

PLANNING SUBMISSION
90 S. SWAN ST.

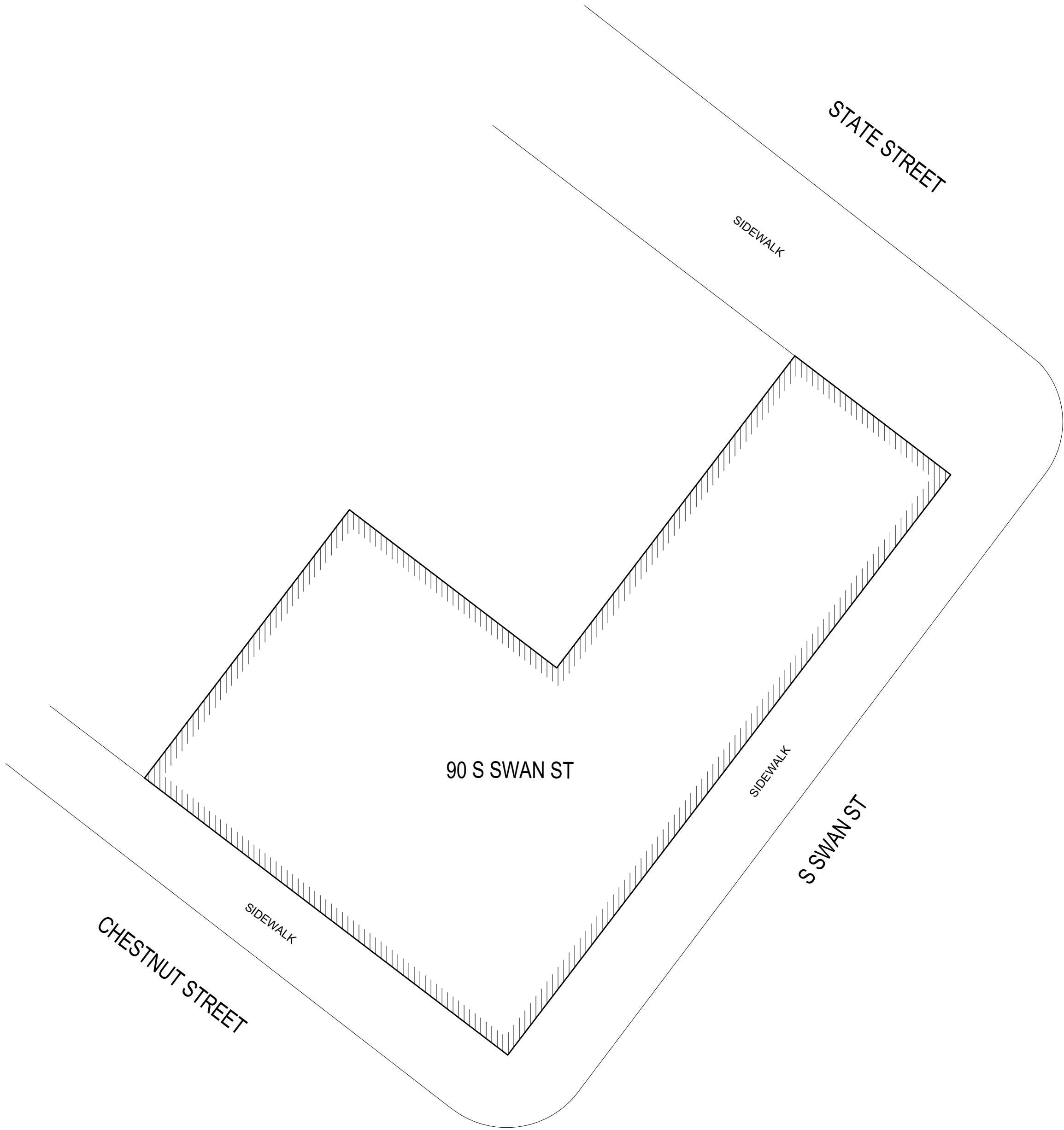
CONVERSION OF OFFICE BUILDING TO
61-UNIT APARTMENT BUILDING

90 S. SWAN ST.
ALBANY NY, 12210

TAX MAP NO. 76.24-7-44

DRAWING LIST:

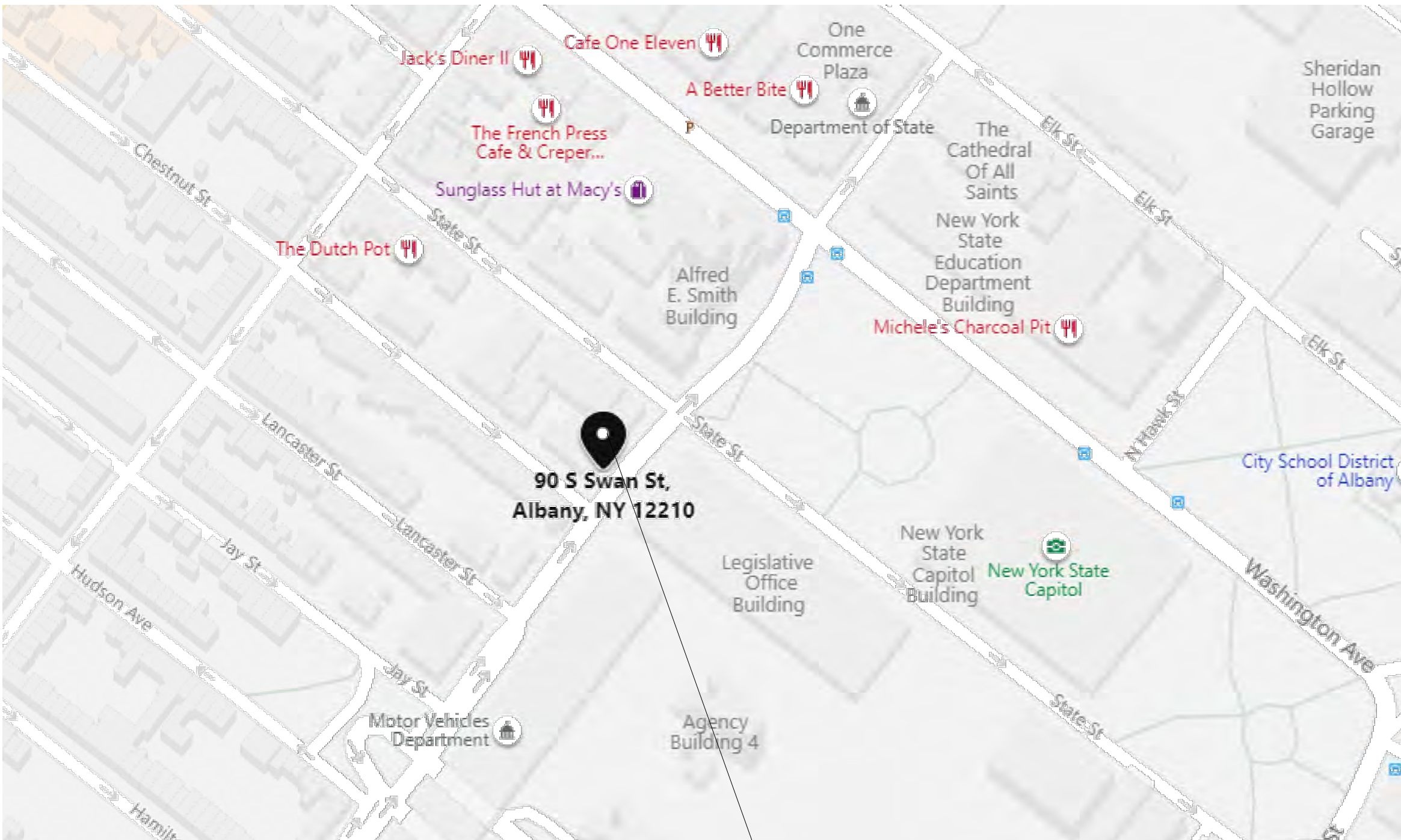
G001	COVER SHEET
1 OF 1	SURVEY
S101	LANDSCAPE PLAN
S102	UTILITY PLAN
S103	PEDESTRIAN TRAFFIC PLAN
S104	CONSTRUCTION ACCESS PLAN
S105	WORK ZONE TRAFFIC CONTROL
S106	DETAILS
S107	DETAILS
A101	EXISTING FIRST FLOOR PLAN
A102	EXISTING SECOND-FOURTH FLOOR PLAN
A200	PROPOSED FIRST FLOOR PLAN
A201	PROPOSED SECOND FLOOR PLAN
A202	PROPOSED THIRD & FOURTH PLAN
A203	PROPOSED ROOF PLAN
A301	EXTERIOR ELEVATIONS



N
SITE PLAN
SCALE: 1" = 20'-0"



VIEW OF EXISTING BUILDING- S. SWAN STREET
SCALE: N.T.S.



N
LOCATION MAP
SCALE: N.T.S.

NOLANENGINEERINGPLLC

DESIGNING URBAN DREAMS

RICHARD E. NOLAN, P.E. - LICENSE # 083929

NEW YORK STATE LICENSED PROFESSIONAL ENGINEER

333 KINGSLEY ROAD • BURN HILLS, NY 12027 • (516) 280-3190

WEBSITE: WWW.NOLANENGINEERING.COM

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RECORD OF WORK:	
DATE:	DESCRIPTION:
1.12.22	RE-SUBMIT PLANNING SET

MULTI-FAMILY CONVERSION

90 S. SWAN ST.
ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE:

STAMP:

DATE: 5/19/20

FILE:

PAGE CONTENT:

COVER SHEET

DRAFTER:	ENGINEER:
SINGER	NOLAN

PAPER SIZE:	SCALE:
D (24"x36")	AS SHOWN

SHEET:

G001

TAX PARCEL IDENTIFICATION

CITY OF ALBANY - COUNTY OF ALBANY - STATE OF NEW YORK
SECTION 76.24 - BLOCK 7 - LOT 44
12,576.2± SQUARE FEET

DEED REFERENCE

1. 90 SO. SWAN ST., LLC TO THE SANTO GROUP INC. BY DEED DATED MAY 01, 2013 AND FILED IN THE ALBANY COUNTY CLERK'S OFFICE IN DEED BOOK 3065 AT PAGE 1147.

MAP REFERENCE

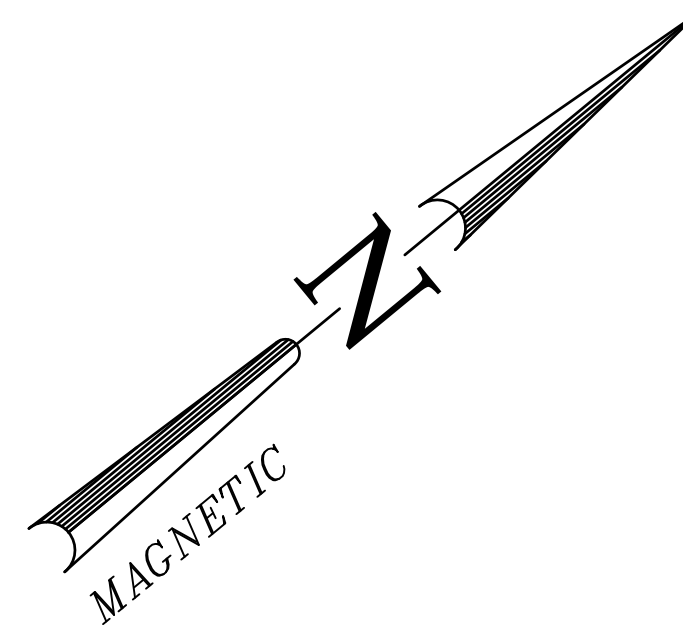
MAP ENTITLED "MAP OF SURVEY OF LANDS AT 276 STATE STREET FOR ADVANTAGE PROPERTY SERVICES, LLC." PREPARED BY BETHLEHEM LAND SURVEYING PLLC. DATED MAY 26, 2015.

TITLE REPORT REFERENCE

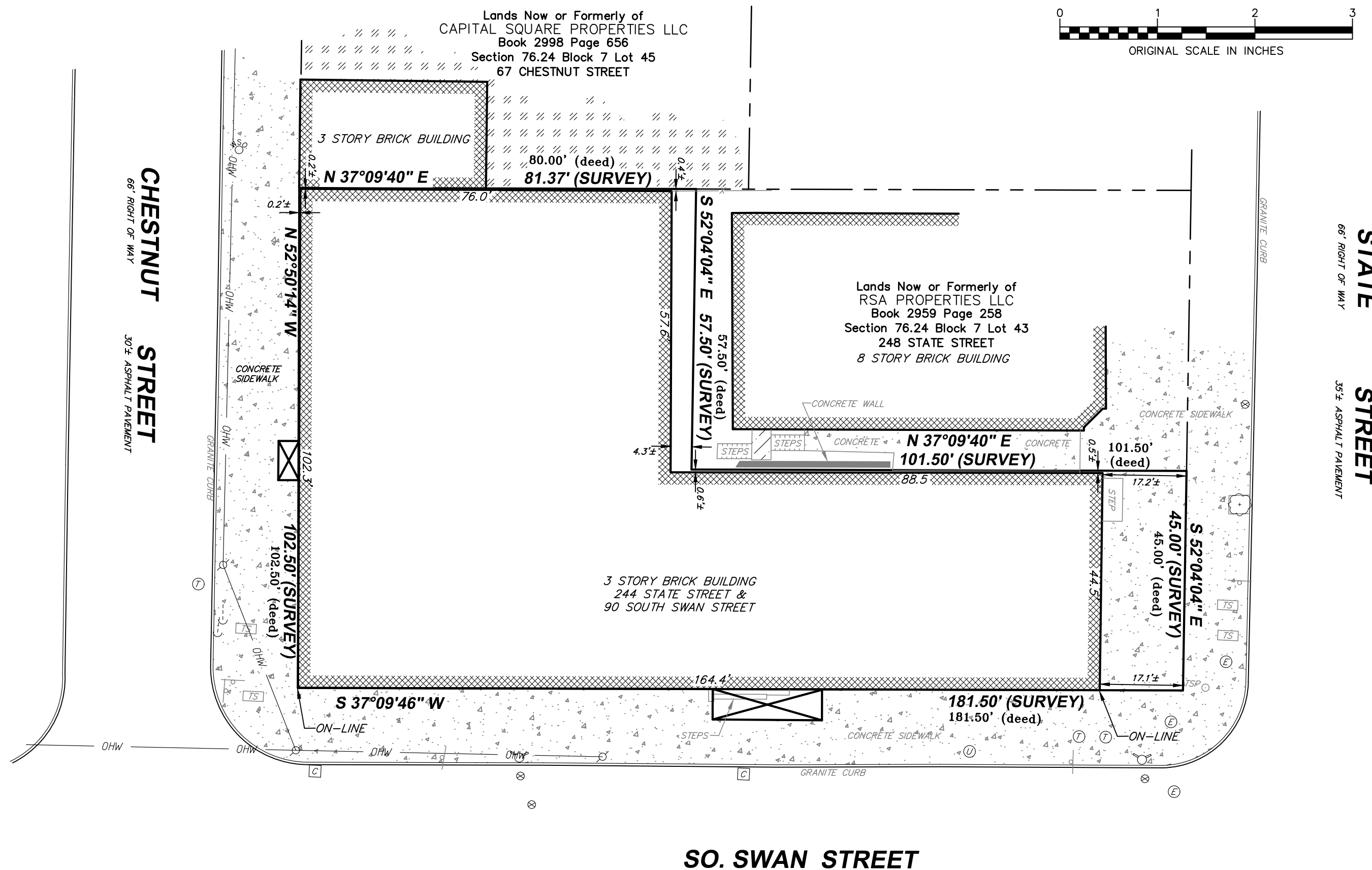
CERTIFICATE OF TITLE ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, PROVIDED BY LANDMARK ABSTRACT AGENCY LLC., TITLE COMMITMENT NO: LAA1778, EFFECTIVE DATE: OCTOBER 13, 2015.

SURVEYOR'S NOTES

1. SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.
2. SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
3. SURVEY SUBJECT TO ANY UNDERGROUND UTILITIES CROSSING THIS PROPERTY.
4. DWELLING SHOWN HEREON SERVED BY UNDERGROUND UTILITIES.
5. THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. LOCATION OF FACILITIES AND/OR STRUCTURES OUTSIDE OF LIMITS OF FIELD SURVEY ARE SUBJECT TO WHATEVER STATE OF FACTS A FIELD SURVEY MAY REVEAL. THEIR LOCATION IS NOT CERTIFIED BY THIS SURVEY.
6. CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS.
7. NORTH ORIENTATION AND BEARINGS SHOWN HEREON ARE BASED ON MAP REFERENCE 1.
8. PRINTED DIMENSIONS SHOWN ON THE MAP OF SURVEY SUPERSEDE SCALED DIMENSIONS. SOME ITEMS MAY HAVE BEEN DRAWN OUT OF SCALE TO GRAPHICALLY SHOW THEIR LOCATION.



