- PROPERTY OWNERS WHOSE DRIVEWAYS WILL BE MADE INACCESSIBLE SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST 24 HOURS PRIOR TO RESTRICTING USE OF THE DRIVEWAY FOR MULTIPLE ACCESS PROPERTIES. AT LEAST ONE DRIVEWAY SHALL BE OPEN AT ALL TIMES. ACCESS SHALL BE RESTORED TO ALL DRIVEWAYS AS SOON AS POSSIBLE.

STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION	
U.S. CUSTOMARY STANDARD SHEET	
WORK ZONE TRAFFIC CONTROL GENERAL NOTES	
APPROVED SEPTEMBER 18, 2008 /S/ DAVID J. CLEMENTS, P.E. DIRECTOR, OFFICE OF TRAFFIC SAFETY AND MOBILITY	ISSUED UNDER EB 08-036 619-10

EFFECTIVE DATE: 01/08/09

## D.O.T. WORK ZONE TRAFFIC CONTROL - GENERAL NOTES

SCALE: N.T.S.

TABLE NY1-A BARRIER VEHICLE USE REQUIREMENTS (LONG TERM, INTERMEDIATE TERM, AND SHORT TERM STATIONARY CLOSURES)				
CLOSURE TYPE	EXPOSURE CONDITION <sup>1</sup>	USE REQUIREMENTS <sup>4,5</sup>		
		FREEWAY	NON-FREEWAY (PRE-CONSTRUCTION POSTED SPEED LIMIT)	
LANE CLOSURE	WORKERS ON FOOT OR IN VEHICLES EXPOSED TO TRAFFIC	REQUIRED <sup>2</sup>	REQUIRED <sup>3</sup>	OPTIONAL <sup>2</sup>
	NON-TRANSVERSABLE HAZARD (I.E. EQUIPMENT, MATERIALS, ELEVATION ONLY)	REQUIRED <sup>2</sup>	REQUIRED <sup>3</sup>	OPTIONAL <sup>2</sup>
SHOULDER CLOSURE	WORKERS ON FOOT OR IN VEHICLES EXPOSED TO TRAFFIC	REQUIRED <sup>2</sup>	REQUIRED <sup>3</sup>	OPTIONAL <sup>2</sup>
	NON-TRANSVERSABLE HAZARD (I.E. EQUIPMENT, MATERIALS, ELEVATION ONLY)	REQUIRED <sup>2</sup>	OPTIONAL <sup>2</sup>	OPTIONAL <sup>2</sup>

1. THE EXPOSURE CONDITIONS DESCRIBED IN TABLE NY1-A ASSUMES THERE IS NO POSITIVE PROTECTION (TEMPORARY TRAFFIC BARRIER PRESENT). WHERE WORKERS OR HAZARDS ARE PROTECTED BY A TEMPORARY TRAFFIC BARRIER, BARRIER VEHICLES ARE NOT REQUIRED.
2. WHERE THE REQUIREMENT IS "OPTIONAL", EITHER A BARRIER VEHICLE OR THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6C-2) SHALL BE PROVIDED.
3. REQUIREMENTS SHALL INCLUDE PROVIDING A SEPARATE BARRIER VEHICLE FOR EACH CLOSED LANE AND EACH CLOSED PAVED SHOULDER IF OF GREATER IN WIDTH. IF THE WORK SPACE MOVES WITHIN THE STATIONARY CLOSURE, THE BARRIER VEHICLE SHALL BE REPOSITIONED ACCORDINGLY. BARRIER VEHICLES PROTECTING NON-TRANSVERSABLE HAZARDS SHALL REMAIN IN PLACE DURING BOTH MORNING AND NON-MORNING HOURS UNTIL THE HAZARD NO LONGER EXISTS. EXCEPTIONS TO THESE REQUIREMENTS MAY BE MADE, AS APPROVED BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE. WHERE BARRIER VEHICLE PLACEMENT WOULD BE INEFFECTIVE OR WOULD INTERFERE WITH THE SAFE OPERATION OF TRAFFIC.
4. BARRIER VEHICLES ARE NOT REQUIRED FOR FLAGGING OPERATIONS, BUT THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6C-2) SHALL BE PROVIDED.
5. BARRIER VEHICLES ARE NOT REQUIRED FOR FLAGGING OPERATIONS, BUT THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6C-2) SHALL BE PROVIDED.

TABLE NY1-B SHADOW VEHICLE USE REQUIREMENTS (MOBILE CLOSURES)				
CLOSURE TYPE	EXPOSURE CONDITION	USE REQUIREMENTS		
		FREEWAY	NON-FREEWAY (PRE-CONSTRUCTION POSTED SPEED LIMIT)	
LANE CLOSURE	WHEN ANY WORKER, VEHICLE, OR OTHER HAZARD IS EXPOSED TO TRAFFIC	REQUIRED <sup>2,4</sup>	REQUIRED <sup>2,4</sup>	REQUIRED <sup>2,4</sup>
SHOULDER CLOSURE	WHEN ANY WORKER, VEHICLE, OR OTHER HAZARD IS EXPOSED TO TRAFFIC	REQUIRED <sup>2,4</sup>	REQUIRED <sup>2,4</sup>	REQUIRED <sup>2,4</sup>

1. A MOBILE CLOSURE SHALL BE USED FOR ANY WORK ACTIVITY THAT MOVES CONTINUOUSLY OR INTERMITTENTLY ALONG THE TRAVELED WAY OR SHOULDER SLOWER THAN THE PREVAILING SPEED OF TRAFFIC. CHANNELIZING DEVICES ARE NOT USED FOR MOBILE CLOSURES.
2. SHADOW VEHICLES SHALL BE EQUIPPED WITH AN APPROVED REAR MOUNTED ATTENUATOR (TRUCK MOUNTED OR TRAILER MOUNTED) FOR THE FOLLOWING MOBILE CLOSURES: LANE CLOSURES ON FREEWAYS, LANE CLOSURES ON NON-FREEWAY ROADWAYS HAVING A PRE-CONSTRUCTION POSTED SPEED LIMIT OF 35 MPH OR MORE, SHOULDER CLOSURES ON FREEWAYS, AND SHOULDER CLOSURES ON NON-FREEWAY ROADWAYS HAVING A PRE-CONSTRUCTION SPEED LIMIT OF 45 MPH OR MORE.
3. FOR MOBILE LANE CLOSURES ON NON-FREEWAY ROADWAYS HAVING A PRE-CONSTRUCTION POSTED SPEED LIMIT OF 30 MPH OR LESS AND MOBILE SHOULDER CLOSURES ON NON-FREEWAY ROADWAYS HAVING A PRE-CONSTRUCTION SPEED LIMIT OF 40 MPH OR LESS, SHADOW VEHICLES ARE NOT REQUIRED TO BE EQUIPPED WITH A REAR MOUNTED ATTENUATOR.
4. A SHADOW VEHICLE IS USED TO PROTECT EXPOSED WORKERS ON FOOT OR IN A VEHICLE AND SHALL BE REQUIRED FOR ALL MOBILE CLOSURES. SHADOW VEHICLE REQUIREMENTS SHALL INCLUDE PROVIDING A SEPARATE SHADOW VEHICLE FOR EACH CLOSED LANE AND EACH CLOSED PAVED SHOULDER IF OF GREATER IN WIDTH. ADDITIONAL SHADOW VEHICLES MAY BE REQUIRED TO PROTECT THE SAFE OPERATION OF TRAFFIC AND THE ENHANCED PROTECTION OF EXPOSED WORKERS, AS DIRECTED BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE.

## D.O.T. WORK ZONE TRAFFIC CONTROL - LEGENDS & NOTES

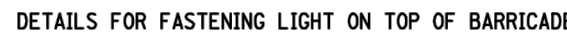
SCALE:  $\frac{1}{4}'' = 1'-0''$

TABLE 6H-4 FORMULAS FOR DETERMINING TAPER LENGTHS				
SPEED LIMIT (S) MPH	TAPER LENGTH (L) FT	L = TAPER LENGTH W = WIDTH OF OFFSET (FT) S = PRECONSTRUCTION POSTED SPEED LIMIT (MPH)		
40 MPH OR LESS	$L = WS^2 / 60$			
45 MPH OR MORE	$L = WS$			

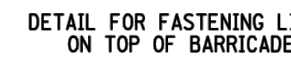
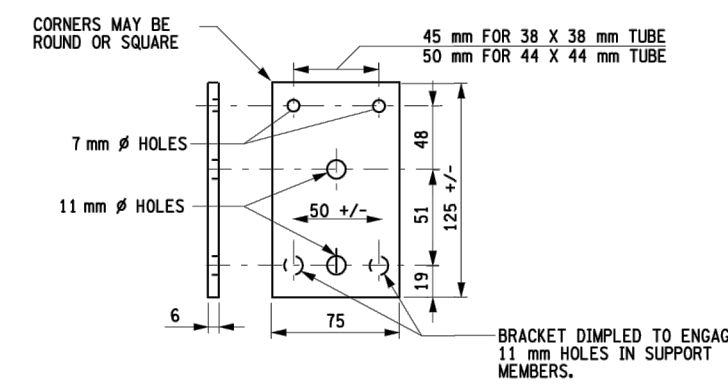
STANDARD TAPER LENGTHS				
LATERAL SHIFT OF TRAFFIC FLOW PATH	25 MPH	30 MPH	35 MPH	40 MPH
4	45	60	75	105
5	55	75	105	135
6	65	90	125	160
7	75	105	145	180
8	85	120	165	215
9	95	135	185	240
10	105	150	205	270
11	115	165	225	295
12	125	180	245	320