SCALE 1 INCH = 20 FEET



SO. SWAN STREET

CERTIFIED TO: MAN REALTY LLC, SHARESTATES INVESTMENTS, LLC, AMTRUST TITLE INSURANCE COMPANY and ATLANTIS NATIONAL SERVICES, INC.

DRAWN BY: JRP		DATE FIELD SURVEY COMPLETED:	
CHECKED BY: JRP		NOV. 4, 2015	
JOB NO.: 2015-155		DATE SURVEY MAP COMPLETED:	
		NOV. 4, 2015	
1	07/19/18	UPDATED SURVEY, REVISED CERTIFICATIONS	J.R.P.
NO.	DATE:		BY:

BETHLEHEM
LAND SURVEYING, PLLC.

Jason R. Peterson, PLS
273 KENWOOD AVENUE
DELMAR, NEW YORK 12054
(518) 813-0059



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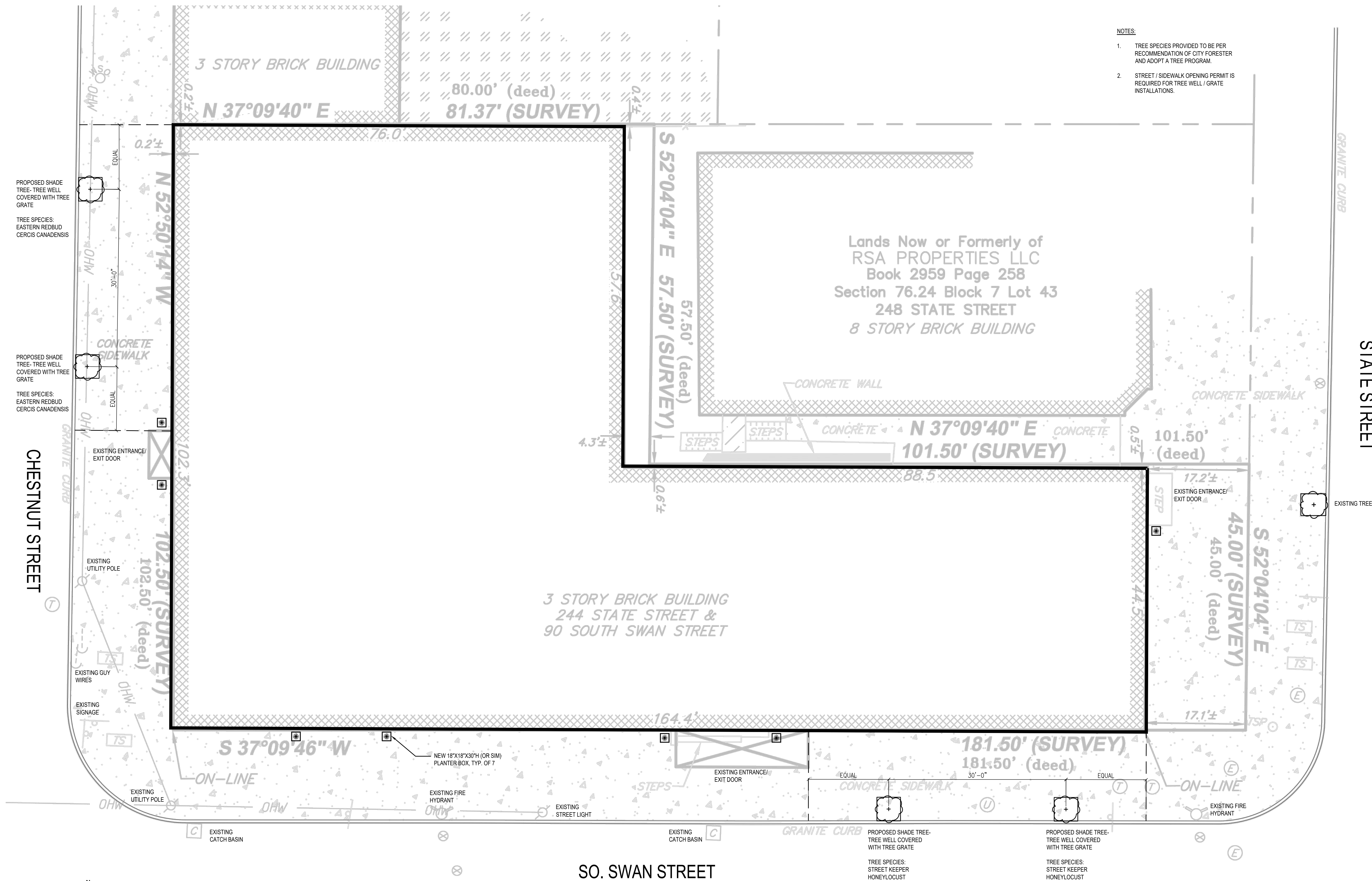
MAP OF SURVEY OF

Lands at 244 State Street &
90 So. Swan Street

- SITUATE -

CITY OF ALBANY ALBANY COUNTY

NEW YORK



- NOTES:
1. TREE SPECIES PROVIDED TO BE PER RECOMMENDATION OF CITY FORESTER AND ADOPT A TREE PROGRAM.
 2. STREET / SIDEWALK OPENING PERMIT IS REQUIRED FOR TREE WELL / GRATE INSTALLATIONS.

NOLAN ENGINEERING PLLC
DESIGNING YOUR DREAMS
RICHARD E. NOLAN, P.E. LICENSE # 083929
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RECORD OF WORK:	
DATE:	DESCRIPTION:
1.12.22	RE-SUBMIT PLANNING SET
1.26.22	ADDED PLANTERS
2.18.22	REVISED PER CITY FORESTER

MULTI-FAMILY CONVERSION
90 S. SWAN ST.
ALBANY, NY 12210
CLIENT: MAN REALTY

START DATE:
STAMP:

DATE: 5/19/20

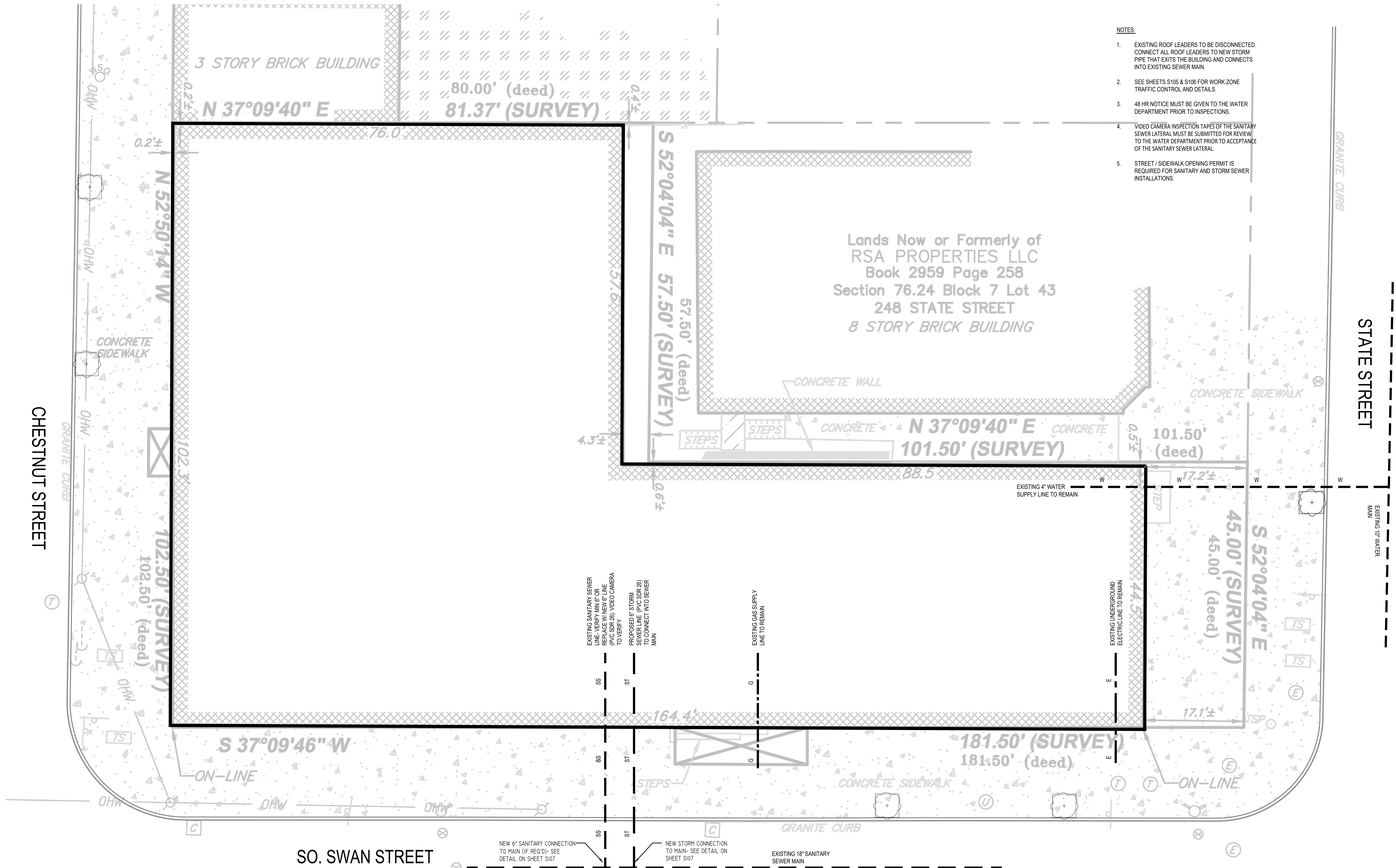
FILE:

PAGE CONTENT:
PROPOSED LANDSCAPE
PLAN

DRAFTER: SINGER
ENGINEER: NOLAN

PAPER SIZE: D (24"x36")
SCALE: AS SHOWN

SHEET:
S101



NOTES:

- EXISTING ROOF LEADERS TO BE DISCONNECTED. CONNECT ALL ROOF LEADERS TO NEW STORM PIPE THAT EXISTS THE BUILDING AND CONNECTS INTO EXISTING SEWER MAIN.
- SEE SHEETS S105 & S106 FOR WORK ZONE TRAFFIC CONTROL AND DETAILS.
- 48 HR NOTICE MUST BE GIVEN TO THE WATER DEPARTMENT PRIOR TO INSPECTIONS.
- VIDEO CAMERA INSPECTION TAPES OF THE SANITARY SEWER LATERAL MUST BE SUBMITTED FOR REVIEW TO THE WATER DEPARTMENT PRIOR TO ACCEPTANCE OF THE SANITARY SEWER LATERAL.
- STREET / SIDEWALK OPENING PERMIT IS REQUIRED FOR SANITARY AND STORM SEWER INSTALLATIONS.

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EDUCATION UNDER THE DIRECTION OF A LICENSED ENGINEER

WAY ANY PLANS, SPECIFICATIONS, PLATS OR REPORTS TO WHICH THE SEAL OF PROFESSIONAL ENGINEER HAS BEEN AFFIXED

RECORD OF WORK:	
DATE:	DESCRIPTION:
7/14/20	PLANNING COMMENTS
1/12/22	RE-SUBMIT PLANNING SET
2/18/22	PLANNING COMMENTS

MULTI-FAMILY CONVERSION

90 S. SWAN ST.
ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE:

STAMP:

DATE: 5/19/20

FILE:

PAGE CONTENT:
PROPOSED UTILITY
PLAN

DRAFTER:
SINGER

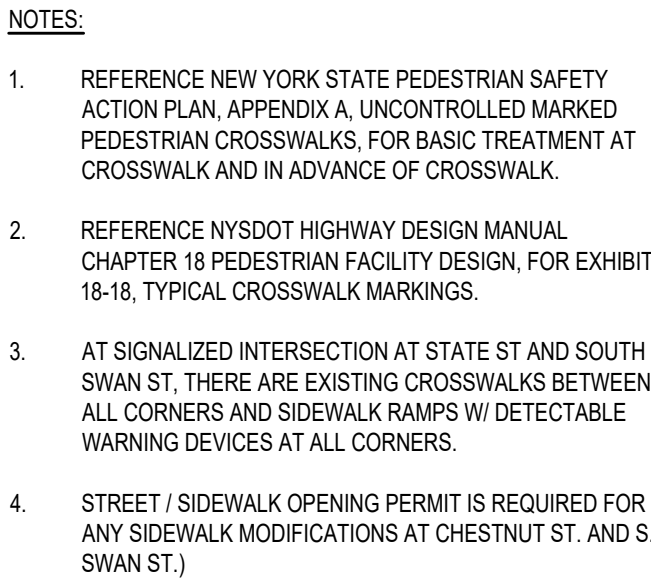
ENGINEER:
NOLAN

PAPER SIZE:
D (24"x36")

SCALE:
AS SHOWN

SHEET:

S102



SPEED (MPH)	DISTANCE (FT)
20	115
25	155
30	200
35	250
40	305

3 STORY BRICK BUILDING
244 STATE STREET &
90 SOUTH SWAN STREET

NOLAN ENGINEERING PLLC
DESIGN-BUILD-OPERATE
RICHARD E. NOLAN, PE, LICENSE #083926
NOLAN ENGINEERING, INC.
333 KINGSLEY ROAD • BURNT HILLS, NY 12027 • (516) 280-3190
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ANY OTHER PLANS, SPECIFICATIONS, PLOTS OR
REPORTS REQUIRED BY THE PROFESSIONAL
ENGINEER HAS BEEN APPLIED.

RECORD OF WORK:		
DATE:	DESCRIPTION:	BY:
7.7.20	PLANNING COMMENTS	JRS
7.14.20	PLANNING COMMENTS	JRS
9.16.20	PLANNING COMMENTS	JRS
1.12.22	RE-SUBMIT PLANNING SET	JRS
2.18.22	PLANNING COMMENTS	JRS

MULTI-FAMILY CONVERSION

90 S. SWAN ST.
ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE:

STAMP:

DATE: 5/19/20

FILE:

PAGE CONTENT:

PEDESTRIAN TRAFFIC
PLAN

DRAFTER

SINGER

ENGINEER:

NOLAN

PAPER SIZE:

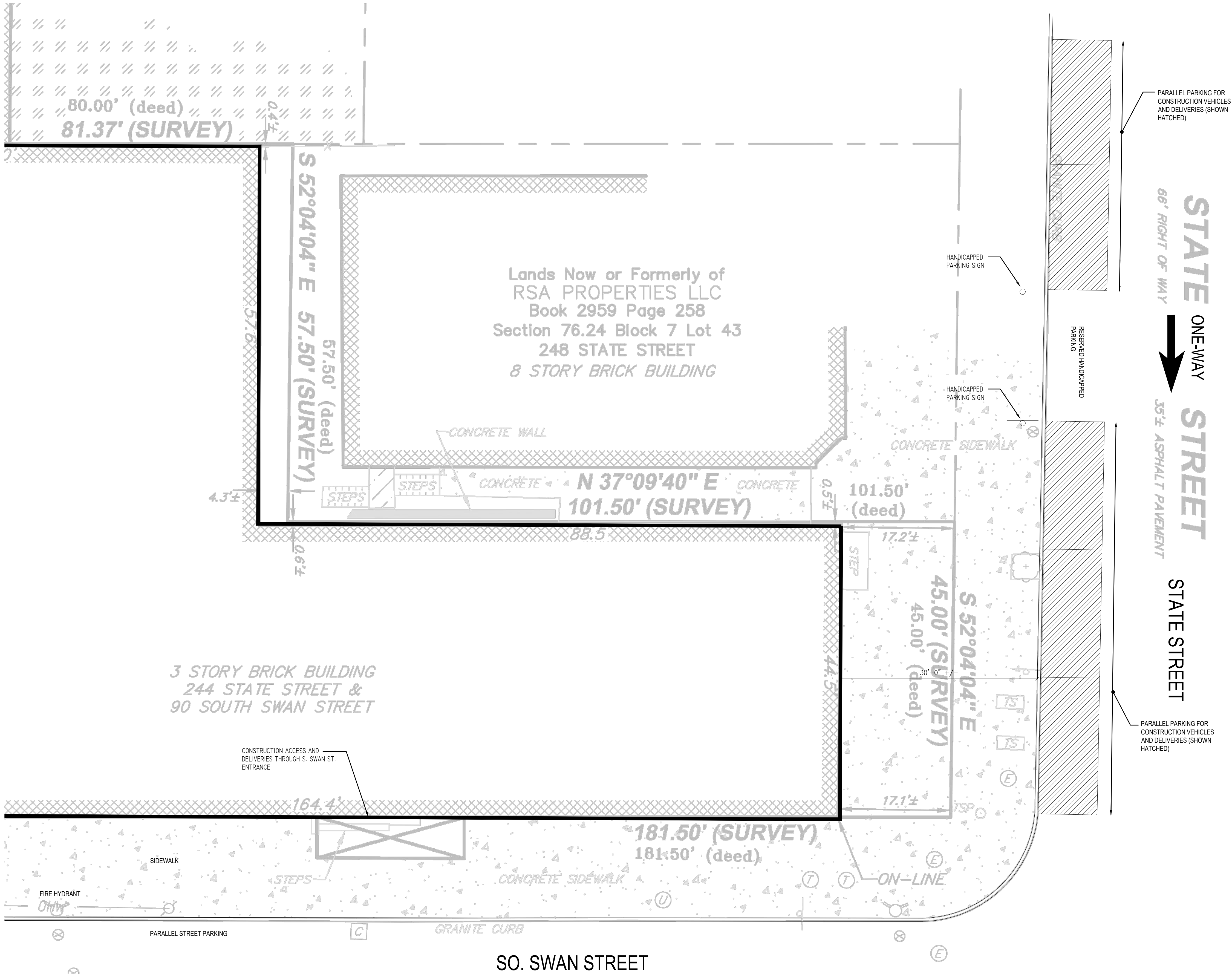
D (24"x36")