TABLE 6C-2 LONGITUDINAL BUFFER SPACE		
PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	DISTANCE	
45	135 FT.	
55	165 FT.	
65	200 FT.	
75	240 FT.	
85	285 FT.	
95	330 FT.	
105	380 FT.	
115	435 FT.	
125	495 FT.	
135	560 FT.	
145	630 FT.	
155	705 FT.	
165	785 FT.	
175	870 FT.	
185	960 FT.	
195	1050 FT.	
205	1145 FT.	
215	1245 FT.	
225	1350 FT.	
235	1460 FT.	
245	1575 FT.	
255	1695 FT.	
265	1820 FT.	
275	1950 FT.	
285	2085 FT.	
295	2225 FT.	
305	2370 FT.	
315	2520 FT.	
325	2675 FT.	
335	2835 FT.	
345	3000 FT.	
355	3170 FT.	
365	3345 FT.	
375	3525 FT.	
385	3710 FT.	
395	3900 FT.	
405	4095 FT.	
415	4295 FT.	
425	4500 FT.	
435	4710 FT.	
445	4925 FT.	
455	5145 FT.	
465	5370 FT.	
475	5600 FT.	
485	5835 FT.	
495	6075 FT.	
505	6320 FT.	
515	6570 FT.	
525	6825 FT.	
535	7085 FT.	
545	7350 FT.	
555	7620 FT.	
565	7895 FT.	
575	8175 FT.	
585	8460 FT.	
595	8750 FT.	
605	9045 FT.	
615	9345 FT.	
625	9650 FT.	
635	9960 FT.	
645	10275 FT.	
655	10595 FT.	
665	10920 FT.	
675	11250 FT.	
685	11585 FT.	
695	11925 FT.	
705	12270 FT.	
715	12620 FT.	
725	12975 FT.	
735	13335 FT.	
745	13700 FT.	
755	14070 FT.	
765	14445 FT.	
775	14825 FT.	
785	15210 FT.	
795	15600 FT.	
805	15995 FT.	
815	16395 FT.	
825	16800 FT.	
835	17210 FT.	
845	17625 FT.	
855	18045 FT.	
865	18470 FT.	
875	18900 FT.	
885	19335 FT.	
895	19775 FT.	
905	20220 FT.	
915	20670 FT.	
925	21125 FT.	
935	21585 FT.	
945	22050 FT.	
955	22520 FT.	
965	23000 FT.	
975	23485 FT.	
985	23975 FT.	
995	24470 FT.	
1005	24970 FT.	
1015	25475 FT.	
1025	25985 FT.	
1035	26500 FT.	
1045	27020 FT.	
1055	27545 FT.	
1065	28075 FT.	
1075	28610 FT.	
1085	29150 FT.	
1095	29695 FT.	
1105	30245 FT.	
1115	30800 FT.	
1125	31360 FT.	
1135	31925 FT.	
1145	32500 FT.	
1155	33080 FT.	
1165	33665 FT.	
1175	34255 FT.	
1185	34850 FT.	
1195	35450 FT.	
1205	36055 FT.	
1215	36665 FT.	
1225	37280 FT.	
1235	37900 FT.	
1245	38525 FT.	
1255	39155 FT.	
1265	39790 FT.	
1275	40430 FT.	
1285	41075 FT.	
1295	41725 FT.	
1305	42380 FT.	
1315	43040 FT.	
1325	43705 FT.	
1335	44375 FT.	
1345	45050 FT.	
1355	45730 FT.	
1365	46415 FT.	
1375	47105 FT.	
1385	47800 FT.	
1395	48500 FT.	
1405	49205 FT.	
1415	49915 FT.	
1425	50630 FT.	
1435	51350 FT.	
1445	52075 FT.	
1455	52805 FT.	
1465	53540 FT.	
1475	54280 FT.	
1485	55025 FT.	
1495	55775 FT.	
1505	56530 FT.	
1515	57290 FT.	
1525	58055 FT.	
1535	58825 FT.	
1545	59600 FT.	
1555	60380 FT.	
1565	61165 FT.	
1575	61955 FT.	
1585	62750 FT.	
1595	63550 FT.	
1605	64355 FT.	
1615	65165 FT.	
1625	65980 FT.	
1635	66800 FT.	
1645	67625 FT.	
1655	68455 FT.	
1665	69290 FT.	
1675	70130 FT.	
1685	70975 FT.	
1695	71825 FT.	
1705	72680 FT.	
1715	73540 FT.	
1725	74405 FT.	
1735	75275 FT.	
1745	76150 FT.	
1755	77030 FT.	
1765	77915 FT.	
1775	78805 FT.	
1785	79700 FT.	
1795	80600 FT.	
1805	81505 FT.	
1815	82415 FT.	
1825	83330 FT.	
1835	84250 FT.	
1845	85175 FT.	
1855	86105 FT.	
1865	87040 FT.	
1875	87980 FT.	
1885	88925 FT.	
1895	89875 FT.	
1905	90830 FT.	
1915	91790 FT.	
1925	92755 FT.	
1935	93725 FT.	
1945	94700 FT.	
1955	95680 FT.	
1965	96665 FT.	
1975	97655 FT.	
1985	98650 FT.	
1995	99650 FT.	
2005	100655 FT.	
2015	101665 FT.	
2025	102680 FT.	
2035	103700 FT.	
2045	104725 FT.	
2055	105755 FT.	
2065	106790 FT.	
2075	107830 FT.	
2085	108875 FT.	
2095	109925 FT.	
2105	110980 FT.	
2115	112040 FT.	
2125	113105 FT.	
2135	114175 FT.	
2145	115250 FT.	
2155	116330 FT.	
2165	117415 FT.	
2175	118505 FT.	
2185	119600 FT.	
2195	120700 FT.	
2205	121805 FT.	
2215	122915 FT.	
2225	124030 FT.	
2235	125150 FT.	
2245	126275 FT.	
2255	127405 FT.	
2265	128540 FT.	
2275	129680 FT.	
2285	130825 FT.	
2295	131975 FT.	
2305	133130 FT.	
2315	134290 FT.	
2325	135455 FT.	
2335	136625 FT.	
2345	137800 FT.	
2355	138980 FT.	
2365	140165 FT.	
2375	141355 FT.	
2385	142550 FT.	
2395	143750 FT.	
2405	144955 FT.	
2415	146165 FT.	
2425	147380 FT.	
2435	148600 FT.	
2445	149825 FT.	
2455	151055 FT.	
2465	152290 FT.	
2475	153530 FT.	
2485	154775 FT.	
2495	156025 FT.	
2505	157280 FT.	
2515	158540 FT.	
2525	159805 FT.	
2535	161075 FT.	
2545	162350 FT.	
2555	163630 FT.	
2565	164915 FT.	
2575	166205 FT.	
2585	167500 FT.	
2595	168800 FT.	
2605	170105 FT.	
2615	171415 FT.	
2625	172730 FT.	
2635	174050 FT.	
2645	175375 FT.	
2655	176705 FT.	
2665	178040 FT.	
2675	179380 FT.	
2685	180725 FT.	
2695	182075 FT.	
2705	183430 FT.	
2715	184790 FT.	
2725	186155 FT.	
2735	187525 FT.	
2745	188900 FT.	





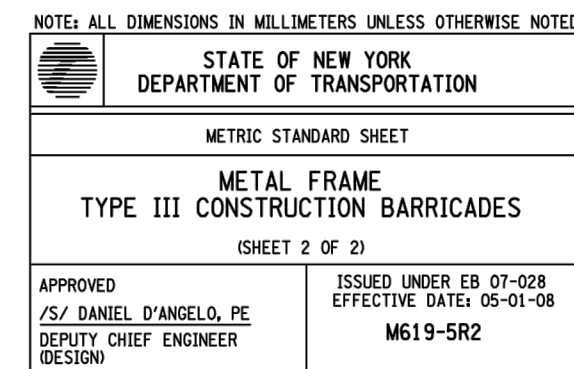
- NOTES:**
1. THE DETAILS AND MATERIALS FOR TYPE III CONSTRUCTION BARRICADES ARE NCHRP 350 APPROVED. IF THE CONTRACTOR elects to USE AN ALTERNATE DESIGN OR MATERIALS, THE ALTERNATE DESIGN OR MATERIALS MUST BE NCHRP 350 APPROVED.
  2. THE ALTERNATES SHOWN ON THIS SHEET ARE EQUALLY ACCEPTABLE AND THE CONTRACTOR MAY USE ANY ONE OR A MIXTURE OF TYPES.
  3. PANELS SHALL HAVE 150 mm (6") WHITE REFLECTORIZED ORANGE AND WHITE DIAGONAL STRIPES BARRICADES. THE STRIPES SHALL BE IN ACCORDANCE WITH FD-309-A. THE STRIPES SHALL SLOPE DOWNWARD TOWARD THE SIDE ON WHICH TRAFFIC IS TO PASS.
  4. BALLAST MAY BE PLACED ON THE BASE MEMBERS OF THE BARRICADES. BALLAST SHALL BE PLACED TO THE ACCESSIBLE PASSAGE WIDTH OF 1.52 m (5 ft) WHERE BARRICADES ARE USED TO CHANNELIZE BARRICADES.
  5. PANELS FOR BARRICADES MAY BE WOOD, PLASTIC, OR ALUMINUM. THE PANELS FOR BARRICADES SHALL USE SIZES 21 TO 32.5.
  6. WHEN BATTERY AND LIGHT WEIGHT MORE THAN 3.2 kg. THE BATTERY SHALL BE MOUNTED AT THE BOTTOM OF THE BARRICADE.
  7. ALL PIPES SHOULD BE WHITE. FITTINGS ARE PREFERRED. BLACK MAY BE USED. ALL JOINTS IN ALTERNATIVE "A" SHALL BE GULFED WITH A SOLVENT CEMENT COMPATIBLE WITH THE POLYMER.
  8. JOINTS IN ALTERNATIVE "B" SHALL BE FREE TO SEPARATE UPON VEHICLE IMPACT. GASKETS AND FITTINGS SHALL BE TIED TOGETHER WITH A MINIMUM 4.8 kg (10 lb) TENSILE STRENGTH PER JOINT.
  9. IF BARRICADES ARE USED TO TEMPORARILY CHANNELIZE PEDESTRIANS, THERE SHALL BE CONTINUOUS DETECTABLE BOTTOM AND TOP RAILS WITH NO GAP BETWEEN INDIVIDUAL BARRICADES. THE DETECTABLE BOTTOM RAIL SHALL BE AT LEAST 150 mm (6") ABOVE THE LONG CANTS. THE BOTTOM OF THE BOTTOM RAIL SHALL BE NO HIGHER THAN 150 mm ABOVE THE GROUND SURFACE. THE TOP OF THE TOP RAIL SHALL BE NO LOWER THAN 150 mm ABOVE THE GROUND SURFACE.



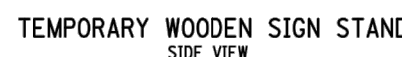
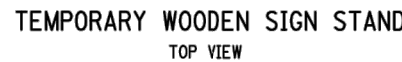
- # NOTES:
1. THE DETAILS AND MATERIALS FOR TYPE III CONSTRUCTION BARRICADES ARE NCHRP 350 APPROVED, IF THE CONTRACTOR ELECTS TO USE AN ALTERNATE DESIGN OR MATERIALS, THE ALTERNATIVE SHALL BE NCHRP 350 APPROVED.
  2. THE ALTERNATES SHOWN ON THIS SHEET ARE EQUALLY ACCEPTABLE AND THE CONTRACTOR MAY USE ANY ONE OR A MIXTURE OF TYPES.
  3. PANELS SHALL HAVE 150 CM WIDE REINFORCED ORANGE AND WHITE DIAGONAL STRIPES SLOPING AT AN ANGLE OF 45° TO THE HORIZONTAL WITH 10 CM SPACING. THE STRIPES SHALL SLOPE DOWNWARD TOWARD THE SIDE ON WHICH TRAFFIC IS TO PASS.
  4. BALLAST MAY BE PLACED ON THE BASE MEMBERS OF THE BARRICADE. BALLAST SHALL NOT BE DRIVEN INTO THE ACCESS OR PASSAGE WIDTH OF 1.50 M. WHERE BARRICADES ARE USED TO CHANNELIZE PEDESTRIANS.
  5. PANELS FOR BARRICADES SHALL BE WOOD, PLASTIC, OR ALUMINUM.
  6. WHEN THE BATTERY AND LOAD WEIGHT MORE THAN 3.2 KG, THE BATTERY SHALL BE MOUNTED AT THE BOTTOM OF THE BARRICADE.
  7. ALTERNATE "A" BARRICADES SHALL BE EXTENDED WITH INTERNAL SPACER MEMBERS. THE INTERNAL SPACER MEMBERS SHALL BE 300 MM LONG LENGTH OF SQUARE STEEL TUBING INSERTED 150 CM FROM EACH END AND THE END MEMBERS SHALL BE 600 MM LONG. THE INTERNAL SPACER MEMBERS, THE EXTENSION AND INTERNAL SPACER MEMBERS SHALL BE HELD IN PLACE AT 150 CM FROM EACH END AND THE END MEMBERS SHALL BE HELD IN PLACE AT 150 CM FROM EACH END. THE EXTENSION, THE INTERNAL SPACER MEMBERS SHALL BE ONE OF THE FOLLOWING TYPES DEPENDING UPON THE METHOD TO FABRICATE THE BARRICADE. GATES FOR SQUARE TUBES SHALL BE UNITED STATES STANDARD GATES.
- | BARRICADE MEMBERS  | INTERNAL SPACER MEMBERS |
|--------------------|-------------------------|
| 12 GAGE 45 X 45 mm | 12 GAGE 38 X 38 mm      |
| 12 GAGE 45 X 51 mm | 14 GAGE 38 X 38 mm      |
| 12 GAGE 38 X 38 mm | 12 GAGE 32 X 32 mm      |
8. BARRICADES ARE USED TO TEMPORARILY CHAIN OFF TRAFFIC. THE BARRICADE SHALL BE CONTINUOUS DETECTABLE BOTTOM AND TOP RAILS WITH NO GAP BETWEEN INDIVIDUAL BARRICADES. THE BARRICADES SHALL BE PLACED IN SUCH A MANNER THAT ALL USERS OF LONG CARS, THE BOTTOM OF THE BOTTOM RAIL SHALL BE LOWER THAN THE TOP OF THE RAIL ABOVE THE GROUND SURFACE. THE TOP OF THE TOP RAIL SHALL BE NO LOWER THAN 1 M ABOVE THE GROUND SURFACE.