SCALE:

AS SHOWN

SHEET:

S103



- NOTES:
- DURING DELIVERIES AND MOVEMENT OF CONSTRUCTION MATERIALS IN AND OUT OF BUILDING, MEMBER OF CONSTRUCTION CREW TO MANAGE SAFE MOVEMENT OF PEDESTRIANS.
 - IF PARKING SPACES ARE NEEDED FOR DELIVERIES OR OTHER WORK FUNCTIONS, OWNER MUST CALL DIVISION OF TRAFFIC ENGINEERING FOUR BUSINESS DAYS PRIOR TO THE DATE NEEDED TO REQUEST EMERGENCY NO PARKING SIGNS. CONTRACTOR SHALL NOT INSTALL THEIR OWN PARKING PROHIBITED SIGNS.

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REPORTS TO WHICH THE SEAL OF PROFESSIONAL
ENGINEER HAS BEEN AFFIXED.

RECORD OF WORK:	
DATE:	DESCRIPTION:
7.7.20	PLANNING COMMENTS
9.16.20	PLANNING COMMENTS
1.12.22	RE-SUBMIT PLANNING SET
2.18.22	PLANNING COMMENTS

MULTI-FAMILY CONVERSION
90 S. SWAN ST.
ALBANY, NY 12210
CLIENT: MAN REALTY

START DATE:
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FILE:

PAGE CONTENT:
CONSTRUCTION ACCESS
PLAN

DRAFTER: SINGER
ENGINEER: NOLAN

PAPER SIZE: D (24"x36")
SCALE: AS SHOWN

SHEET:
S104

- GENERAL NOTES
1. THE TYPICAL DETAILS DEPICTED ON THE STANDARD SHEETS AND IN THE MUTCD, REFLECT THE MINIMUM REQUIREMENTS.
 2. THE CONTRACTOR MUST SUBMIT TO THE ENGINEER, IN WRITING, PROPOSED REVISIONS TO THE TRAFFIC CONTROL PLAN FOR REVIEW AND APPROVAL BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE FIVE (5) WORK DAYS PRIOR TO THE PLANNED IMPLEMENTATION OF SUCH PROPOSED REVISIONS. EXCEPT FOR CHANGES THAT ARE THE SCOPE OF THE TRAFFIC CONTROL PLAN, SUCH CHANGES IN SCOPE MUST BE SUBMITTED TO THE ENGINEER FOR APPROVAL BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE THIRTY (30) WORKING DAYS PRIOR TO IMPLEMENTATION OF SUCH REVISIONS.
 3. THE CONTRACTOR SHALL PROVIDE, IN WRITING, WITH THE NAMES, ADDRESSES, AND TELEPHONE NUMBERS OF STAFF WHO ARE AUTHORIZED TO SECURE LABOR, MATERIALS, AND EQUIPMENT FOR THE PROJECT. THE ENGINEER WILL PROVIDE THE NEAREST ENGINEER WILL PROVIDE THE SUBMITTED INFORMATION TO REGIONAL MANAGEMENT, THE NEW YORK STATE POLICE, THE RESIDENT ENGINEER, AND THE LOCAL POLICE.

- ACTIVITY AREA
1. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 500' LONGITUDINAL DISTANCE BETWEEN CONSTRUCTION OPERATIONS ON ALTERNATE SIDES OF THE ROADWAY, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
 2. WHEN TWO OR MORE AREAS ARE ADJACENT, OVERLAP, OR ARE IN CLOSE PROXIMITY, THE CONTRACTOR SHALL ENSURE THERE ARE NO CONFLICTING SIGNS AND THAT LANE CONTINUITY IS MAINTAINED THROUGHOUT ALL WORK AREAS.

- SIGNS
1. THE LOCATIONS OF THE SIGNS SHOWN ON THE WORK ZONE TRAFFIC CONTROL PLANS AND DETAILS MAY BE ADJUSTED BASED ON SIGHT DISTANCE AND OTHER CONSIDERATIONS. THE FINAL LOCATIONS OF SIGNS ARE SUBJECT TO APPROVAL OF THE ENGINEER.
 2. ANY EXISTING SIGNS, INCLUDING OVERHEAD SIGNS, WHICH CONFLICT WITH THE TEMPORARY TRAFFIC CONTROL SIGN LAYOUT SHALL BE COVERED, REMOVED, STORED OR RESET, AS APPROVED BY THE ENGINEER. ALL APPROPRIATE EXISTING SIGNS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND/OR LOCATION UNLESS OTHERWISE REPLACED IN THIS CONTRACT.
 3. SIGNS AT OR NEAR INTERSECTIONS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT A MOTORIST'S LINE OF SIGHT.
 4. ALL WARNING AND REGULATORY SIGNS SHALL BE POSTED ON BOTH SIDES OF MULTI-LANE DIVIDED HIGHWAYS, MULTI-LANE RAMP, AND ONE-WAY STREETS. IN CASES WHERE LANE RESTRICTIONS REDUCE THE TRAVEL LANE TO ONE LANE, SIGNS SHALL BE POSTED ON THE RIGHT SIDE OF THE ACTIVE TRAVEL LANE, UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.
 5. SIGNS MOUNTED ON THE MEDIUM OF DIVIDED HIGHWAYS WHERE MEDIAN BARRIER IS IN PLACE MAY BE MOUNTED ON THE BARRIER WITH A SINGLE TYPE BRACKET, LATTING THE SIGN DOWN IN A HORIZONTAL POSITION IS NOT PERMITTED.
 6. THE DIMENSIONS OF WORK ZONE TRAFFIC CONTROL SIGNS ARE DESCRIBED IN THE MUTCD. ANY CHANGES TO THE DIMENSIONS SHALL BE APPROVED BY THE REGIONAL DIRECTOR OR BY HIS/HER DESIGNEE.
 7. W20-2 MAY BE USED IN PLACE OF W199-11.

- CHANNELIZING DEVICES
1. WHERE POSSIBLE ALL CHANNELIZING AND GUIDING DEVICES ARE TO BE PLACED SO AS TO PROVIDE A MINIMUM 2' LATERAL CLEARANCE TO THE TRAVELED WAY.
- PUBLIC ACCESS
1. PROPERTY OWNERS WHOSE DRIVEWAYS WILL BE MADE INACCESSIBLE SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST 14 WORK DAYS PRIOR TO RESTRICTING USE OF THE DRIVEWAY FOR MULTIPLE ACCESS PROPERTIES. AT LEAST ONE DRIVEWAY SHALL BE OPEN AT ALL TIMES. ACCESS SHALL BE RESTORED TO ALL DRIVEWAYS AS SOON AS POSSIBLE.

- SUITABLE RAMPS SHALL BE INSTALLED TO MAINTAIN SMOOTH TRANSITIONS FROM RESIDENTIAL AND COMMERCIAL DRIVEWAYS TO AND FROM THE WORK AREA.
- LANE CLOSURES
1. THE CONTRACTOR SHALL LOCATE LANE CLOSURES TO PROVIDE OPTIMUM VISIBILITY, I.E. BEFORE CURVES AND CRESTS, TO THE EXTENT CONDITIONS PERMIT.
 2. THE ENGINEER MAY REQUIRE THAT ALL LANES BE RE-OPENED AT ANY TIME IF THE ROUTE IS NEEDED FOR EMERGENCY PURPOSES. THIS COULD INCLUDE INCIDENTS AT LOCATIONS OUTSIDE THE CONTRACT LIMITS.

- LANE WIDTHS
1. UNLESS AUTHORIZED BY THE ENGINEER, THE MINIMUM LANE WIDTHS FOR WORK ZONE TRAVEL LANES SHALL BE AS FOLLOWS: FREEWAYS AND/OR EXPRESSWAYS IS 11'. THE MINIMUM LANE WIDTH FOR ALL OTHER TYPES OF ROADWAYS IS 10'.
 2. THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE TO THE ENGINEER, A MINIMUM OF 21 CALENDAR DAYS IN ADVANCE OF PERFORMING ANY WORK THAT RESULTS IN THE REDUCED WIDTH OF AN EXISTING ROADWAY, SO THAT THE ENGINEER MAY NOTIFY THE REGIONAL PERMIT ENGINEER IN A TIMELY MANNER.

- BARRIER/SHADOW VEHICLES
1. BARRIER AND SHADOW VEHICLES SHALL BE REQUIRED AS PER STANDARD SHEET TITLED "WORK ZONE TRAFFIC CONTROL LEGENDS AND NOTES".
 2. NO WORK ACTIVITY, EQUIPMENT, VEHICLES AND/OR MATERIALS SHALL BE LOCATED BETWEEN THE BARRIER OR SHADOW VEHICLE AND THE ACTIVE WORK AREA (ROLL AHEAD DISTANCE).
 3. THE CONTRACTOR MAY BE REQUIRED TO PROVIDE A BARRIER VEHICLE IN CONJUNCTION WITH POLICE PRESENCE IN THE WORK ZONE, TO BE INCLUDED IN THE UNIT BID PRICE FOR BASIC WORK ZONE TRAFFIC CONTROL.

- PROPERTY OWNERS WHOSE DRIVEWAYS WILL BE MADE INACCESSIBLE SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST 14 WORK DAYS PRIOR TO RESTRICTING USE OF THE DRIVEWAY FOR MULTIPLE ACCESS PROPERTIES. AT LEAST ONE DRIVEWAY SHALL BE OPEN AT ALL TIMES. ACCESS SHALL BE RESTORED TO ALL DRIVEWAYS AS SOON AS POSSIBLE.

STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION	
U.S. CUSTOMARY STANDARD SHEET	
WORK ZONE TRAFFIC CONTROL GENERAL NOTES	
APPROVED SEPTEMBER 18, 2008 /S/ DAVID J. CLEMENTS, P.E. DIRECTOR, OFFICE OF TRAFFIC SAFETY AND MOBILITY	ISSUED UNDER EB 08-036 619-10

EFFECTIVE DATE: 01/08/09

D.O.T. WORK ZONE TRAFFIC CONTROL - GENERAL NOTES

SCALE: N.T.S.

TABLE NY1-A BARRIER VEHICLE USE REQUIREMENTS (LONG TERM, INTERMEDIATE TERM, AND SHORT TERM STATIONARY CLOSURES)			
CLOSURE TYPE	EXPOSURE CONDITION ¹	USE REQUIREMENTS ^{4,5}	
		FREEWAY	NON-FREEWAY (PRECONSTRUCTION POSTED SPEED LIMIT)
LANE CLOSURE	WORKERS ON FOOT OR IN VEHICLES EXPOSED	REQUIRED ²	REQUIRED ²
	NON-TRAVERSABLE HAZARD (I.E. EQUIPMENT, MATERIALS, ELEVATION ONLY)	REQUIRED ²	OPTIONAL ²
SHOULDER CLOSURE	WORKERS ON FOOT OR IN VEHICLES EXPOSED	REQUIRED ²	OPTIONAL ²
	NON-TRAVERSABLE HAZARD (I.E. EQUIPMENT, MATERIALS, ELEVATION ONLY)	REQUIRED ²	OPTIONAL ²

1. THE EXPOSURE CONDITIONS DESCRIBED IN TABLE NY1-A ASSUMES THERE IS NO POSITIVE PROTECTION (TEMPORARY TRAFFIC BARRIER PRESENT). WHERE WORKERS OR HAZARDS ARE PROTECTED BY A TEMPORARY TRAFFIC BARRIER, BARRIER VEHICLES ARE NOT REQUIRED.
2. WHERE THE REQUIREMENT IS "OPTIONAL", EITHER A BARRIER VEHICLE OR THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6C-2) SHALL BE PROVIDED.
3. REQUIREMENTS SHALL INCLUDE PROVIDING A SEPARATE BARRIER VEHICLE FOR EACH CLOSED LANE AND EACH CLOSED PAVED SHOULDER IF OF GREATER IN WIDTH. IF THE WORK SPACE MOVES WITHIN THE STATIONARY CLOSURE, THE BARRIER VEHICLE SHALL BE REPOSITIONED ACCORDINGLY. BARRIER VEHICLES PROTECTING NON-TRAVERSABLE HAZARDS SHALL REMAIN IN PLACE DURING BOTH MORNING AND NON-MORNING HOURS UNTIL THE HAZARD NO LONGER EXISTS. EXCEPTIONS TO THESE REQUIREMENTS MAY BE MADE, AS APPROVED BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE. WHERE BARRIER VEHICLE PLACEMENT WOULD BE INEFFECTIVE OR WOULD INTERFERE WITH THE SAFE OPERATION OF TRAFFIC.
4. BARRIER VEHICLES ARE NOT REQUIRED FOR FLAGGING OPERATIONS, BUT THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6C-2) SHALL BE PROVIDED.
5. BARRIER VEHICLES ARE NOT REQUIRED FOR FLAGGING OPERATIONS, BUT THE STANDARD LONGITUDINAL BUFFER SPACE (TABLE 6C-2) SHALL BE PROVIDED.

TABLE NY1-B SHADOW VEHICLE USE REQUIREMENTS (MOBILE CLOSURES)			
CLOSURE TYPE	EXPOSURE CONDITION	USE REQUIREMENTS	
		FREEWAY	NON-FREEWAY (PRECONSTRUCTION POSTED SPEED LIMIT)
LANE CLOSURE	WHEN ANY WORKER, VEHICLE, OR OTHER HAZARD IS EXPOSED TO TRAFFIC	REQUIRED ^{2,4}	REQUIRED ^{2,4}
SHOULDER CLOSURE	WHEN ANY WORKER, VEHICLE, OR OTHER HAZARD IS EXPOSED TO TRAFFIC	REQUIRED ^{2,4}	REQUIRED ^{2,4}

1. A MOBILE CLOSURE SHALL BE USED FOR ANY WORK ACTIVITY THAT MOVES CONTINUOUSLY OR INTERMITTENTLY ALONG THE TRAVELED WAY OR SHOULDER SLOWER THAN THE PREVAILING SPEED OF TRAFFIC. CHANNELIZING DEVICES ARE NOT USED FOR MOBILE CLOSURES.
2. SHADOW VEHICLES SHALL BE EQUIPPED WITH AN APPROVED REAR MOUNTED ATTENUATOR (TRUCK MOUNTED OR TRAILER MOUNTED) FOR THE FOLLOWING MOBILE CLOSURES: LANE CLOSURES ON FREEWAYS, LANE CLOSURES ON NON-FREEWAY ROADWAYS HAVING A PRE-CONSTRUCTION POSTED SPEED LIMIT OF 35 MPH OR MORE, SHOULDER CLOSURES ON FREEWAYS, AND SHOULDER CLOSURES ON NON-FREEWAY ROADWAYS HAVING A PRE-CONSTRUCTION POSTED SPEED LIMIT OF 45 MPH OR MORE.
3. FOR MOBILE LANE CLOSURES ON NON-FREEWAY ROADWAYS HAVING A PRE-CONSTRUCTION POSTED SPEED LIMIT OF 30 MPH OR LESS AND MOBILE SHOULDER CLOSURES ON NON-FREEWAY ROADWAYS HAVING A PRE-CONSTRUCTION POSTED SPEED LIMIT OF 40 MPH OR LESS, SHADOW VEHICLES ARE NOT REQUIRED TO BE EQUIPPED WITH A REAR MOUNTED ATTENUATOR.
4. A SHADOW VEHICLE IS USED TO PROTECT EXPOSED WORKERS ON FOOT OR IN A VEHICLE AND SHALL BE REQUIRED FOR ALL MOBILE CLOSURES. SHADOW VEHICLE REQUIREMENTS SHALL INCLUDE PROVIDING A SEPARATE SHADOW VEHICLE FOR EACH CLOSED LANE AND EACH CLOSED PAVED SHOULDER IF OF GREATER IN WIDTH. ADDITIONAL SHADOW VEHICLES MAY BE REQUIRED TO PROTECT THE SAFE OPERATION OF TRAFFIC AND THE ENHANCED PROTECTION OF EXPOSED WORKERS, AS DIRECTED BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE.

D.O.T. WORK ZONE TRAFFIC CONTROL - LEGENDS & NOTES

SCALE: $\frac{1}{2}" = 1'-0"$

TABLE 6H-4 FORMULAS FOR DETERMINING TAPER LENGTHS			
SPEED LIMIT (S) MPH	TAPER LENGTH (L) FT	L = TAPER LENGTH W = WIDTH OF OFFSET (FT) S = RECONSTRUCTION POSTED SPEED LIMIT (MPH)	
40 MPH OR LESS	$L = WS^2 / 600$		
45 MPH OR MORE	$L = WS$		

STANDARD TAPER LENGTHS			
LATERAL SHIFT OF TRAFFIC FLOW PATH	TEMPORARY TRAFFIC CONTROL POSTED SPEED LIMIT	POSTED SPEED LIMIT	POSTED SPEED LIMIT
4	25 MPH	30 MPH	35 MPH
4	45	60	75
5	55	75	105
6	65	90	125
7	75	105	145
8	85	120	165
9	95	135	185
10	105	150	205
11	115	165	225
12	125	180	245

TABLE 6C-2 LONGITUDINAL BUFFER SPACE		
PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	DISTANCE	POSTED SPEED LIMIT
45	135 FT.	45
55	165 FT.	55
65	195 FT.	65
75	225 FT.	75
85	255 FT.	85
95	285 FT.	95
105	315 FT.	105
115	345 FT.	115
125	375 FT.	125

TABLE NY2-A PLACEMENT DISTANCE FOR BARRIER VEHICLES			
PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	PLACEMENT DISTANCE (FT.)		BARRIER VEHICLES ⁴
	(18000 LBS.)	(24000 LBS.)	
> 55	100 FT.	200 FT.	100 FT.
45 - 55	100 FT.	200 FT.	100 FT.
< 45	85 FT.	165 FT.	100 FT.

- AS DEFINED IN NYSDOT STANDARD SPECIFICATION 619:
BARRIER VEHICLE - VEHICLE USED FOR STATIONARY SHOULDER CLOSURES, LANE CLOSURES AND OTHER STATIONARY WORK ZONES.
MINIMUM DISTANCE SHOWN REFLECTS THE ACTUAL ROLL AHEAD DISTANCE FROM MANUFACTURER.

TABLE NY2-B PLACEMENT DISTANCE FOR SHADOW VEHICLES			
PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	PLACEMENT DISTANCE (FT.)		SHADOW VEHICLES ⁴
	(18000 LBS.)	(24000 LBS.)	
> 55	230 FT.	330 FT.	180 FT.
45 - 55	180 FT.	280 FT.	150 FT.
< 45	180 FT.	200 FT.	100 FT.

- AS DEFINED IN NYSDOT STANDARD SPECIFICATION 619:
SHADOW VEHICLE - VEHICLE USED FOR MOBILE OR SHORT DURATION WORK OPERATIONS.
MINIMUM DISTANCE SHOWN REFLECTS THE ACTUAL ROLL AHEAD DISTANCE FROM MANUFACTURER.

TABLE 619-3 FLARE RATES FOR POSITIVE BARRIER		
TYPE OF POSITIVE BARRIER	POSTED SPEED LIMIT	
	30 - 40 MPH	45 - 65 MPH
TEMPORARY CONCRETE BARRIER	60' [111] [144] [161] [203]	
BEST BEAM OR HEAVY POST CORRUGATED BEAM	74' [131] [174] [191] [233]	

TABLE NY19-3 ADVANCE WARNING SIGN SPACING						
ROAD TYPE	DISTANCE BETWEEN SIGNS			SIGN LEGEND		
	A (FT.)	B (FT.)	C (FT.)	XX	YY	
URBAN (≤ 30 MPH)	100	100	100	AW-1	AW-2	
URBAN (35-40 MPH)	200	200	200	AW-1	AW-2	
URBAN (45-65 MPH)	350	350	350	1000 FT.	AW-1	
RURAL	500	500	500	1500 FT.	1000 FT.	
EXPRESSWAY / FREEWAY	1000	1500	2640	1 MILE	1/2 MILE	

- PRECONSTRUCTION POSTED SPEED LIMIT
URBAN: MEETS MPH. THAN 1 OF THE FOLLOWING CRITERIA: SIDEWALKS, BICYCLE LANES, CURBING, CLOSED DRAINAGE SYSTEMS, OR OTHER FEATURES OPERATE DURING THE DAYTIME PERIOD. MINOR COMMERCIAL DRIVEWAY CLOSURES OF 10 TO 15 FEET PER MILE OR GREATER MAJOR CLOSURES OPERATE DURING THE DAYTIME PERIOD. CONSTRAINTS: HIGH DENSITY OF CROSS STREETS, 85TH PERCENTILE SPEEDS OF 40 MPH OR LESS.

- RURAL: ANY AREA NOT EXHIBITING MORE THAN ONE OF THE ABOVE CHARACTERISTICS.
EXPRESSWAY: DIVIDED HIGHWAYS FOR TRAFFIC WITH FULL OR PARTIAL CONTROL OF ACCESS AND GENERALLY WITH GRADE SEPARATIONS AT MAJOR CROSSROADS.
FREEWAYS/INTERSTATE: LOCAL OR INTER REGIONAL, HIGH-SPEED, DIVIDED, HIGH-VOLUME FACILITIES WITH FULL OR PARTIAL CONTROL OF ACCESS.

- LONG-TERM STATIONARY IS WORK THAT OCCUPIES A LOCATION MORE THAN 3 CONSECUTIVE DAYS.
INTERMEDIATE-TERM STATIONARY IS WORK THAT OCCUPIES A LOCATION MORE THAN ONE DAYLIGHT PERIOD UP TO 3 CONSECUTIVE DAYS, OR NIGHTTIME WORK LASTING MORE THAN 1 HOUR.
SHORT-TERM STATIONARY IS DAYTIME WORK THAT OCCUPIES A LOCATION FOR MORE THAN 1 HOUR WITHIN A SINGLE DAYLIGHT PERIOD.
SHORT DURATION IS WORK THAT OCCUPIES A LOCATION UP TO 1 HOUR.
MOBILE IS WORK THAT MOVES INTERMITTENTLY OR CONTINUOUSLY.

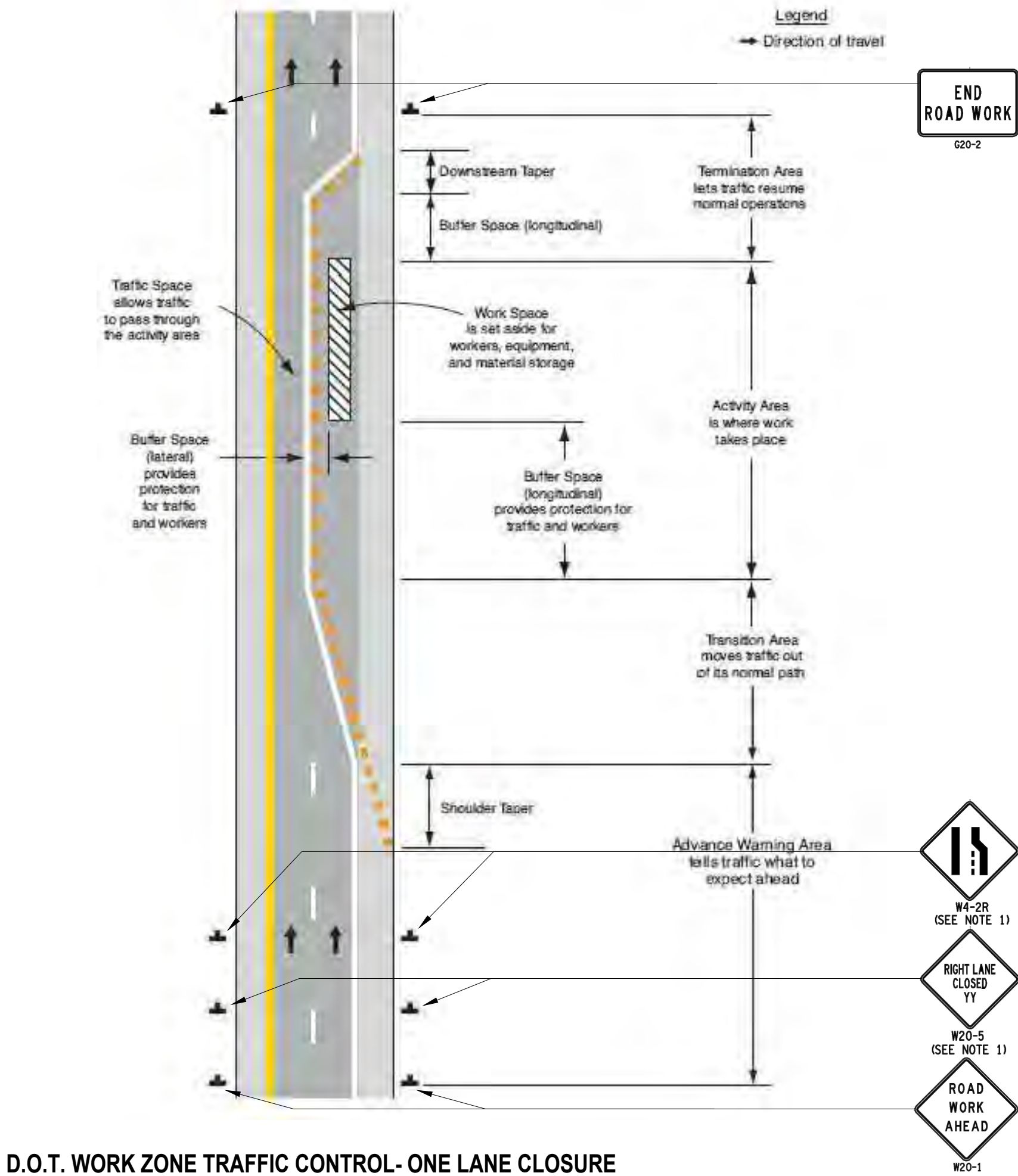
- WORK DURATION DEFINITIONS
LONG-TERM STATIONARY IS WORK THAT OCCUPIES A LOCATION MORE THAN 3 CONSECUTIVE DAYS.
INTERMEDIATE-TERM STATIONARY IS WORK THAT OCCUPIES A LOCATION MORE THAN ONE DAYLIGHT PERIOD UP TO 3 CONSECUTIVE DAYS, OR NIGHTTIME WORK LASTING MORE THAN 1 HOUR.
SHORT-TERM STATIONARY IS DAYTIME WORK THAT OCCUPIES A LOCATION FOR MORE THAN 1 HOUR WITHIN A SINGLE DAYLIGHT PERIOD.
SHORT DURATION IS WORK THAT OCCUPIES A LOCATION UP TO 1 HOUR.
MOBILE IS WORK THAT MOVES INTERMITTENTLY OR CONTINUOUSLY.

STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION	
U.S. CUSTOMARY STANDARD SHEET	
WORK ZONE TRAFFIC CONTROL LEGENDS AND NOTES	
APPROVED SEPTEMBER 18, 2008 /S/ DAVID J. CLEMENTS, P.E. DIRECTOR, OFFICE OF TRAFFIC SAFETY AND MOBILITY	ISSUED UNDER EB 08-036 619-11

EFFECTIVE DATE: 01/08/09

D.O.T. WORK ZONE TRAFFIC CONTROL - SIDEWALK DETOUR

SCALE: N.T.S.



1. WHEN CROSSWALKS OR OTHER PEDESTRIAN FACILITIES ARE CLOSED OR RELOCATED, TEMPORARY FACILITIES SHALL BE DETECTABLE AND SHALL INCLUDE ACCESSIBILITY FEATURES CONSISTENT WITH THE FEATURES PRESENT IN THE EXISTING FACILITY.
2. WHERE HIGH SPEEDS ARE ANTICIPATED, A TEMPORARY TRAFFIC BARRIER AND TEMPORARY IMPACT ATTENUATOR SHOULD BE USED TO SEPARATE THE TEMPORARY SIDEWALKS FROM VEHICULAR TRAFFIC.
3. ONLY THE WORK ZONE TRAFFIC CONTROL DEVICES RELATED TO PEDESTRIANS ARE SHOWN. OTHER DEVICES, SUCH AS LANE CLOSURE, STOPPING OR ROAD NARROWS SIGNS (W-4), MAY BE USED TO CONTROL VEHICULAR TRAFFIC.
4. FOR NIGHTTIME CLOSURES, FLASHING WARNING LIGHTS SHALL BE USED ON BARRICADES SUPPORTING SIGNS AND CLOSING SIDEWALKS.
5. SIGNS SUCH AS KEEP RIGHT LEFT SHALL BE PLACED ALONG A TEMPORARY SIDEWALK, WHERE APPLICABLE AND ACCORDING TO AMERICAN WITH DISABILITIES STANDARDS, TO GUIDE OR DIRECT PEDESTRIANS.
6. TYPE III BARRICADES MAY BE SUBSTITUTED FOR TYPE III BARRICADES AS PER 619 STANDARD SPECIFICATIONS.

SEE LEGEND A TABLES STANDARD SHEET 0619-11 FOR LEGEND OF SYMBOLS AND/OR LETTER CODES USED IN THIS DRAWING.

STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION	
METRIC STANDARD SHEET	
WORK ZONE TRAFFIC CONTROL SIDEWALK DETOUR OR DIVERSION	
APPROVED MAY 16, 2008 /S/ DANIEL D'ANGELO, PE DEPUTY CHIEF ENGINEER DESIGN	ISSUED UNDER EB 08-006 M619-50

ALL DIMENSIONS IN METERS UNLESS OTHERWISE NOTED

- NOTES:
1. DIAGRAMS SHOWN FOR REFERENCE. ACTUAL SITE CONDITIONS MAY VARY.
 2. MUST SUBMIT MAINTENANCE AND PROTECTION OF TRAFFIC PLAN THAT HAS BEEN APPROVED BY THE DIVISION OF TRAFFIC ENGINEERING FOR PEDESTRIAN AND VEHICLE TRAFFIC DURING CONSTRUCTION, AND FOR THE SEWER TIE IN AT S. SWAN ST.
 3. TEMPORARY CROSSWALKS AND SIDEWALK CLOSURES MUST BE IN PLACE AND MEET ADA STANDARDS WHEN THE S. SWAN ST. SIDEWALKS ARE CLOSED TO PEDESTRIANS.