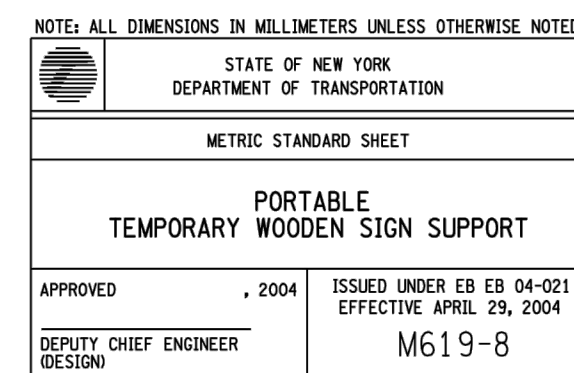
- NOTE: SQUARE STEEL TUBING SHALL MEET ONE OF THE FOLLOWING SIZE AND MATERIAL REQUIREMENTS.
- |    |      |      |   |       |      |       |
|----|------|------|---|-------|------|-------|
| 12 | GAGE | 44.5 | X | 44.5, | ASTM | A653  |
| 12 | GAGE | 38.1 | X | 38.1, | ASTM | A653  |
| 14 | GAGE | 44.5 | X | 44.5, | ASTM | A1011 |
- ALL BOLTS ARE A325 OR EQUIVALENT BOLTS



SCALE: N.T.S



- NOTES:**
1. ALL LIMBER SHALL BE 38 X 89 DIMENSIONAL, LIMBER. ALL CORNER BRACES SHALL BE 13mm PLYWOOD. ALL BOLTS SHALL BE 3/8" DIA X 125 mm (5 INCH) W/ WASHERS & NUTS. ALL FRAME MEMBERS SHALL BE 38 X 89 DIMENSIONAL, COATED LIMBER.
  2. CONNECT FRAME CORNER BRACES TO FRAME MEMBERS WITH 6" GAGE & 80 COATED NAILS. 0 NAILS INTO EACH FRAME MEMBER.
  3. PAINT SINK SUPPORT W/ 2 COATS OF WHITE PAINT.
  4. UPRIGHT FRAME MOUNTS ON THE OUTSIDE OF THE BOTTOM FRAME.
  5. DIAGNOSIS SUPPORT MOUNT INSIDE BOTH SIDING OF BOTTOM FRAMES. ALL UPRIGHT DIAGONAL BRACING SHALL BE 38 X 89 DIMENSIONAL. BRACING COLLAPSES DOWNWARD UPON IMPACT BY A VEHICLE.
  6. 5 INCH DIA RINGS PLACED ON THE BOTTOM FRAME MAY BE USED TO PREVENT RINGS FROM TIPPING OVER FROM WIND AND VEHICLE DUSTS.
  7. NO HORIZONTAL BRACING ALLOWED BETWEEN 600 mm AND 1500 mm ON UPRIGHT VERTICALS.
  8. 1500 mm MINIMUM SINK MOUNTING HEIGHT, MEASURED FROM THE BOTTOM OF THE SKID BAR TO THE BOTTOM OF THE SINK. VERTICAL SUPPORTS SHALL BE TALL ENOUGH TO ALLOW FOR 1500 mm MINIMUM HEIGHTS THOUGH LOCATIONS REQUIRED BY THE MATED LIE. SIDEWALKS, ROADSIDE PARKING AND EMBANKMENTS)
  9. CONNECTIONS ALLOW FOR THE FLOODING, TRANSPORT AND STORAGE OF THE SUPPORT.
  10. ALL SINKS ARE TO BE DOWN ON CLEAR GROUND. THE MAXIMUM CLEARANCE BETWEEN SINK SHALL NOT EXCEED 100 mm. SIMILAR NON-FOLDING SUPPORTS SHALL BE STORED OUTSIDE OF THE SUPPORTS TO BE USED TO AVOID A BARRIER.
  11. L = LENGTH OF BOTTOM FRAME.  
W = WIDTH OF BOTTOM FRAME.
  12. ALL 13 mm DIAMETER HOLES TO BE DRILLED IN CENTERLINE OF FRAME MEMBERS AND SUPPORTS.
  13. 150 mm BLOWER MOUNT MAY BE USED BETWEEN DIAGONAL FRAME AND VERTICAL SUPPORT.



SCALE:  $\frac{1}{8}'' = 1'-0''$

90 S. SWAN ST.  
ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE:

STAMP:

DATE: 5/19/20

FILE:

PAGE CONTENT:

## DETAILS

DRAFTER

SINGER

ENGINEER:

NOLAN

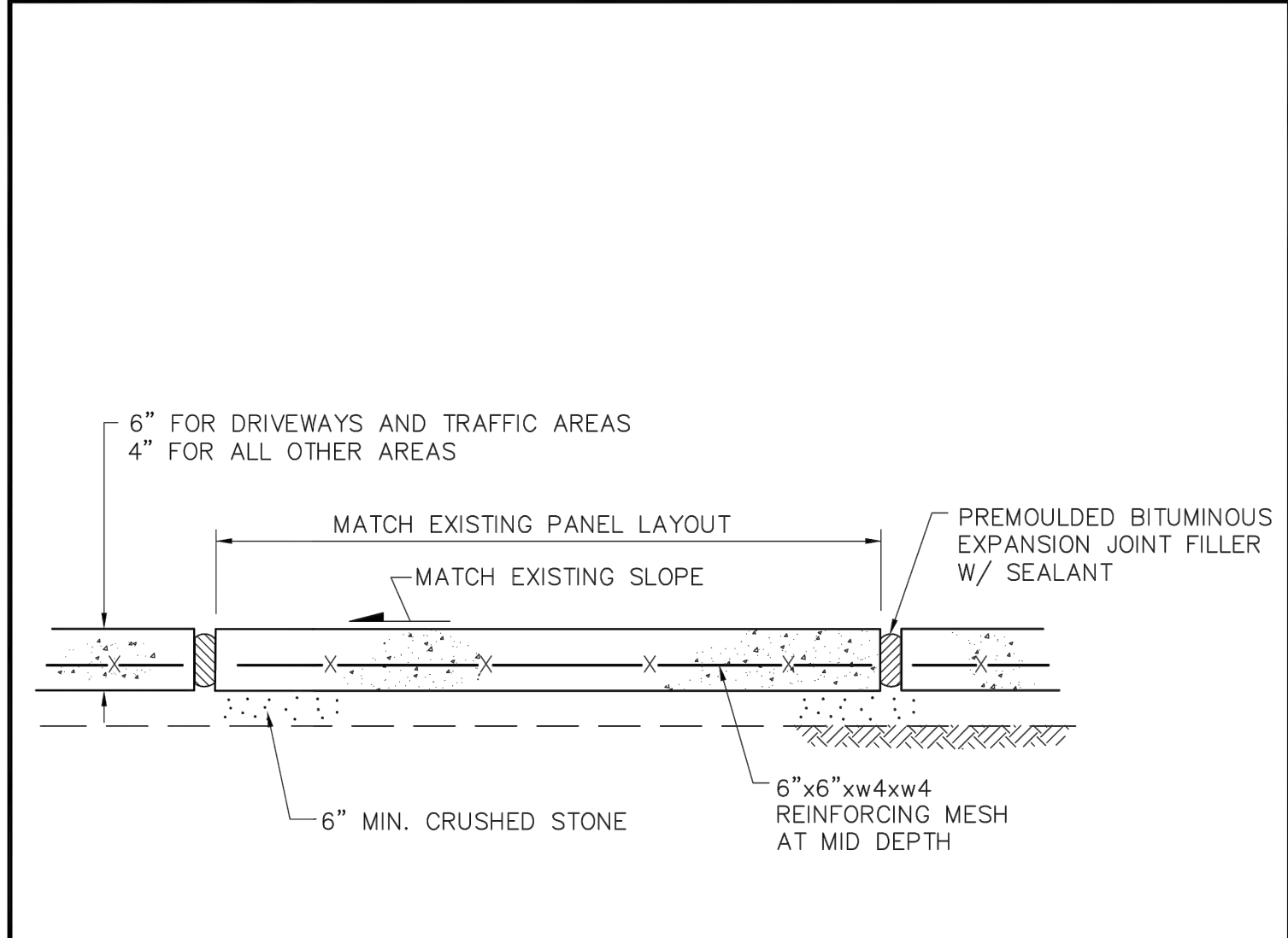
PAPER SIZE:

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SHEET:

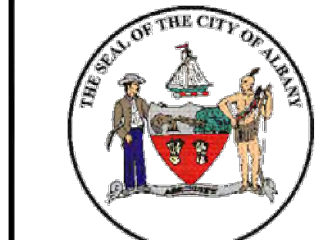
S106





- NOTES:
1. THE CONCRETE USED SHALL BE PORTLAND CEMENT, AIR-ENTRAINED, CLASS "A" CONCRETE WITH AN AIR CONTENT OF 5% MIN., TO 7% MAX., AND A SLUMP OF THREE INCHES, MIN., TO FIVE INCHES, MAX.
  2. ALL CONCRETE SIDEWALK REPLACEMENT SHALL BE TO FULL PANEL LIMITS, PARTIAL PANEL REPLACEMENT SHALL NOT BE ALLOWED.
  3. ALL SIDEWALKS SHALL BE FINISHED WITH A MAGNESIUM FLOAT FINISH UNLESS DIRECTED OTHERWISE BY THE CITY.
  4. ALL CURBING SHALL BE RESET OR REPLACED AS REQUIRED, IN ACCORDANCE WITH THE CITY DETAILS.
  5. EXPANSION JOINTS TO BE PLACED BETWEEN ADJACENT SLABS, AT BUILDING LINE, AT CURBS, OR AT PENETRATING STRUCTURES.

NO SCALE



Gerold D. Jennings, Mayor

Randall J. Milano, P.E., City Engineer

CITY OF ALBANY DIVISION OF ENGINEERING

STANDARD DETAILS

DETAIL NAME:

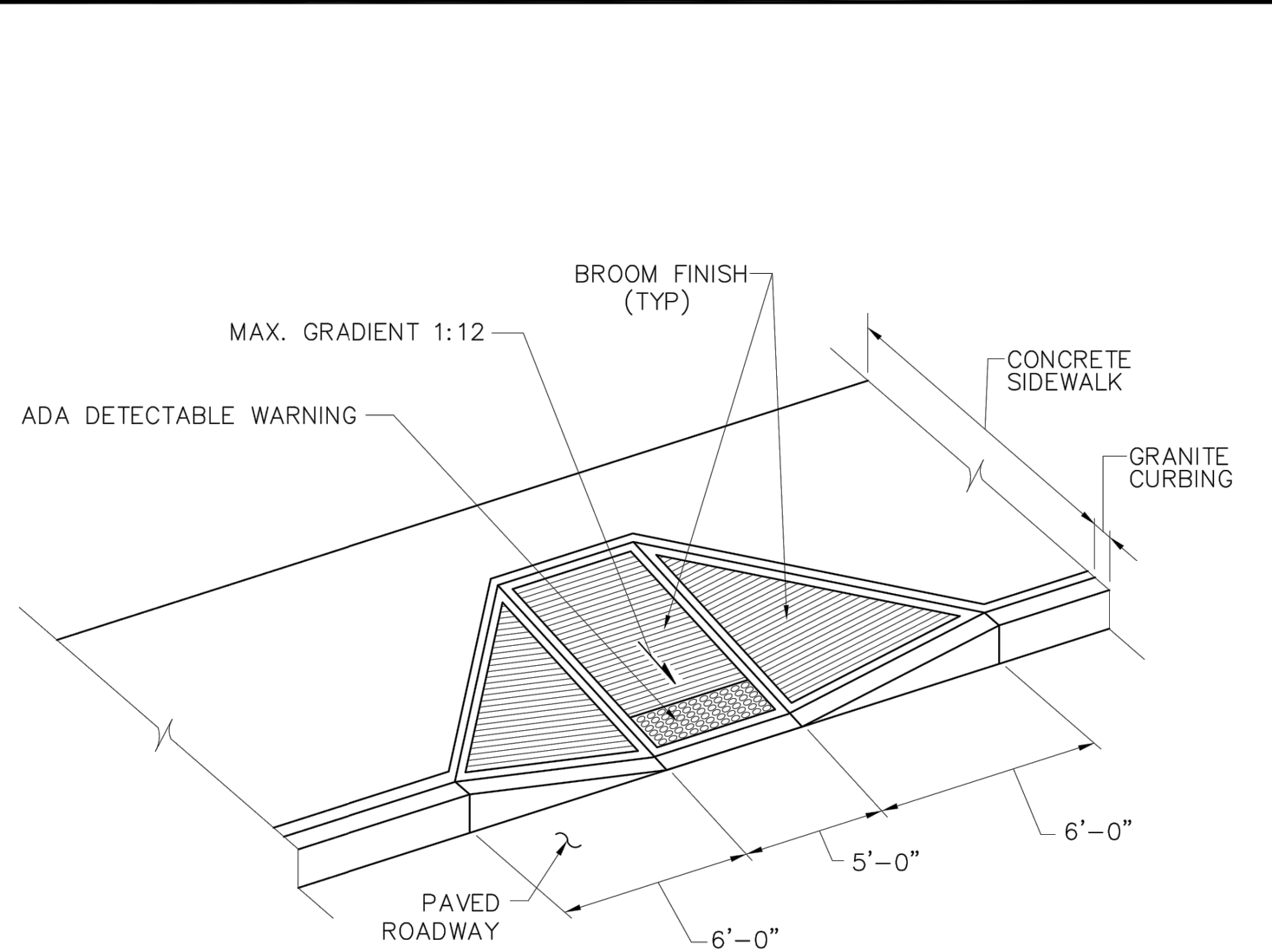
SIDEWALK REPLACEMENT  
DETAIL

DETAIL No. SW-2

FILE NAME: SW-2.DWG

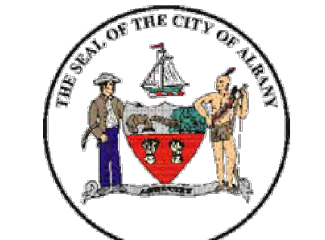
DATE ISSUED: 05/01/02

REVISION DATE: 06/01/10



- NOTES:
1. CURB SHALL BE FLUSH WITH PAVEMENT AT ROADWAY.
  2. SEE STANDARD DETAILS FOR CURB AND SIDEWALK INSTALLATION.
  3. SEE STANDARD DETAILS FOR ADA DETECTABLE WARNING STRIP INSTALLATION.
  4. INSTALLATION SHALL MEET ALL APPLICABLE ADA CODES AND STANDARDS.

NO SCALE



Gerold D. Jennings, Mayor

Randall J. Milano, P.E., City Engineer

CITY OF ALBANY DIVISION OF ENGINEERING

STANDARD DETAILS

DETAIL NAME:

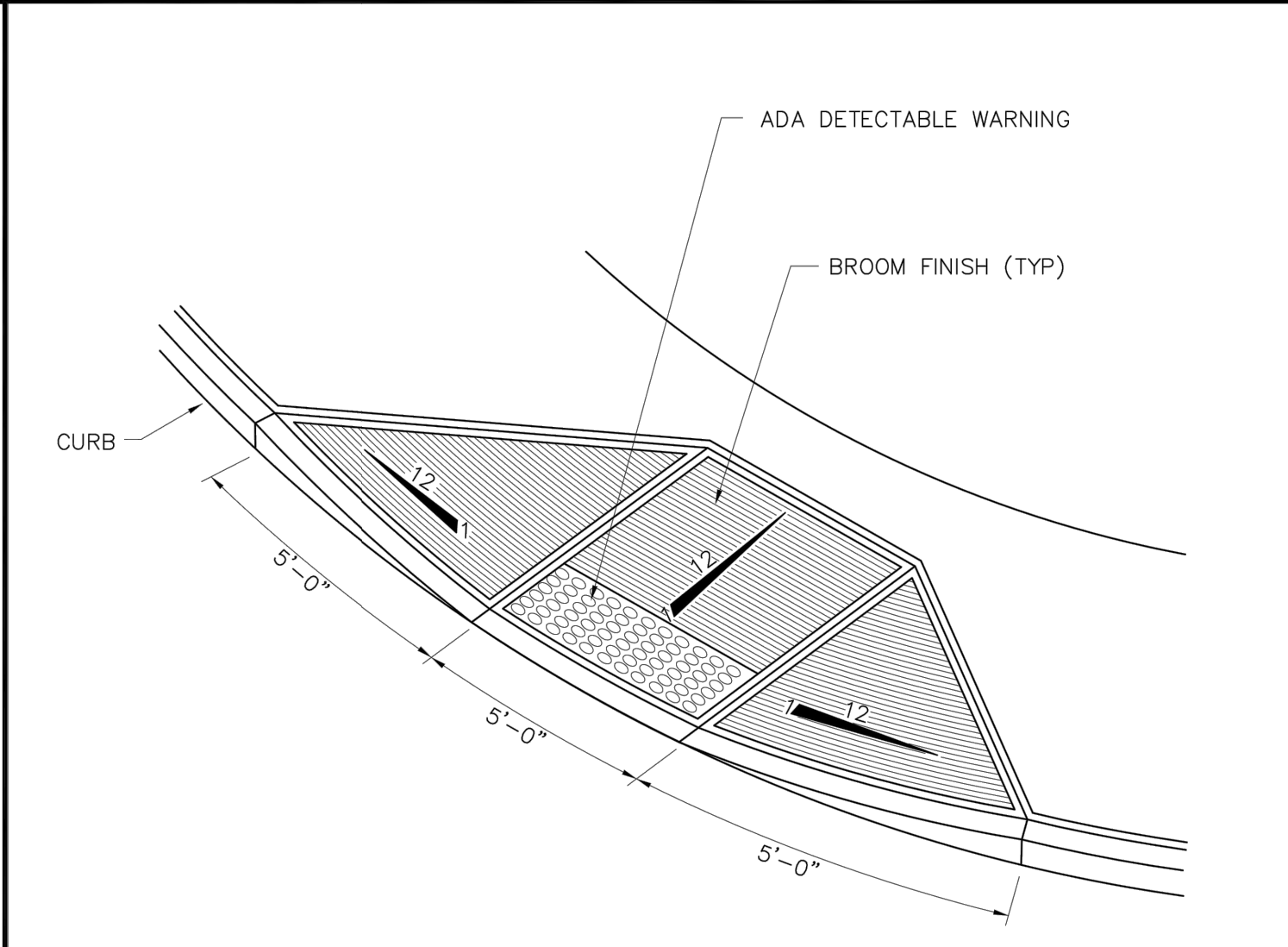
SIDEWALK RAMP AT STREET  
DETAIL

DETAIL No. SW-3

FILE NAME: SW-3.DWG

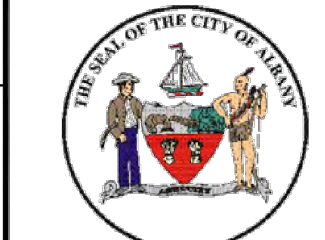
DATE ISSUED: 05/01/02

REVISION DATE: 06/01/10



- NOTE:
1. CURB SHALL BE FLUSH WITH PAVEMENT AT ROADWAY.
  2. SEE STANDARD DETAILS FOR CURB AND SIDEWALK INSTALLATION.
  3. SEE STANDARD DETAIL FOR ADA DETECTABLE WARNING STRIP INSTALLATION.
  4. INSTALLATION SHALL MEET ALL APPLICABLE ADA CODES AND STANDARDS.

NO SCALE



Gerold D. Jennings, Mayor

Randall J. Milano, P.E., City Engineer

CITY OF ALBANY DIVISION OF ENGINEERING

STANDARD DETAILS

DETAIL NAME:

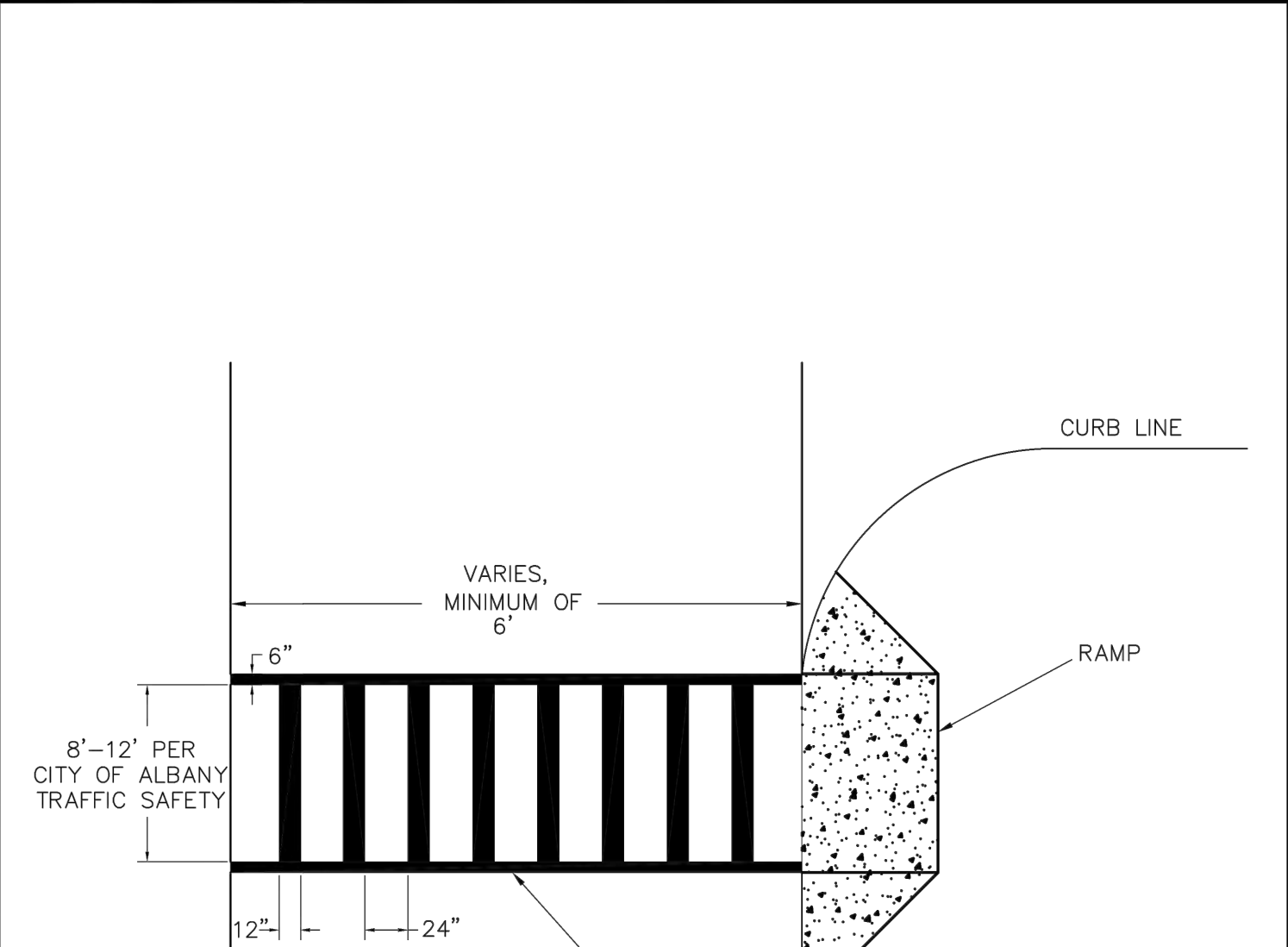
SIDEWALK RAMP AT  
STREET CORNER DETAIL

DETAIL No. SW-4

FILE NAME: SW-4.DWG

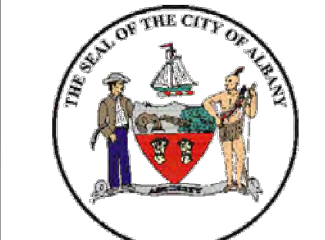
DATE ISSUED: 05/01/02

REVISION DATE: 06/01/10



- NOTE:
1. ALL TAPE TO BE WHITE 3M STAMARK TAPE.
  2. EXAMPLE A OR EXAMPLE D OF THE NYSMUTCD MANUAL, SECTION 263.23 SHALL BE USED PER CITY OF ALBANY TRAFFIC SAFETY RECOMMENDATIONS.