NOLAN ENGINEERING PLLC
DESIGNING YOUR DREAMS
RICHARD E. NOLAN, P.E. LICENSE # 083929
NEW YORK STATE LICENSED PROFESSIONAL ENGINEER
333 KINGSLEY ROAD • BURNT HILLS, NY 12027 • (516) 280-3190
WEBSITE: WWW.NOLAN-ENGINEERING.COM
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RECORD OF WORK:		BY:	DATE:
DESCRIPTION:	COMMENTS:		
7.7.20	PLANNING	JRS	
1.12.22	RE-SUBMIT PLANNING SET	JRS	
2.18.22	PLANNING COMMENTS	JRS	

MULTI-FAMILY CONVERSION

START DATE:

STAMP:

DATE: 5/19/20

FILE:

PAGE CONTENT:

WORK ZONE TRAFFIC CONTROL

DRAFTER:

SINGER

ENGINEER:

NOLAN

PAPER SIZE:

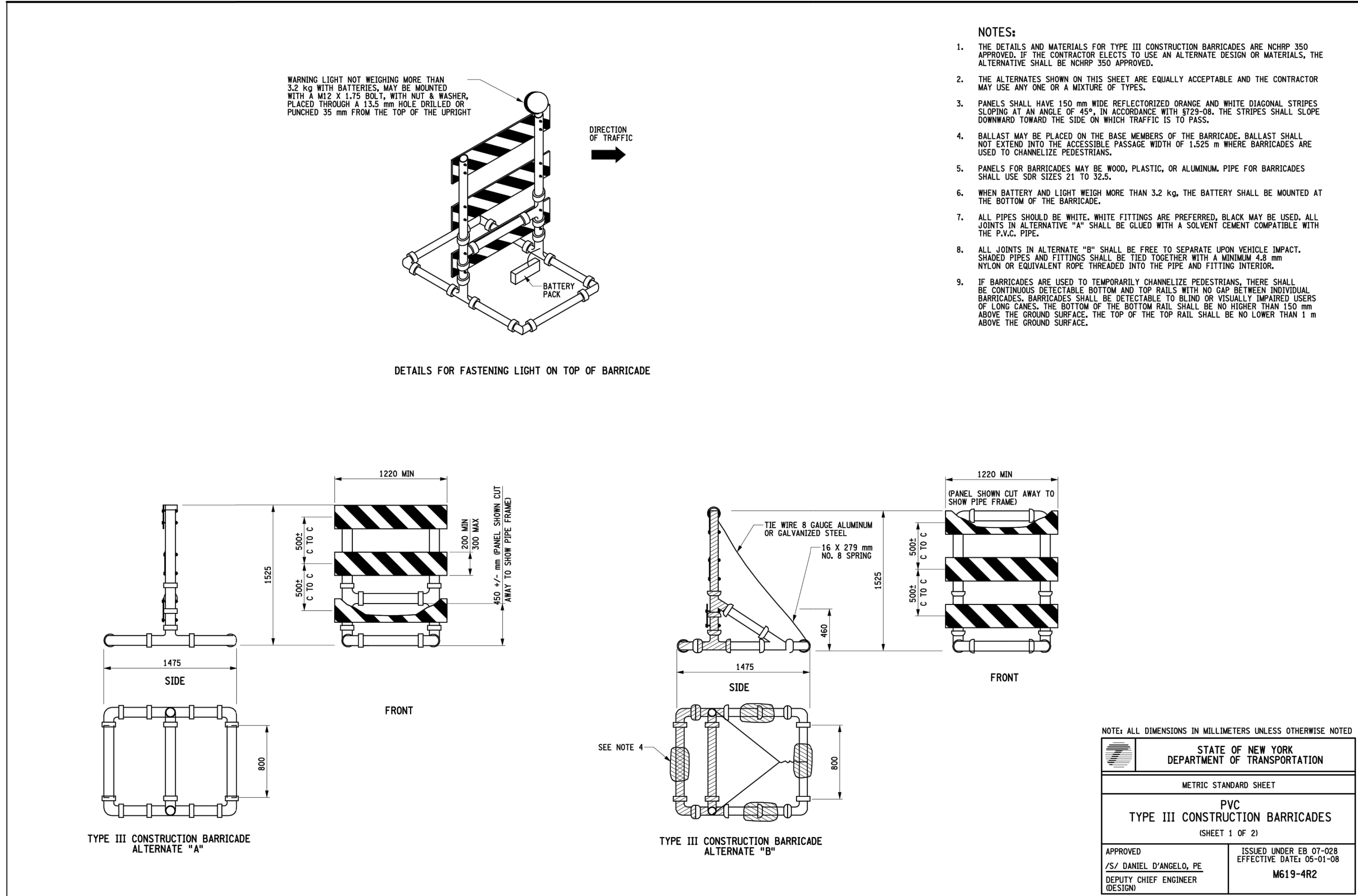
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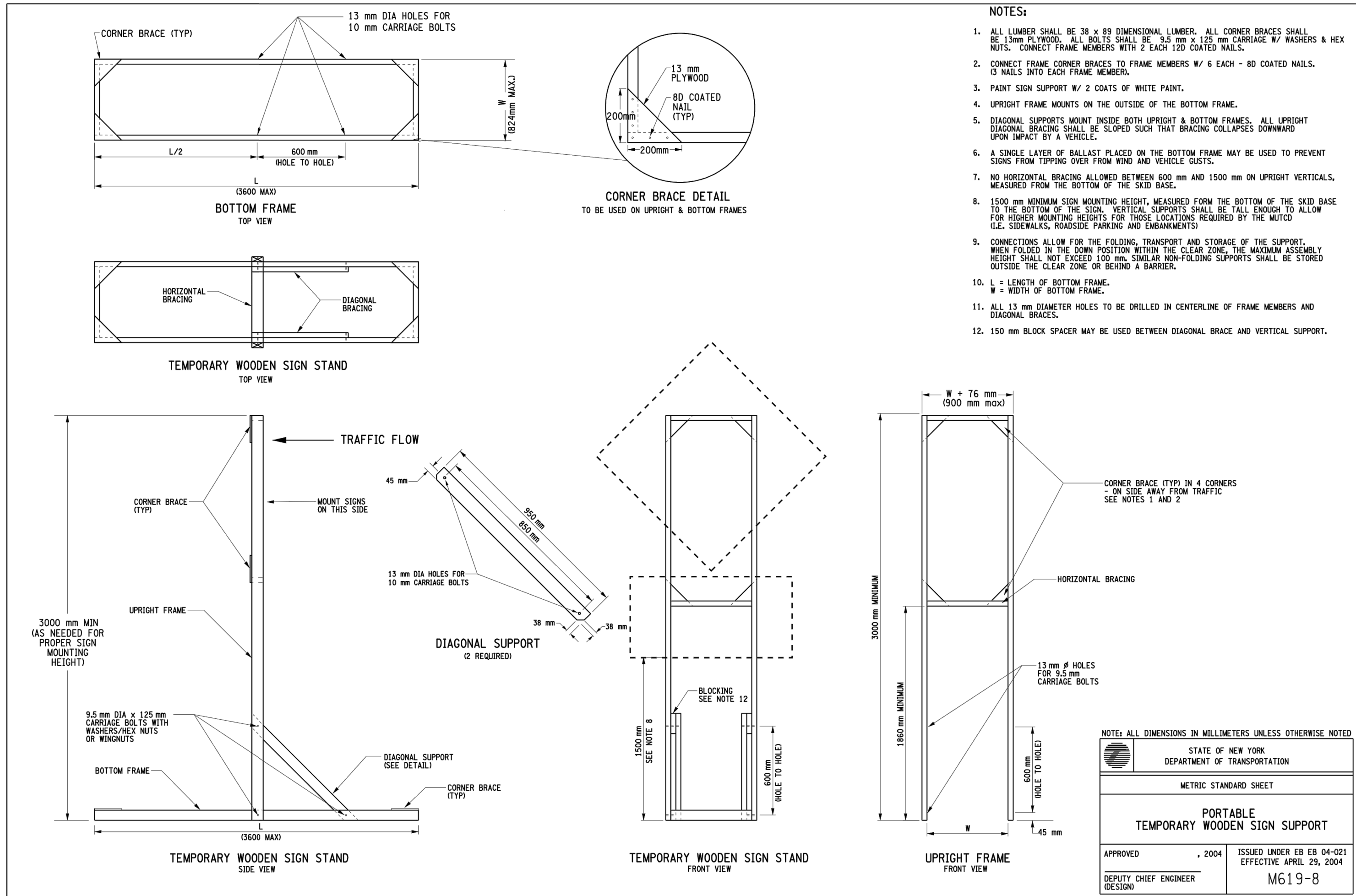
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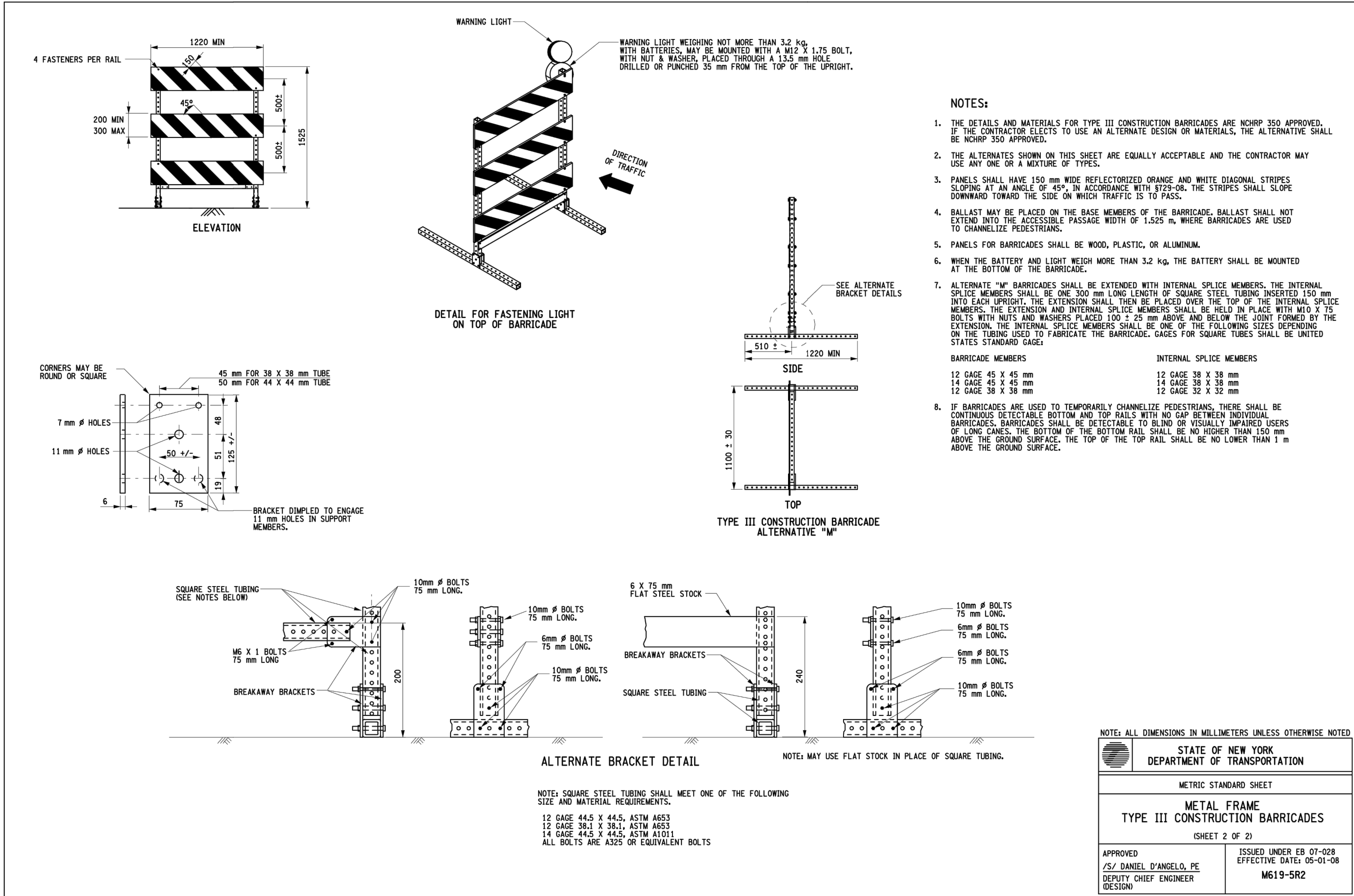
S105



D.O.T. TYPE III CONSTRUCTION BARRICADES
SCALE: N.T.S.



D.O.T. PORTABLE TEMPORARY WOODEN SIGN SUPPORT
SCALE: $\frac{1}{8}" = 1'-0"$

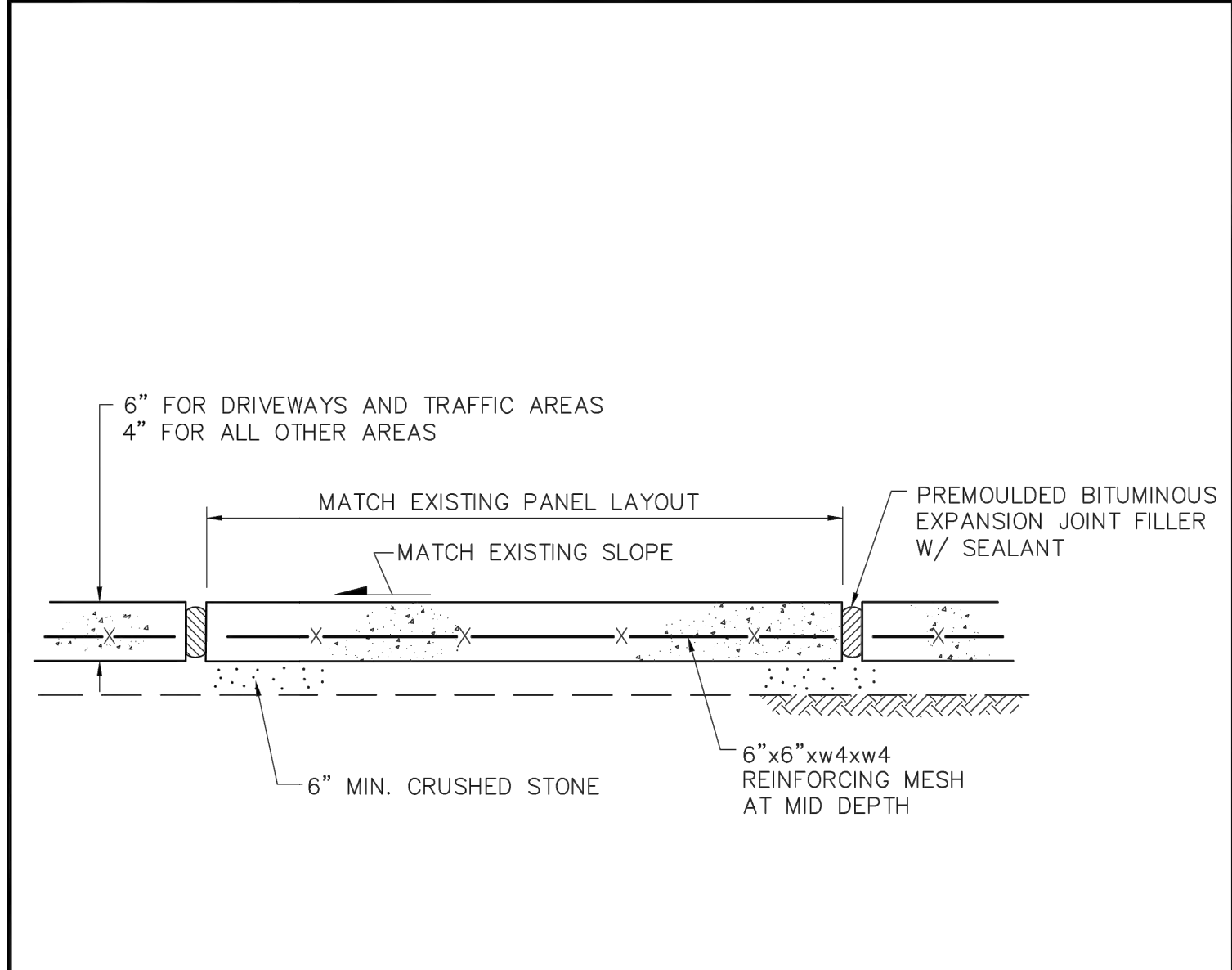


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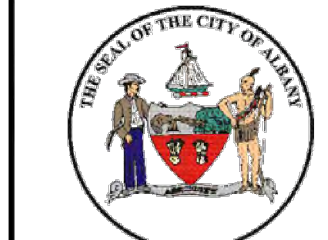
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1.12.22	DESCRIPTION:	JRS
	RE-SUBMIT PLANNING SET	

MULTI-FAMILY CONVERSION
90 S. SWAN ST.
ALBANY, NY 12210
CLIENT: MAN REALTY

START DATE:	
STAMP:	
DATE: 5/19/20	
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DETAILS	
DRAFTER:	ENGINEER:
SINGER	NOLAN
PAPER SIZE:	SCALE:
D (24"x36")	AS SHOWN
SHEET:	
S106	



- NOTES:
1. THE CONCRETE USED SHALL BE PORTLAND CEMENT, AIR-ENTRAINED, CLASS "A" CONCRETE WITH AN AIR CONTENT OF 5% MIN., TO 7% MAX., AND A SLUMP OF THREE INCHES, MIN., TO FIVE INCHES, MAX.
 2. ALL CONCRETE SIDEWALK REPLACEMENT SHALL BE TO FULL PANEL LIMITS, PARTIAL PANEL REPLACEMENT SHALL NOT BE ALLOWED.
 3. ALL SIDEWALKS SHALL BE FINISHED WITH A MAGNESIUM FLOAT FINISH UNLESS DIRECTED OTHERWISE BY THE CITY.
 4. ALL CURBING SHALL BE RESET OR REPLACED AS REQUIRED, IN ACCORDANCE WITH THE CITY DETAILS.
 5. EXPANSION JOINTS TO BE PLACED BETWEEN ADJACENT SLABS, AT BUILDING LINE, AT CURBS, OR AT PENETRATING STRUCTURES.