NO SCALE



Gerold D. Jennings, Mayor

Randall J. Milano, P.E., City Engineer

CITY OF ALBANY DIVISION OF ENGINEERING

STANDARD DETAILS

DETAIL NAME:

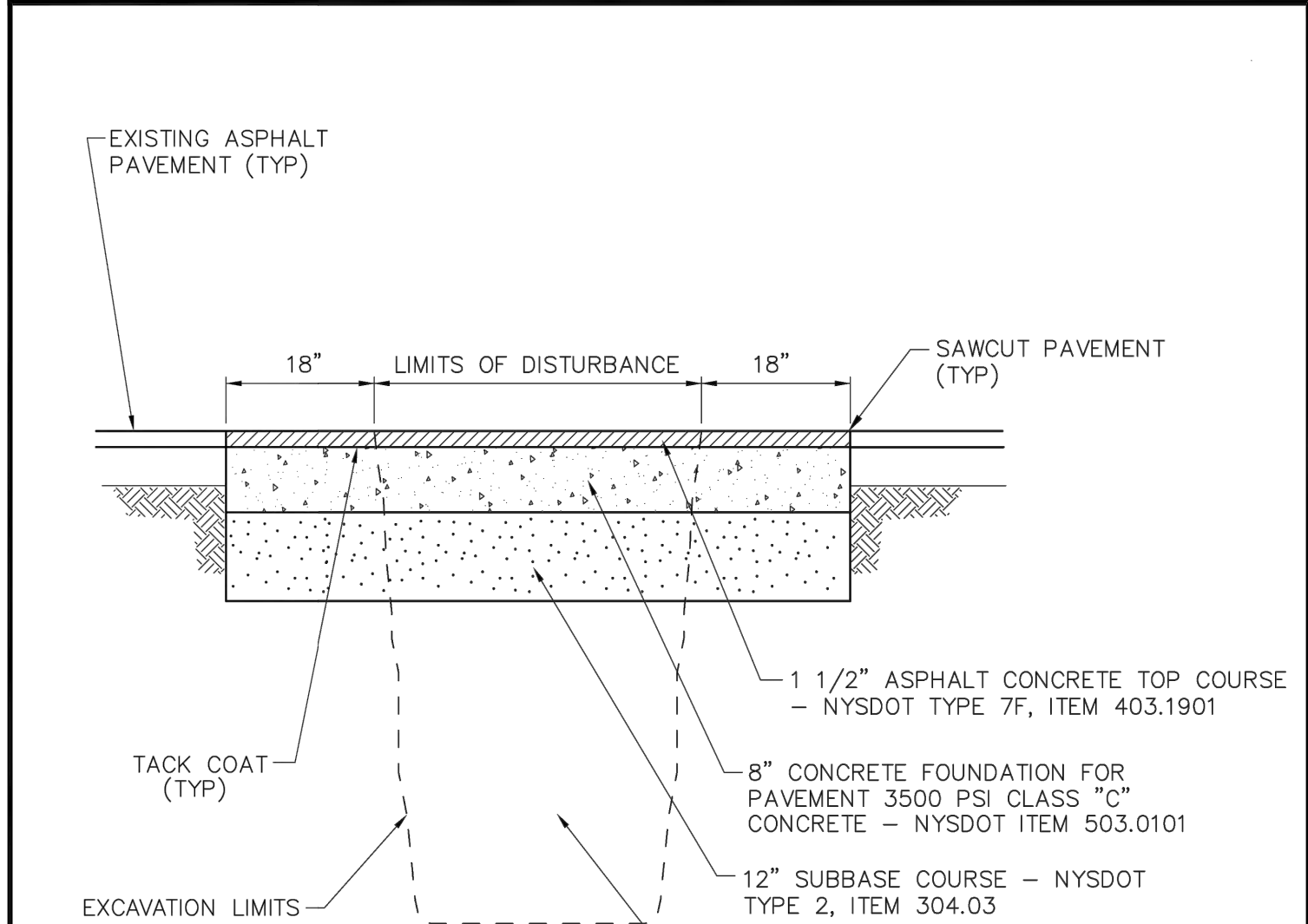
CROSSWALK DETAIL

DETAIL No. CW-1

FILE NAME: CW-1.DWG

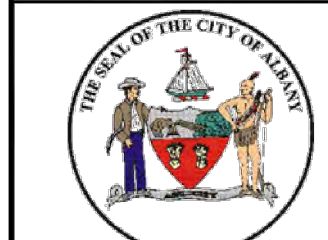
DATE ISSUED: 12/9/03

REVISION DATE: 06/01/10



- NOTE:
1. IF LIMITS OF TRENCHING EXCEEDS 50 FEET, CONTRACTOR SHALL COMPLETE CURB TO CURB MILLING PER CITY DETAILS.
  2. ALL PAVEMENT MARKINGS DISTURBED SHALL BE RESTORED TO THE SATISFACTION OF THE CITY.
  3. ALL JOINTS TO BE SEALED WITH ASPHALT EMULSION (AC-20) NYSDOT ITEM 702-0500.

NO SCALE



Gerold D. Jennings, Mayor

Randall J. Milano, P.E., City Engineer

CITY OF ALBANY DIVISION OF ENGINEERING

STANDARD DETAILS

DETAIL NAME:

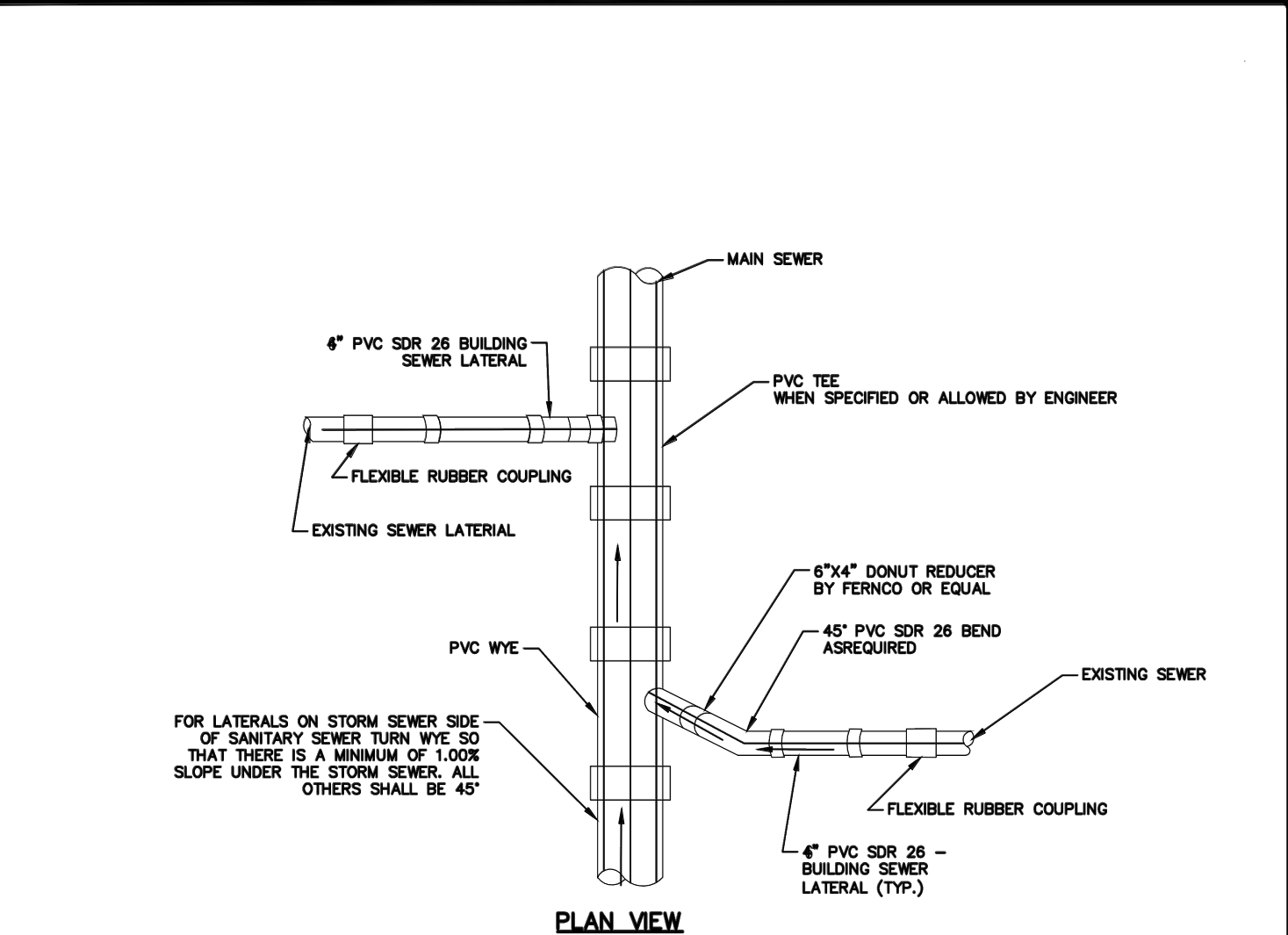
STREET RESTORATION  
ASPHALT PAVEMENT DETAIL

DETAIL No. SR-1

FILE NAME: SR-1.DWG

DATE ISSUED: 05/01/02

REVISION DATE: 10/10/12



- GENERAL NOTES:
- EXCAVATION, TRENCHING, SHEETING AND SHORING REQUIREMENTS:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUACY OF ALL SHEETING AND SHORING USED AND FOR ALL DAMAGE RESULTING FROM ITS FAILURE OR FROM PLACING, MAINTAINING AND REMOVING IT.
  2. REQUIREMENT OF REGULATORY AGENCIES:
    - 2.1. SUBPART 23-4, "EXCAVATION OPERATIONS", OF THE NEW YORK STATE DEPARTMENT OF LABOR INDUSTRIAL CODE 23.
    - 2.2. SUBPART P, "EXCAVATIONS" OF UNITED STATES DEPARTMENT OF LABOR O.S.H.A REGULATIONS FOR CONSTRUCTION.
    - 2.3. THE MORE STRINGENT REQUIREMENT IN EACH OF THE ABOVE CODES SHALL APPLY. THESE REQUIREMENTS ARE MINIMUM REQUIREMENTS AND SHALL BE INCREASED IF NECESSARY TO PROVIDE SAFE WORKING.
    - 2.4. ALL MUNICIPAL, COUNTY, STATE, OR FEDERAL ORDINANCES, REGULATIONS, OR LAWS AND ALL NECESSARY PERMITS AND APPROVALS OBTAINED BY THE CONTRACTOR SHALL BE OVERFED CONDITIONS.

SANITARY SEWER SERVICE CONNECTIONS

NOLANENGINEERINGPLLC

DESIGNING CONSTRUCTION DREAMS

RICHARD E. NOLAN, P.E. LICENSE # 083929

NEW YORK STATE LICENSED PROFESSIONAL ENGINEER

333 KINGSLEY ROAD - BURNT HILLS, NY 12027 - (516) 280-3190

WEBSITE: WWW.NOLAN-ENGINEERING.COM

WARNING:

IT IS A VIOLATION OF NEW YORK STATE LAW FOR ANY PERSON NOT ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO PREPARE OR SIGN ANY WAY ANY PLANS, SPECIFICATIONS, PLATS OR REPORTS TO WHICH THE SEAL OF PROFESSIONAL ENGINEER HAS BEEN AFFIXED.

RECORD OF WORK:		BY:	DATE:
DESCRIPTION:	COMMENTS:	URS	7/14/20
RE-SUBMIT PLANNING SET		URS	1/12/22

MULTI-FAMILY CONVERSION

90 S. SWAN ST.  
ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE:

STAMP:

DATE: 5/19/20

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DETAILS

DRAFTER: SINGER  
ENGINEER: NOLAN

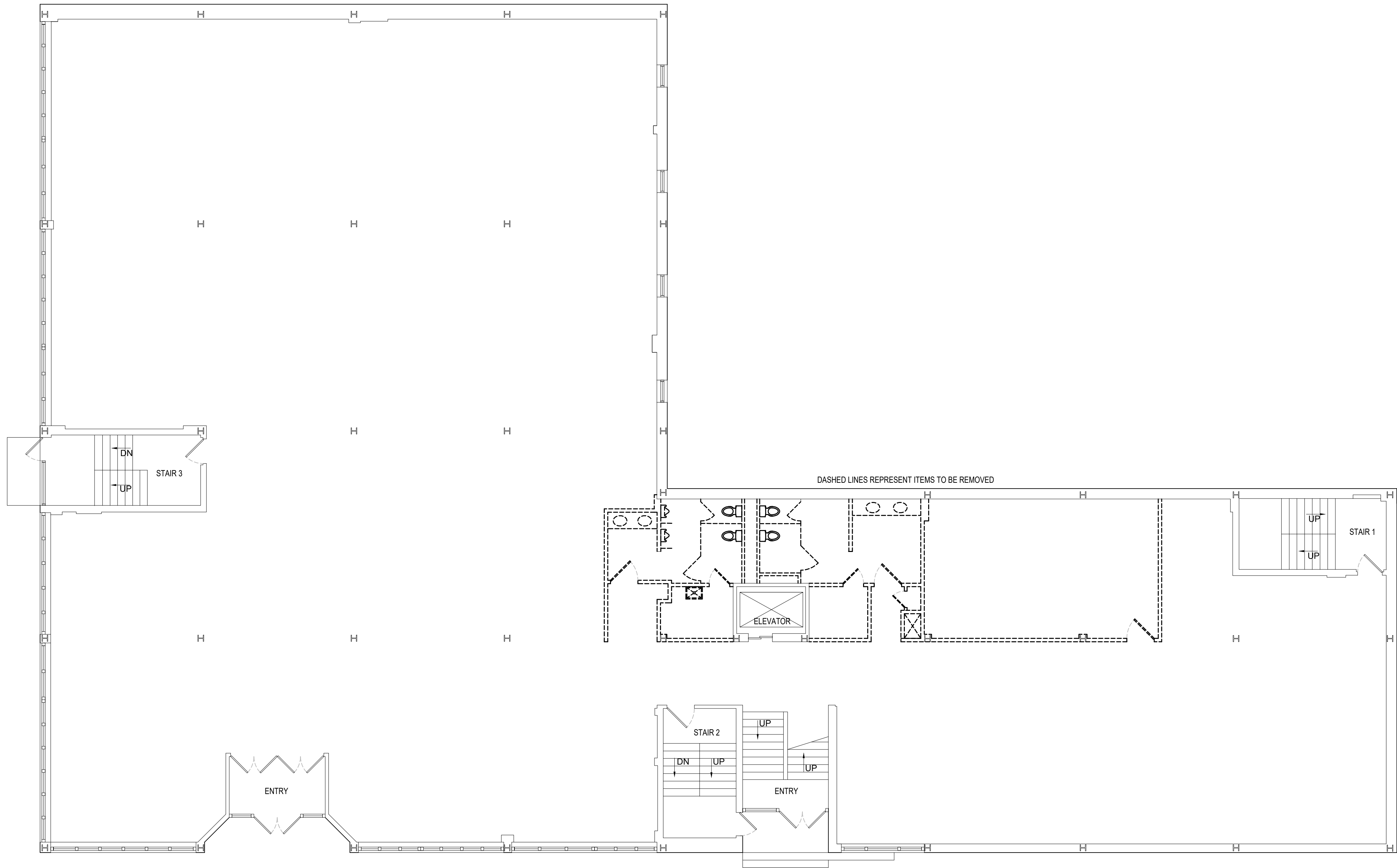
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SCALE: AS SHOWN

SHEET: S107





**EXISTING FIRST FLOOR PLAN**  
SCALE:  $\frac{1}{8}" = 1'-0"$



DESIGNING  
YOUR  
DREAMS

**NOLAN**  
ENGINEERING PLLC

**RICHARD E. NOLAN, P.E. - LICENSE # 083929**  
NEW YORK STATE LICENSED PROFESSIONAL ENGINEER  
333 KINGSLEY ROAD • BURNT HILLS, NY 12027 • (516) 280-3190  
WEBSITE: WWW.NOLAN-ENGINEERING.COM

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RECORD OF WORK:	
DATE:	DESCRIPTION:
1.12.22	RE-SUBMIT PLANNING SET

MULTI-FAMILY CONVERSION

90 S. SWAN ST.  
ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE:

STAMP:

DATE: 5/19/20

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PAGE CONTENT:  
EXISTING FIRST  
FLOOR PLAN

DRAFTER:  
SINGER

ENGINEER:  
NOLAN

PAPER SIZE:  
D (24"x36")

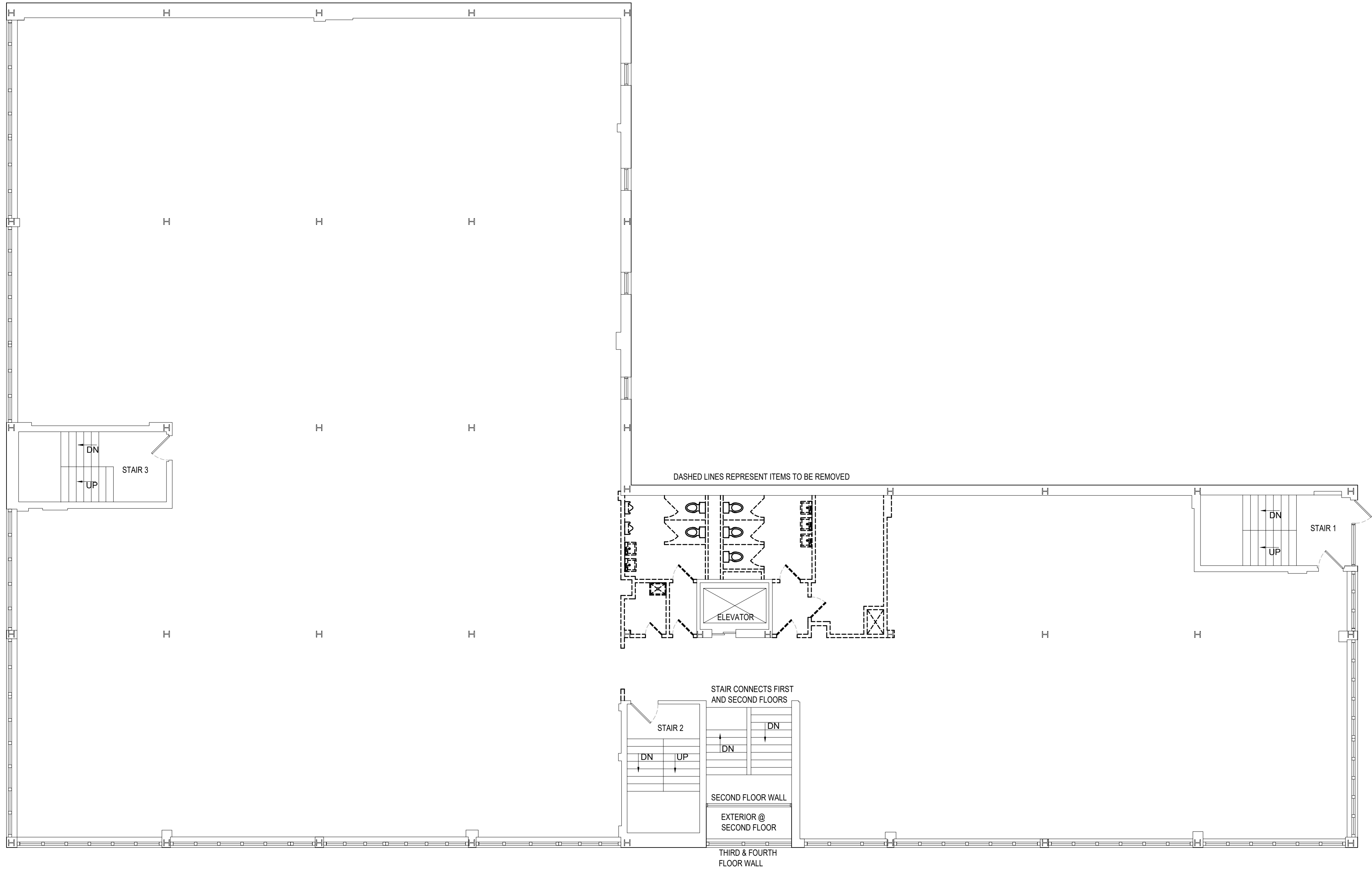
SCALE:  
AS SHOWN

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A101





**EXISTING SECOND - FOURTH FLOOR PLAN**  
SCALE:  $\frac{1}{8}" = 1'-0"$



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RICHARD E. NOLAN, P.E. - LICENSE # 083929

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1.12.22	RE-SUBMIT PLANNING SET

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90 S. SWAN ST.  
ALBANY, NY 12210  
CLIENT: MAN REALTY

START DATE:

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PAGE CONTENT:  
EXISTING 2ND-4TH  
FLOOR PLAN

DRAFTER:	ENGINEER:
SINGER	NOLAN

PAPER SIZE:	SCALE:
D (24"x36")	AS SHOWN

SHEET:  
A102





- NOTES:
- USDO 10% RECREATION SPACE REQUIREMENT:  
SITE AREA = 12,768 SF  
1,277 SF RECREATION SPACE REQUIRED  
GYM + REC RM + CONF/REC ROOM = 1,363 SF PROVIDED
  - SEE A201 EXTERIOR ELEVATIONS FOR LOCATIONS  
WHERE OPAQUE FILM IS TO BE INSTALLED ON INTERIOR  
FACE OF GLASS WHERE UNIT DEMISING WALL OCCURS
  - REFERENCE USDO AFFORDABLE HOUSING COMPLIANCE  
PLAN FOR 3 (5% OF TOTAL) REQUIRED AFFORDABLE  
RENTAL UNITS

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DESIGNING URBAN DREAMS  
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RECORD OF WORK:	
DATE:	DESCRIPTION:
7.14.20	PLANNING COMMENTS
8.6.20	TRASH / RECYCLE ROOM
9.2.20	BUILDING MANAGER
1.12.22	RE-SUBMIT PLANNING SET

MULTI-FAMILY CONVERSION  
90 S. SWAN ST.  
ALBANY, NY 12210  
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START DATE:

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DATE: 5/19/20

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PAGE CONTENT:  
PROPOSED FIRST  
FLOOR PLAN