Gerold D. Jennings, Mayor

Randall J. Milano, P.E., City Engineer

CITY OF ALBANY DIVISION OF ENGINEERING

STANDARD DETAILS

DETAIL NAME:

SIDEWALK REPLACEMENT

DETAIL

DETAIL No.

SW-2

FILE NAME:

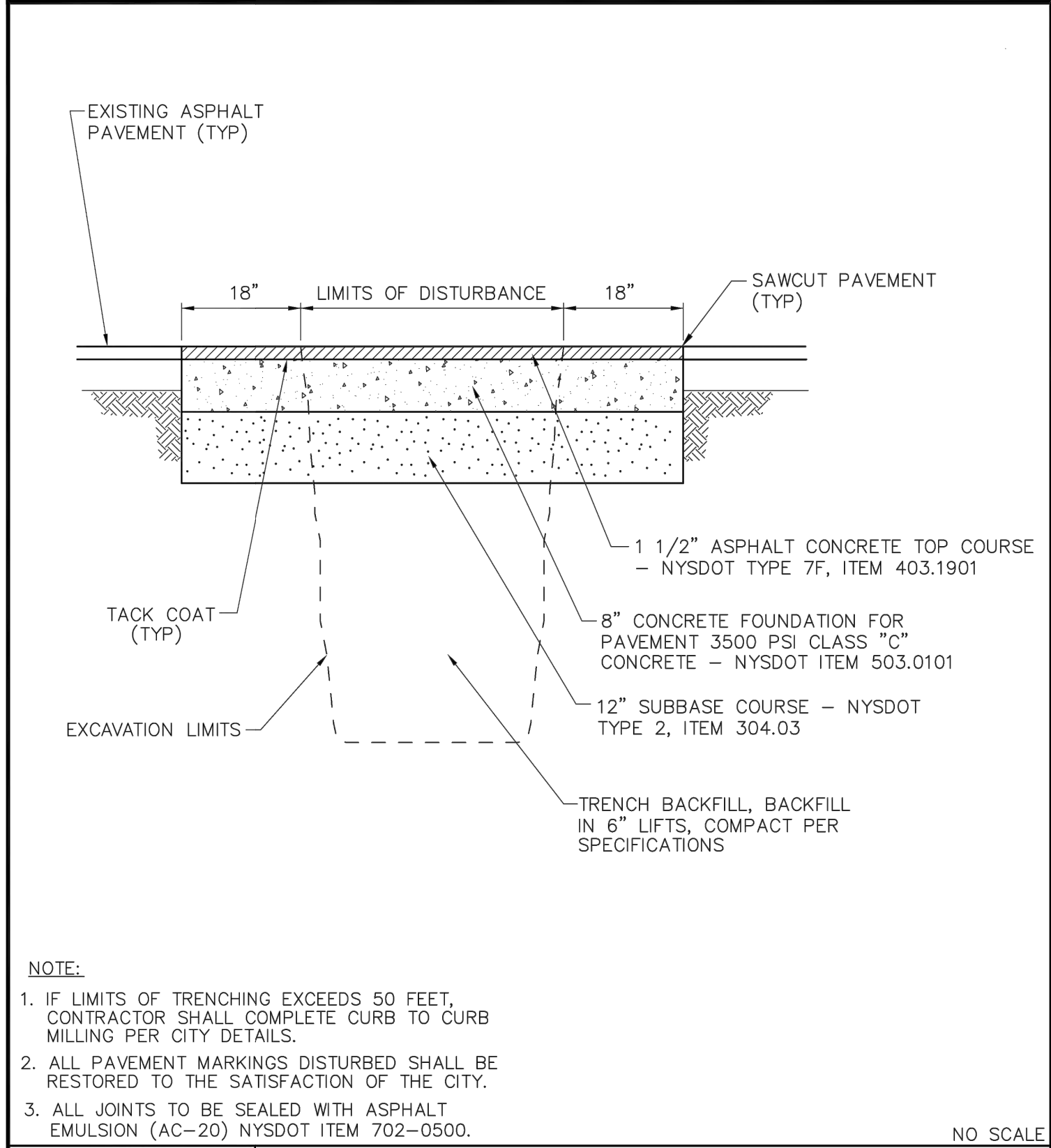
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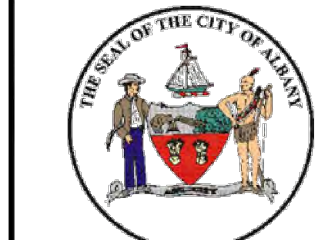
DATE ISSUED:

05/01/02

REVISION DATE:

06/01/10





Gerold D. Jennings, Mayor

Randall J. Milano, P.E., City Engineer

CITY OF ALBANY DIVISION OF ENGINEERING

STANDARD DETAILS

DETAIL NAME:

STREET RESTORATION

ASPHALT PAVEMENT DETAIL

DETAIL No.

SR-1

FILE NAME:

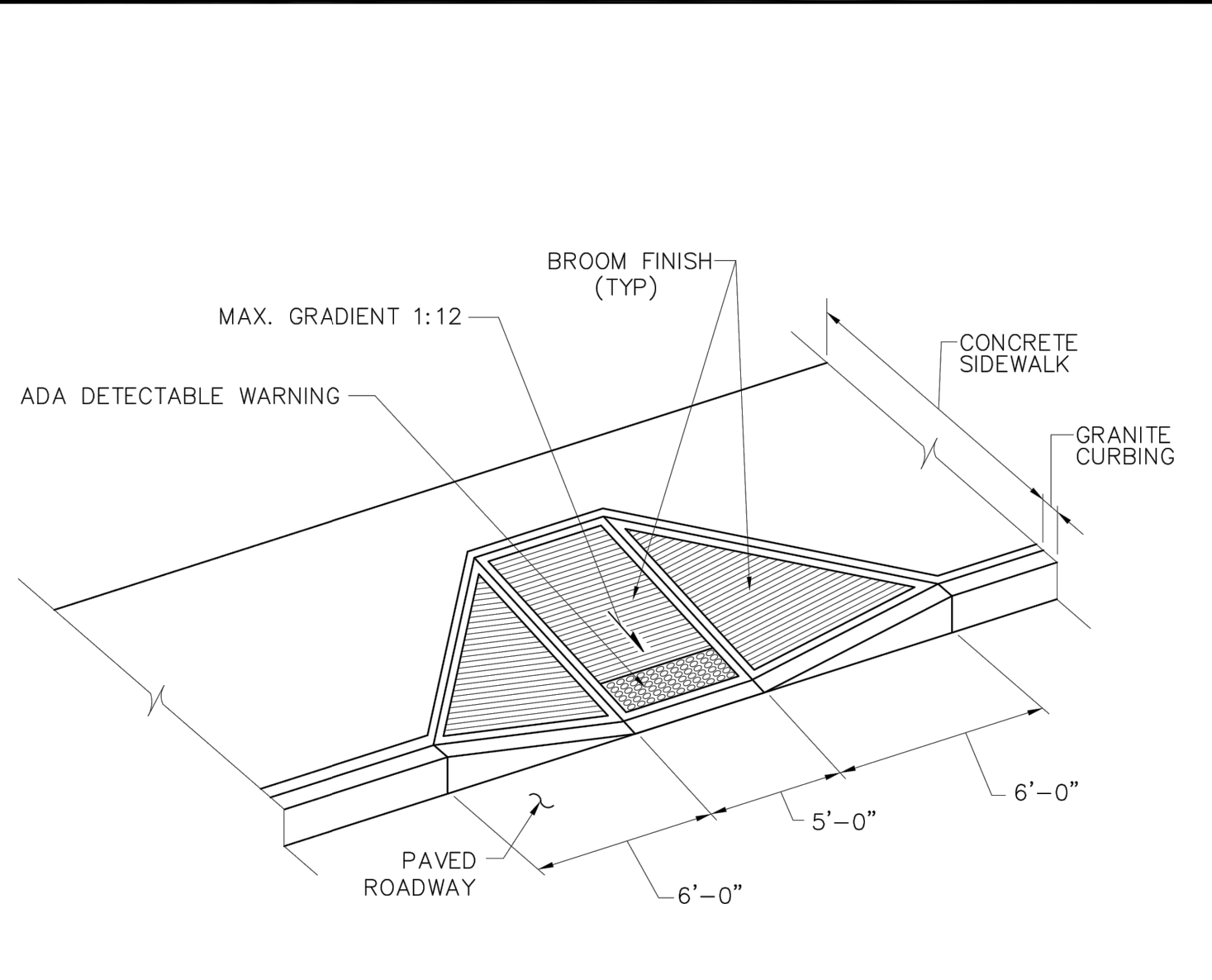
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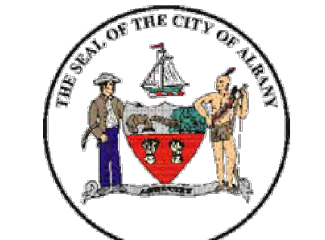
05/01/02

REVISION DATE:

10/10/12



- NOTES:
1. CURB SHALL BE FLUSH WITH PAVEMENT AT ROADWAY.
 2. SEE STANDARD DETAILS FOR CURB AND SIDEWALK INSTALLATION.
 3. SEE STANDARD DETAILS FOR ADA DETECTABLE WARNING STRIP INSTALLATION.
 4. INSTALLATION SHALL MEET ALL APPLICABLE ADA CODES AND STANDARDS.



Gerold D. Jennings, Mayor

Randall J. Milano, P.E., City Engineer

CITY OF ALBANY DIVISION OF ENGINEERING

STANDARD DETAILS

DETAIL NAME:

SIDEWALK RAMP AT STREET

DETAIL

DETAIL No.

SW-3

FILE NAME:

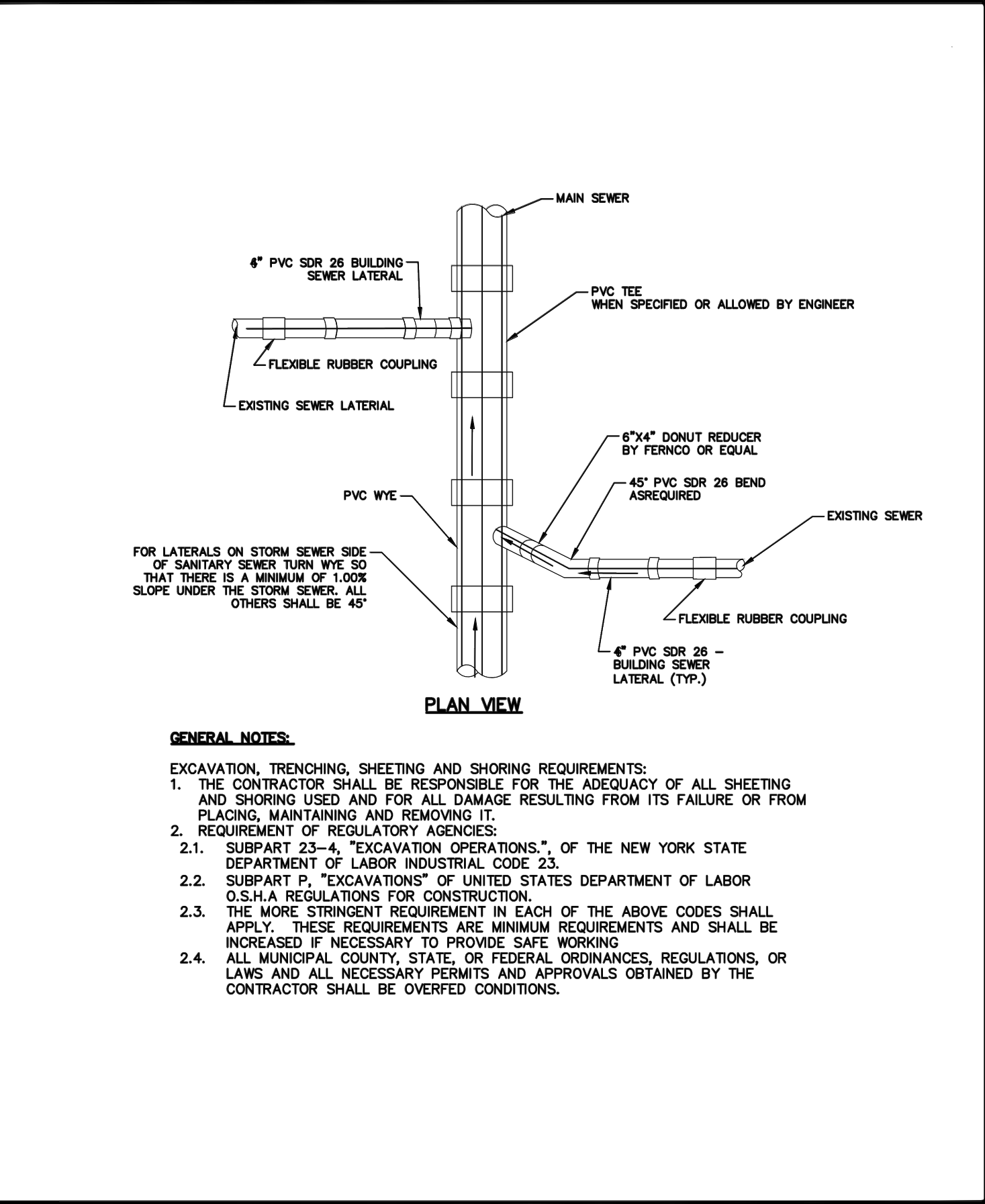
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DATE ISSUED:

05/01/02

REVISION DATE:

06/01/10





Gerold D. Jennings, Mayor

Randall J. Milano, P.E., City Engineer

CITY OF ALBANY DIVISION OF ENGINEERING

STANDARD DETAILS

DETAIL NAME:

SANITARY SEWER SERVICE CONNECTIONS

DETAIL No.

SW-4

FILE NAME:

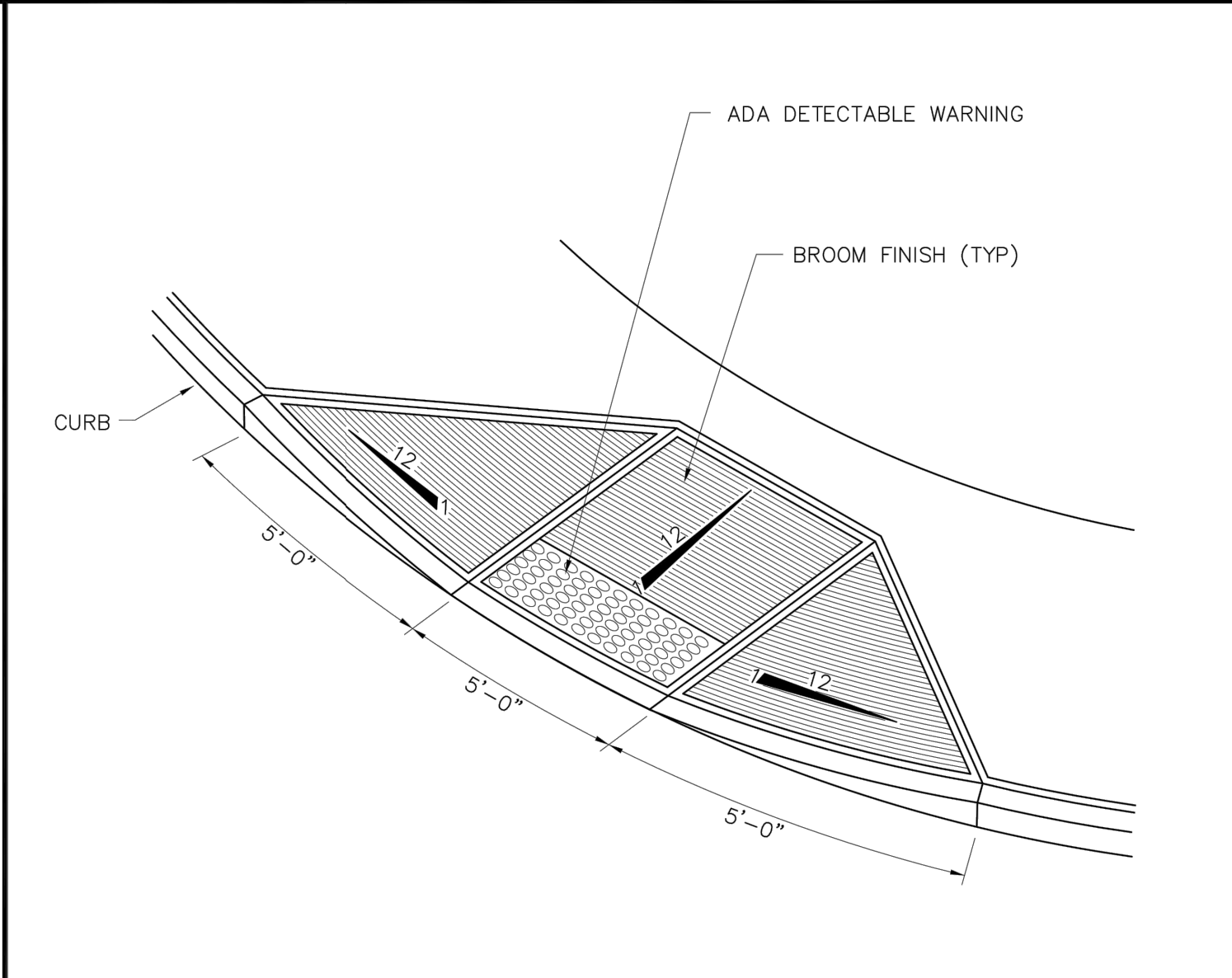
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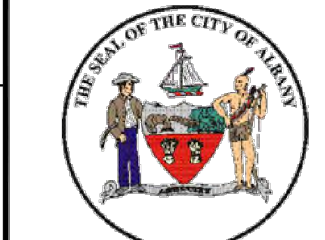
05/01/02

REVISION DATE:

06/01/10



- NOTE:
1. CURB SHALL BE FLUSH WITH PAVEMENT AT ROADWAY.
 2. SEE STANDARD DETAILS FOR CURB AND SIDEWALK INSTALLATION.
 3. SEE STANDARD DETAIL FOR ADA DETECTABLE WARNING STRIP INSTALLATION.
 4. INSTALLATION SHALL MEET ALL APPLICABLE ADA CODES AND STANDARDS.



Gerold D. Jennings, Mayor

Randall J. Milano, P.E., City Engineer

CITY OF ALBANY DIVISION OF ENGINEERING

STANDARD DETAILS

DETAIL NAME:

SIDEWALK RAMP AT STREET CORNER DETAIL

DETAIL No.

SW-4

FILE NAME:

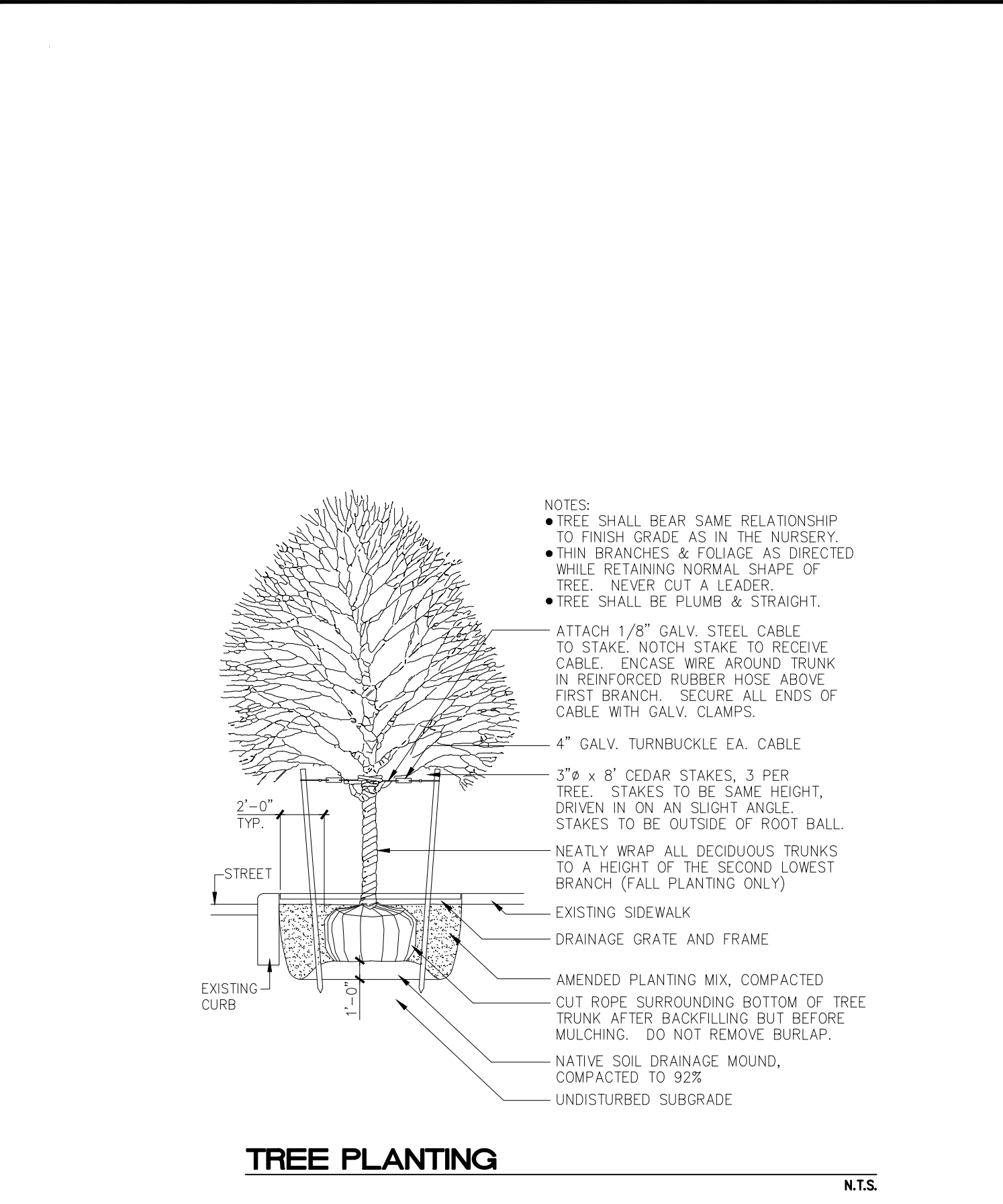
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DATE ISSUED:

05/01/02

REVISION DATE:

06/01/10





Gerold D. Jennings, Mayor

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CITY OF ALBANY DIVISION OF ENGINEERING

STANDARD DETAILS

DETAIL NAME:

TREE PLANTING

DETAIL No.

SW-4

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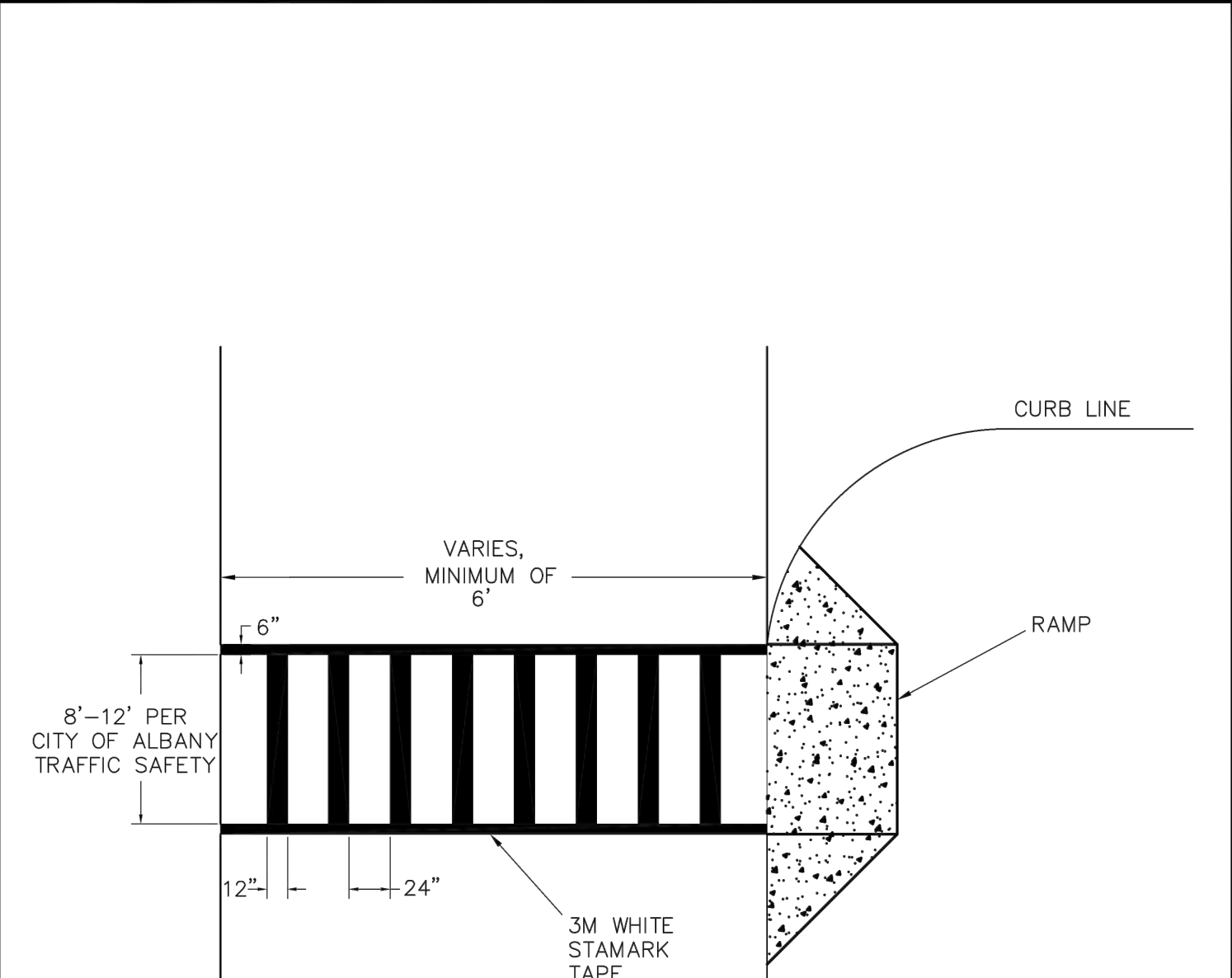
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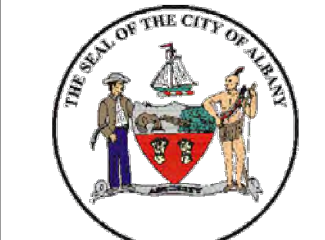
05/01/02

REVISION DATE:

06/01/10



- NOTE:
1. ALL TAPE TO BE WHITE 3M STAMARK TAPE.
 2. EXAMPLE A OR EXAMPLE D OF THE NYSDOTCD MANUAL, SECTION 263.23 SHALL BE USED PER CITY OF ALBANY TRAFFIC SAFETY RECOMMENDATIONS.



Gerold D. Jennings, Mayor

Randall J. Milano, P.E., City Engineer

CITY OF ALBANY DIVISION OF ENGINEERING

STANDARD DETAILS

DETAIL NAME:

CROSSWALK DETAIL

DETAIL No.

CW-1

FILE NAME:

CW-1.DWG

DATE ISSUED:

12/9/03

REVISION DATE:

06/01/10



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NEW YORK STATE LICENSED PROFESSIONAL ENGINEER

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2/18/22	PLANNING COMMENTS	JRS	

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90 S. SWAN ST.

ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE:

STAMP:

DATE:

5/19/20

FILE:

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DRAFTER:

SINGER

ENGINEER:

NOLAN

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SCALE:

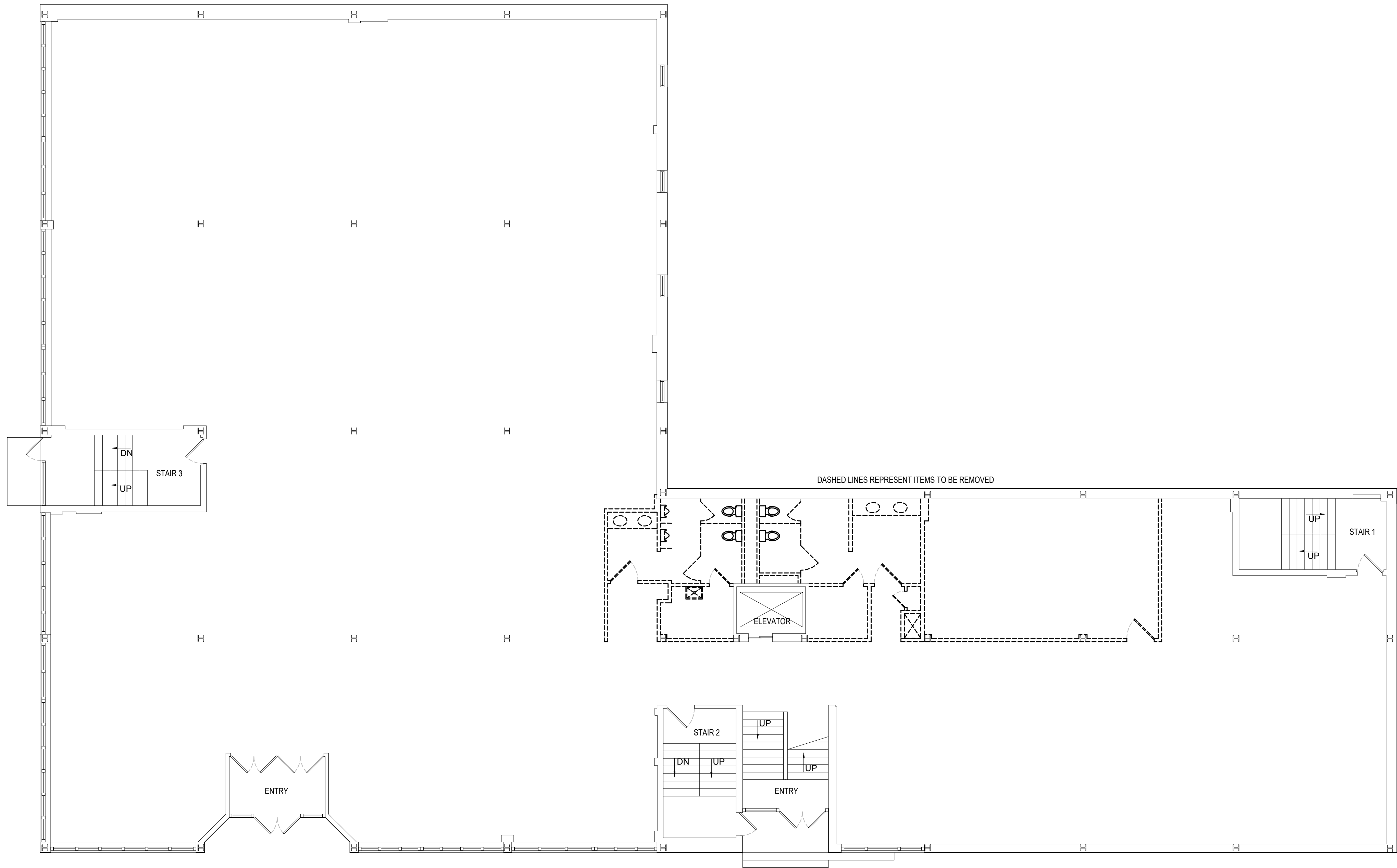
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S107