DRAFTER: SINGER  
ENGINEER: NOLAN

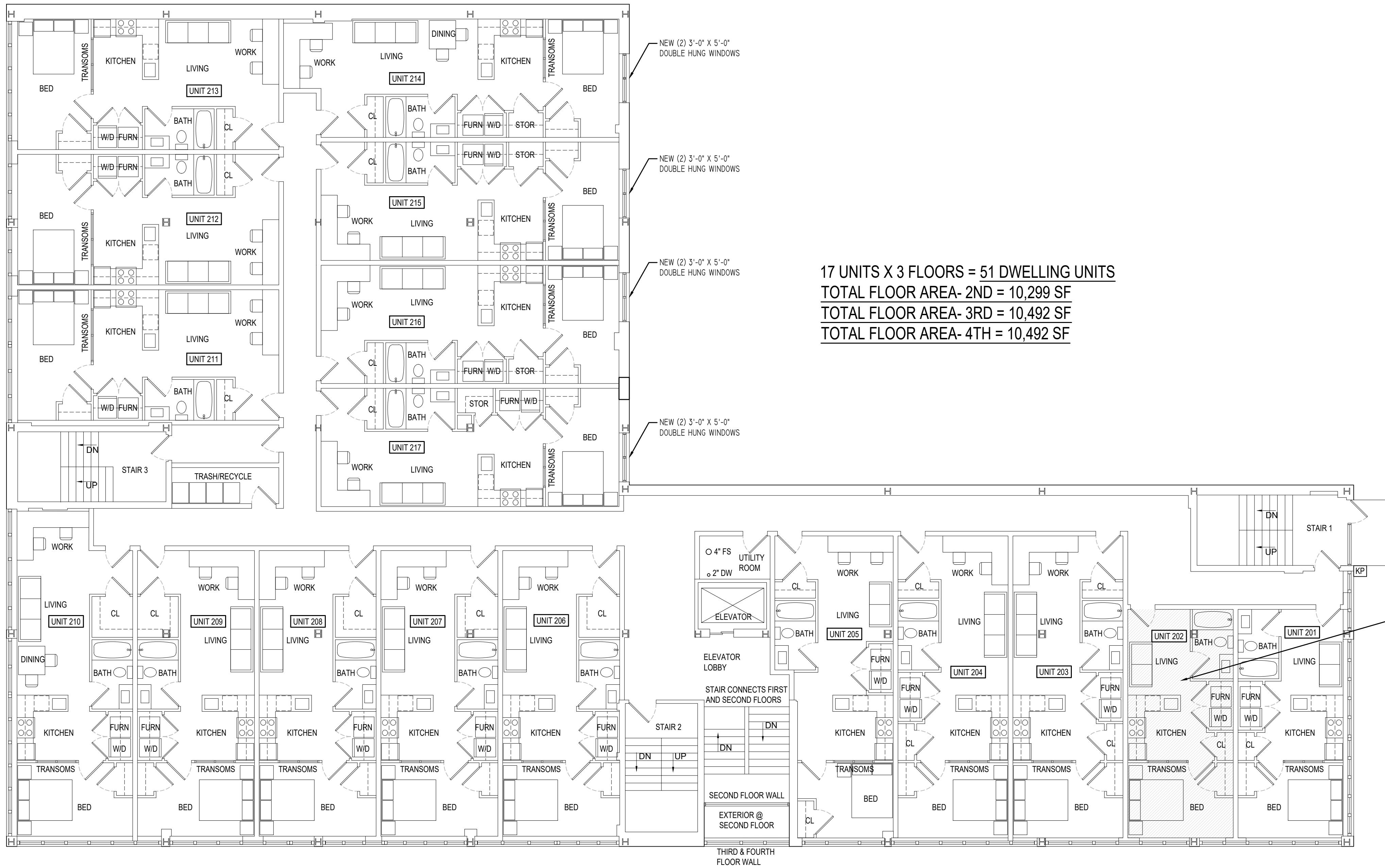
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**PROPOSED SECOND - FOURTH FLOOR PLAN**  
SCALE:  $\frac{1}{8}" = 1'-0"$



17 UNITS X 3 FLOORS = 51 DWELLING UNITS  
TOTAL FLOOR AREA- 2ND = 10,299 SF  
TOTAL FLOOR AREA- 3RD = 10,492 SF  
TOTAL FLOOR AREA- 4TH = 10,492 SF

**NOTES:**

- SEE A201 EXTERIOR ELEVATIONS FOR LOCATIONS WHERE OPAQUE FILM IS TO BE INSTALLED ON INTERIOR FACE OF GLASS WHERE UNIT DEMISING WALL OCCURS
- REFERENCE USDO AFFORDABLE HOUSING COMPLIANCE PLAN FOR 3 (5% OF TOTAL) REQUIRED AFFORDABLE RENTAL UNITS

NOLAN

ENGINEERING PLLC

DESIGNING THE FUTURE

RICHARD E. NOLAN, P.E. - LICENSE # 083929

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RECORD OF WORK:	
DATE:	DESCRIPTION:
8.6.20	TRASH/RECYCLE ROOM
9.2.20	REAR WINDOWS
9.14.20	ROOM NUMBERS ADDED
1.12.22	RE-SUBMIT PLANNING SET

MULTI-FAMILY CONVERSION

90 S. SWAN ST.  
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PROPOSED 2ND-4TH  
FLOOR PLAN

DRAFTER:

SINGER

ENGINEER:

NOLAN

PAPER SIZE:

D (24"x36")

SCALE:

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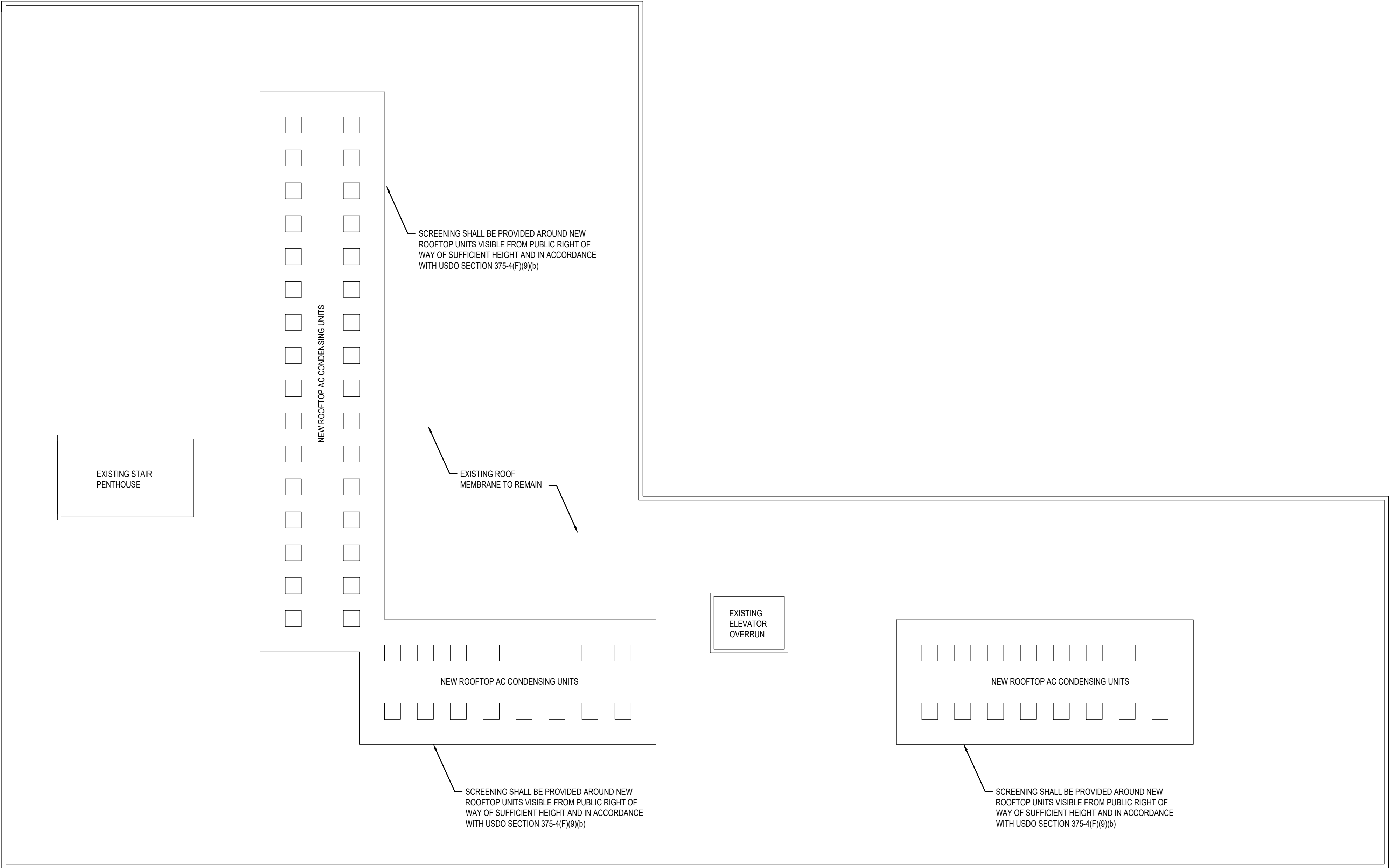
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**PROPOSED ROOF PLAN**  
SCALE:  $\frac{1}{8}" = 1'-0"$



**NOTES:**

- ALL NEW INTAKE & EXHAUST FOR DWELLING UNIT MECHANICAL UNITS, BATHROOM & DRYER EXHAUSTS, AND CAFE AND COMMON AREA EXHAUST AS REQUIRED, TO BE THROUGH THE ROOF.
- EXISTING RTUS NOT REQUIRED TO BE REMOVED.
- ALL ROOF LEADERS TO BE DISCONNECTED FROM SANITARY DRAIN LINES THROUGHOUT BUILDING. ROOF LEADERS TO BE CONNECTED TO ONE PIPE THAT EXITS THE BUILDING AND CONNECTS INTO EXISTING SEWER MAIN.

MULTI-FAMILY CONVERSION

90 S. SWAN ST.  
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PAGE CONTENT:  
PROPOSED ROOF PLAN

DRAFTER:  
SINGER

ENGINEER:  
NOLAN

PAPER SIZE:  
D (24"x36")

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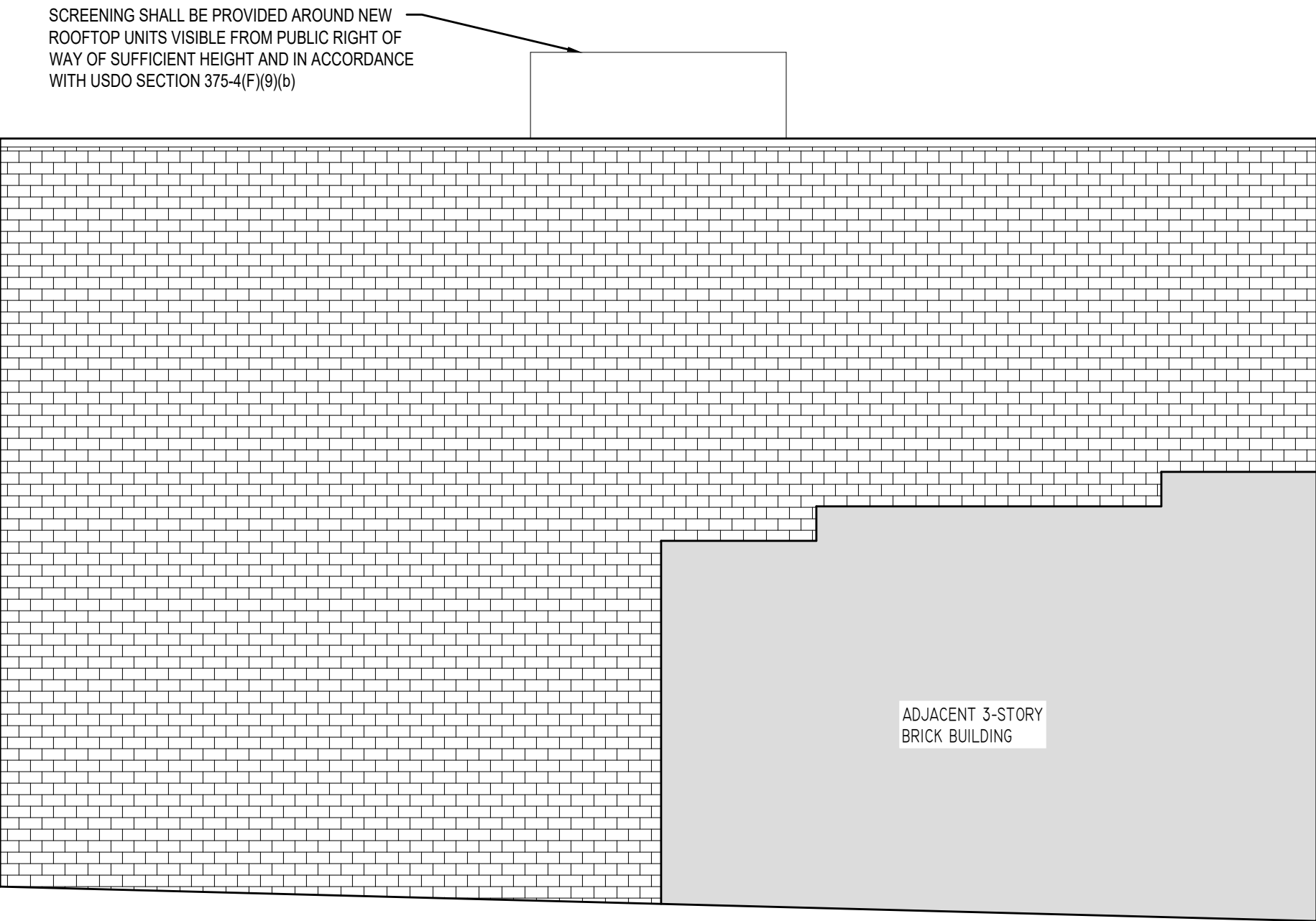
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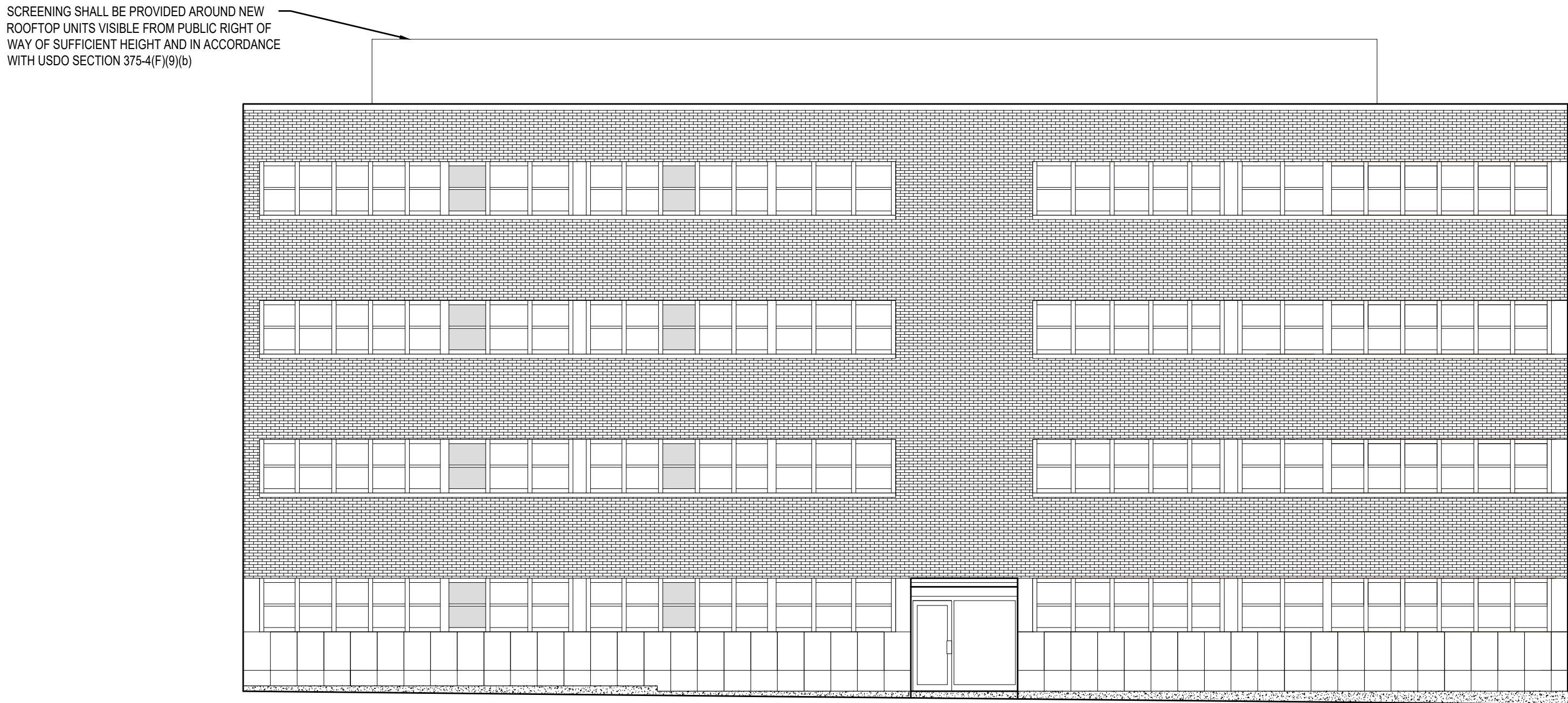
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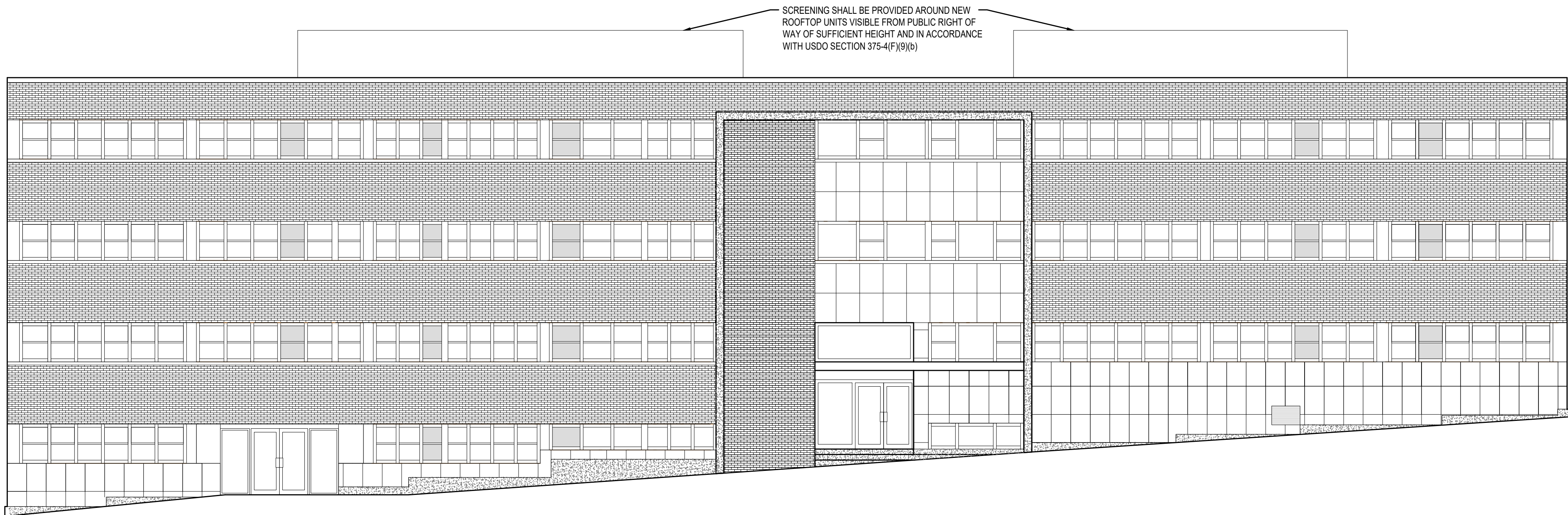
**NORTHWEST ELEVATION (CHESTNUT ST.)**  
SCALE:  $\frac{1}{8}" = 1'-0"$

**NOTE: NO CHANGES TO THE EXISTING ELEVATION**



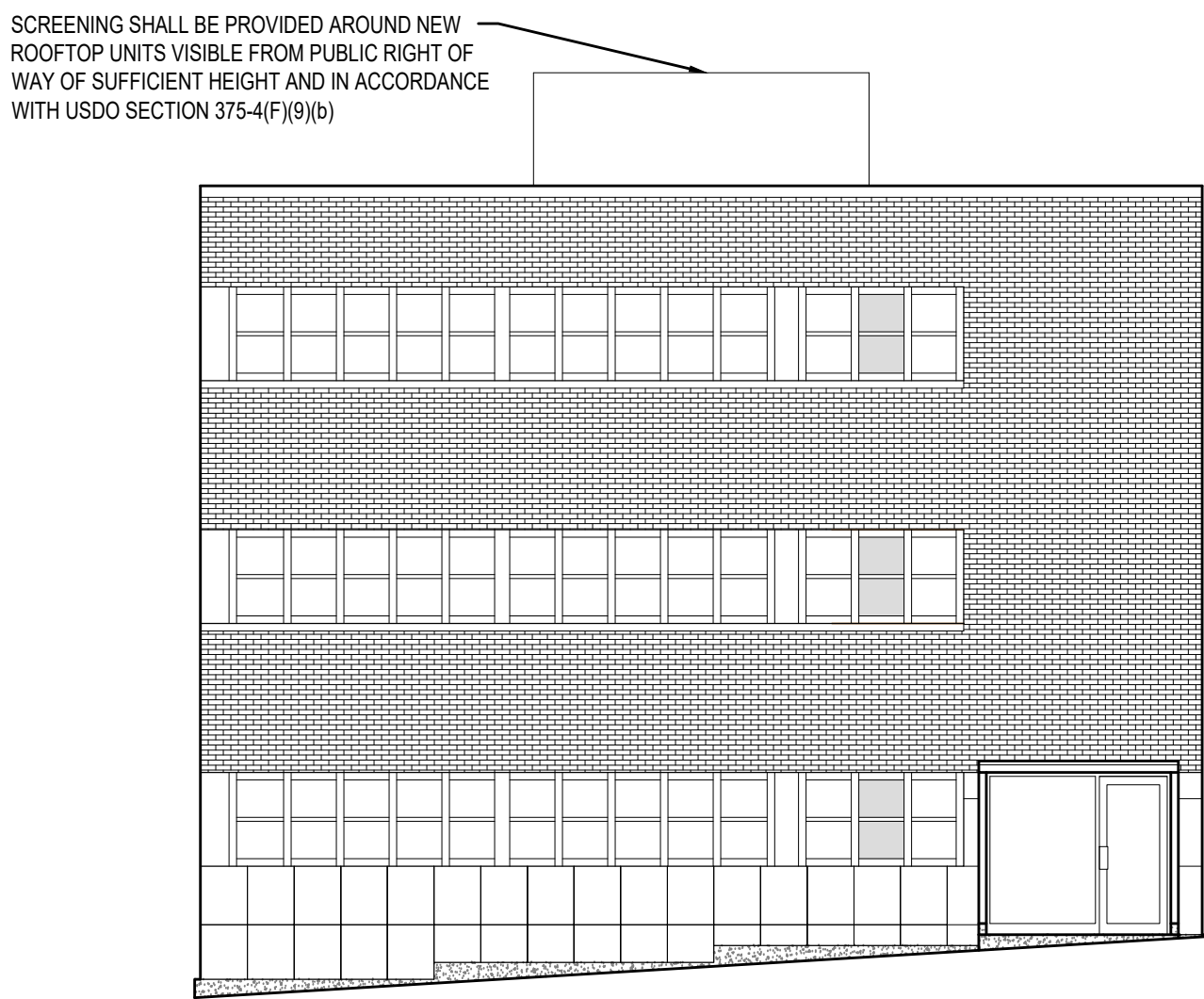
**SOUTHWEST ELEVATION (CHESTNUT ST.)**  
SCALE:  $\frac{1}{8}" = 1'-0"$

**NOTE: NO CHANGES TO THE EXISTING ELEVATION**



**SOUTHEAST ELEVATION (S. SWAN ST.)**  
SCALE:  $\frac{1}{8}" = 1'-0"$

**NOTE: NO CHANGES TO THE EXISTING ELEVATION**



**NORTHEAST ELEVATION (STATE ST.)**  
SCALE:  $\frac{1}{8}" = 1'-0"$

**NOTE: NO CHANGES TO THE EXISTING ELEVATION**

**NOTES:**

1. HATCH AT WINDOWS REPRESENTS OPAQUE FILM TO BE INSTALLED ON INTERIOR FACE OF GLASS WHERE UNIT DEMISING WALL OCCURS.

MULTI-FAMILY CONVERSION

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EXTERIOR ELEVATIONS

DRAFTER:  
SINGER

ENGINEER:  
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PAPER SIZE:  
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