EXISTING FIRST FLOOR PLAN
SCALE: $\frac{1}{8}" = 1'-0"$



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CLIENT: MAN REALTY

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DATE: 5/19/20

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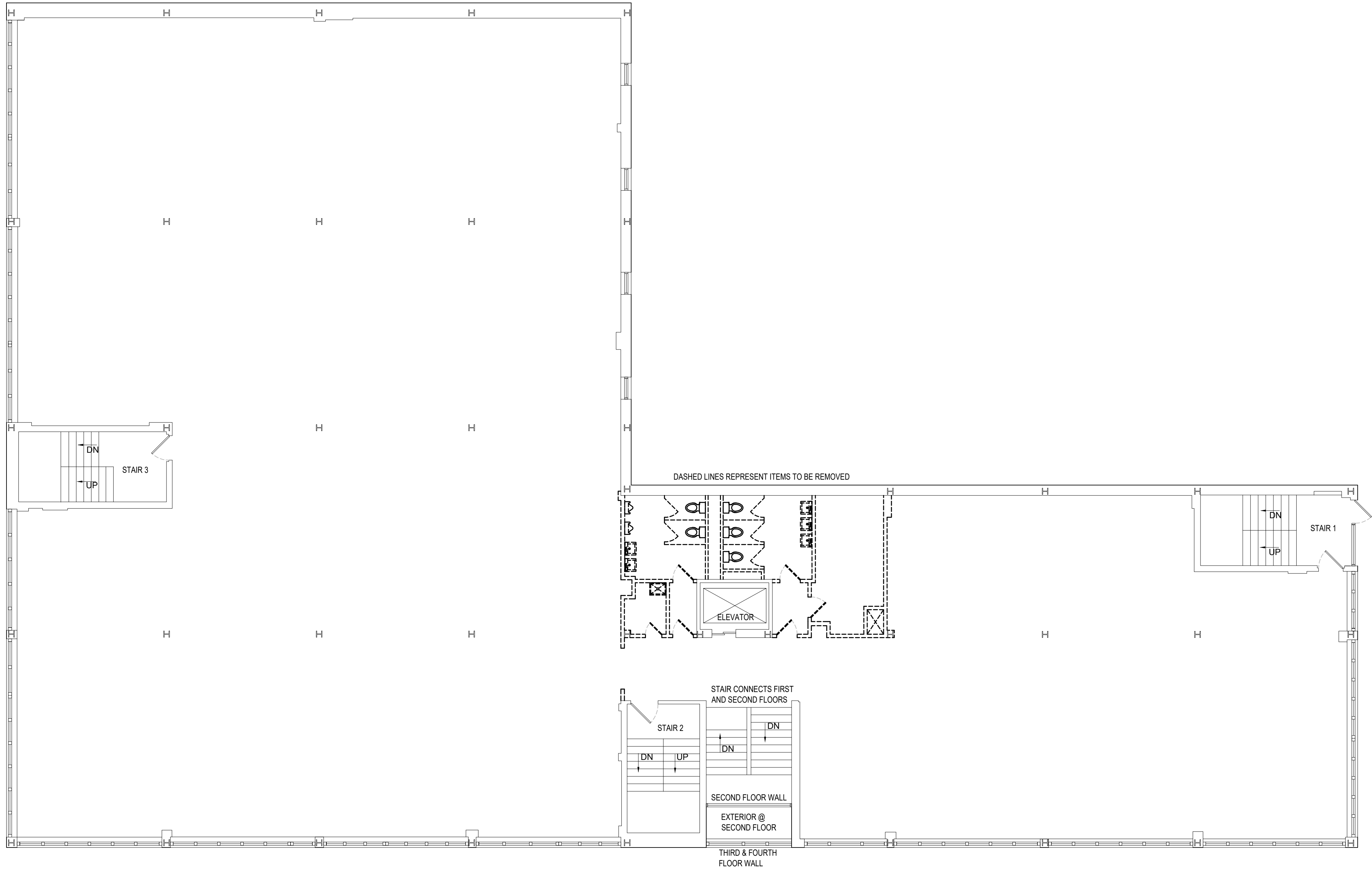
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SINGER	NOLAN
PAPER SIZE:	SCALE:
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SHEET:

A101



EXISTING SECOND - FOURTH FLOOR PLAN
SCALE: $\frac{1}{8}" = 1'-0"$



DESIGNING
SURFACES

NOLANENGINEERINGPLLC

RICHARD E. NOLAN, P.E. - LICENSE # 083929
NEW YORK STATE LICENSED PROFESSIONAL ENGINEER
333 KINGSLEY ROAD • BURNT HILLS, NY 12027 • (516) 280-3190
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EMAIL: ADMIN@NOLAN-ENGINEERING.COM

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DATE:	DESCRIPTION:
1.12.22	RE-SUBMIT PLANNING SET

MULTI-FAMILY CONVERSION
90 S. SWAN ST.
ALBANY, NY 12210
CLIENT: MAN REALTY

START DATE:

STAMP:

DATE: 5/19/20

FILE:

PAGE CONTENT:
EXISTING 2ND-4TH
FLOOR PLAN

DRAFTER: SINGER	ENGINEER: NOLAN
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A102

A-200.00

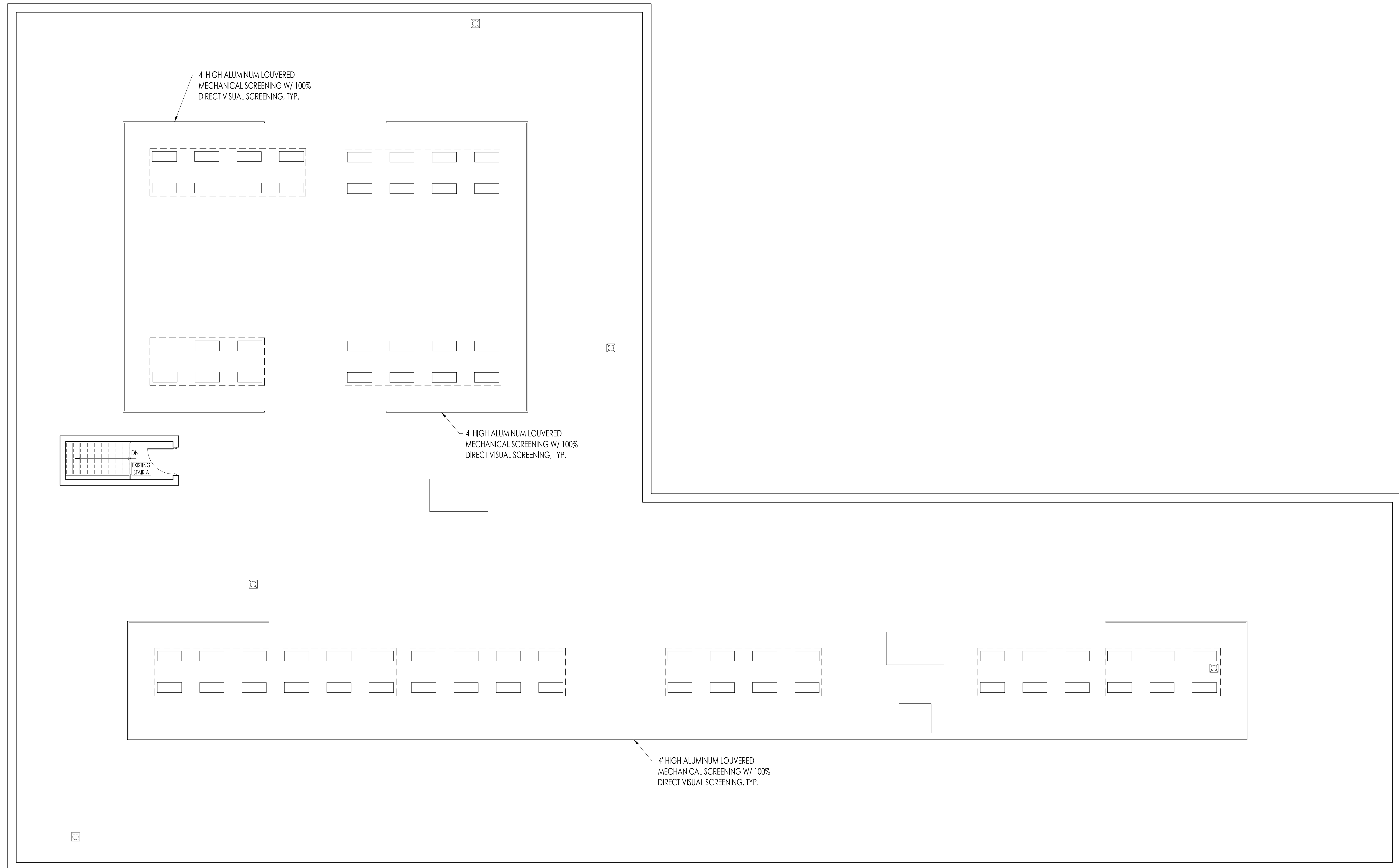
A-201.00

A-202.00

90 S. Swan Street
Albany, N.Y.

Block: 7 Lot: 44

ARCHITECT:
JOHN SARACCO ARCHITECT L.L.C.
PO BOX 245
BOONTON, N.J. 07005
t: 973.299.4428
e: office@sarocco.us



ROOF PLAN
3/16" = 1'-0"

No:	Date:	Revision:

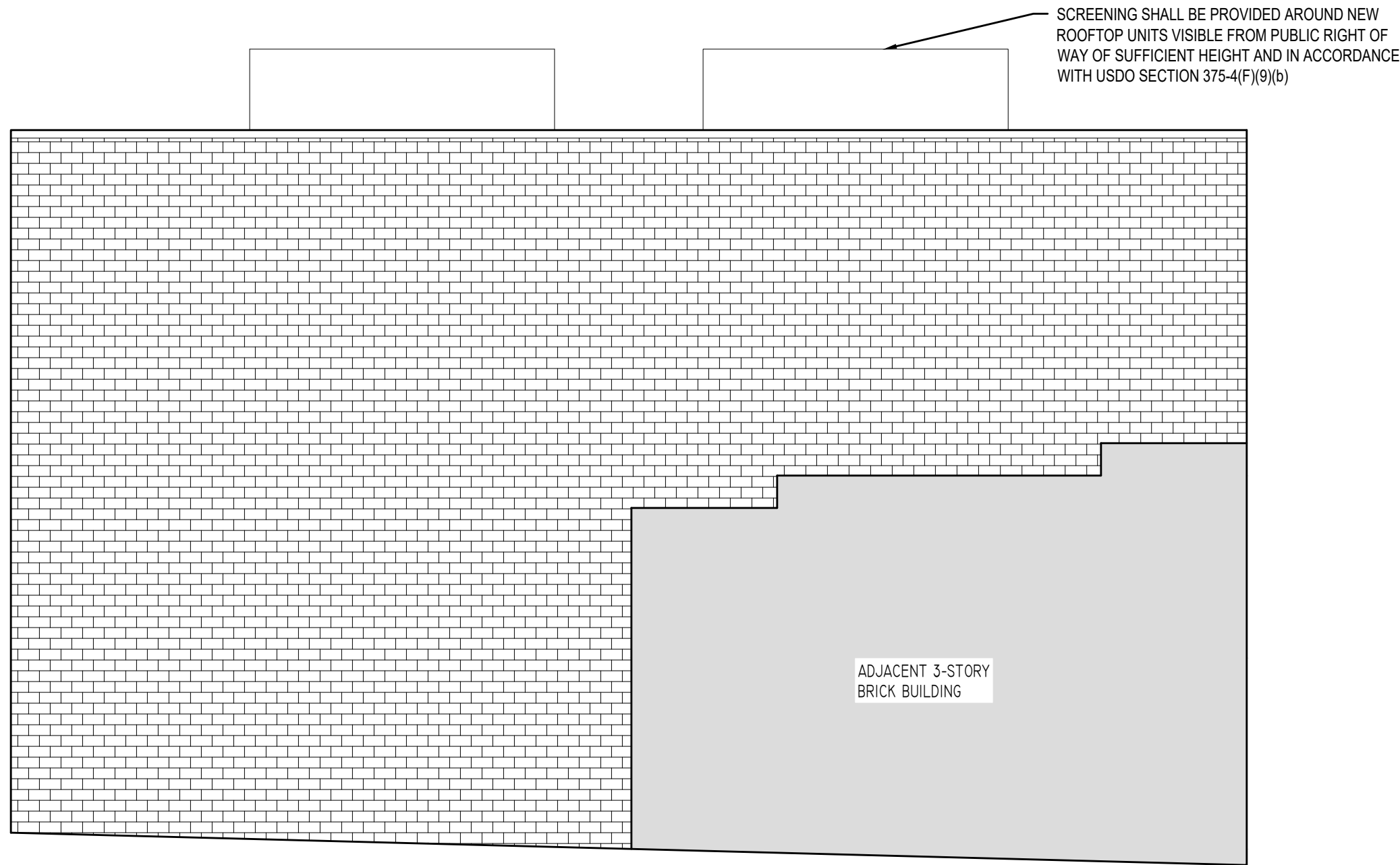
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TITLE:

Roof Plan

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	DATE:	AS NOTED
	PROJECT NO.:	432cd
	DRAWN BY:	DW
	CHECKED BY:	JS
	DRAWING NO.:	11 OF 25
JOHN SARACCO NY Lic # 018356		A-202.00

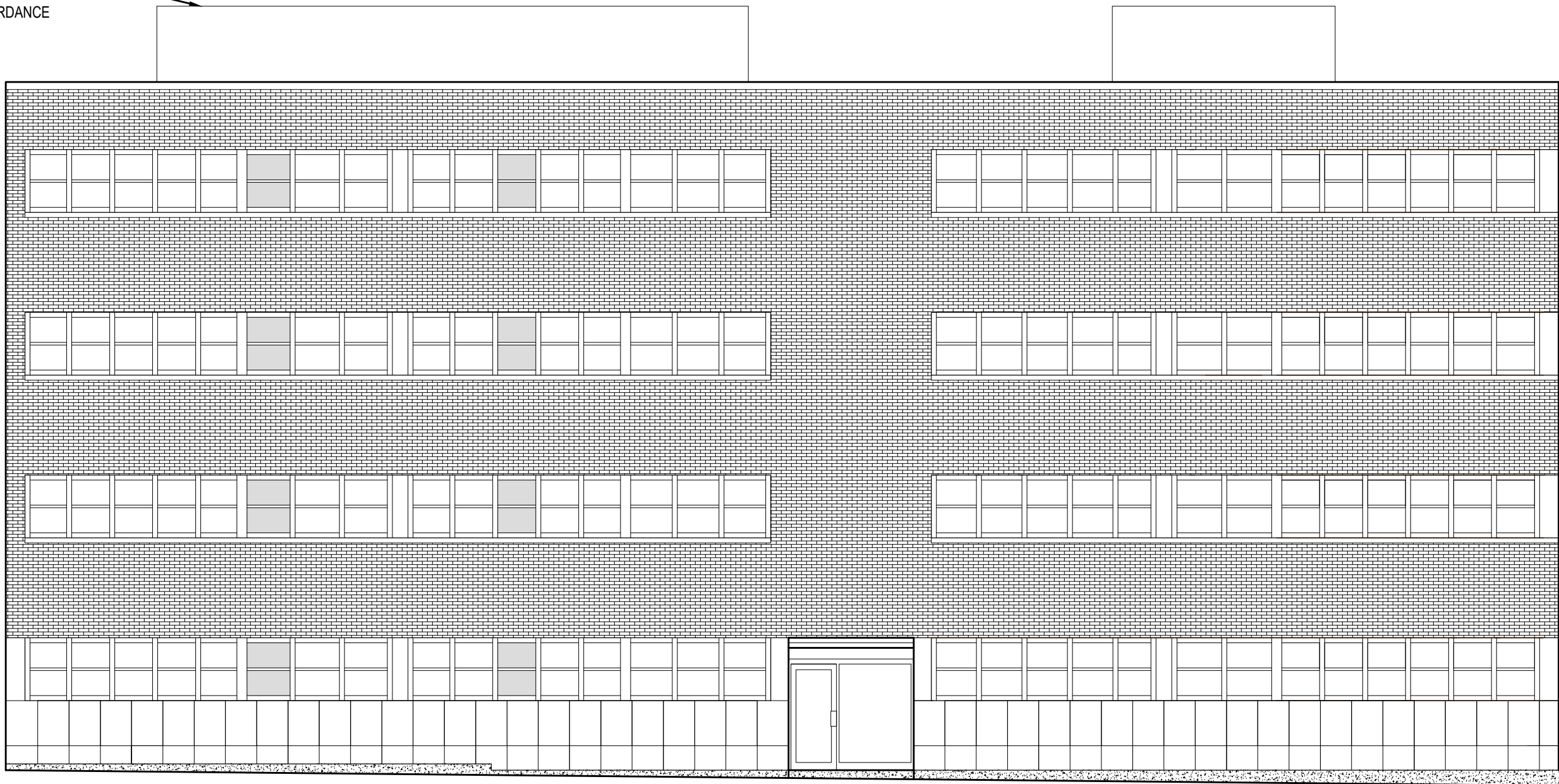
JOHN SARACCO NY Lic # 018356



NORTHWEST ELEVATION (CHESTNUT ST.)
SCALE: $\frac{1}{8}" = 1'-0"$

NOTE: NO CHANGES TO THE EXISTING ELEVATION

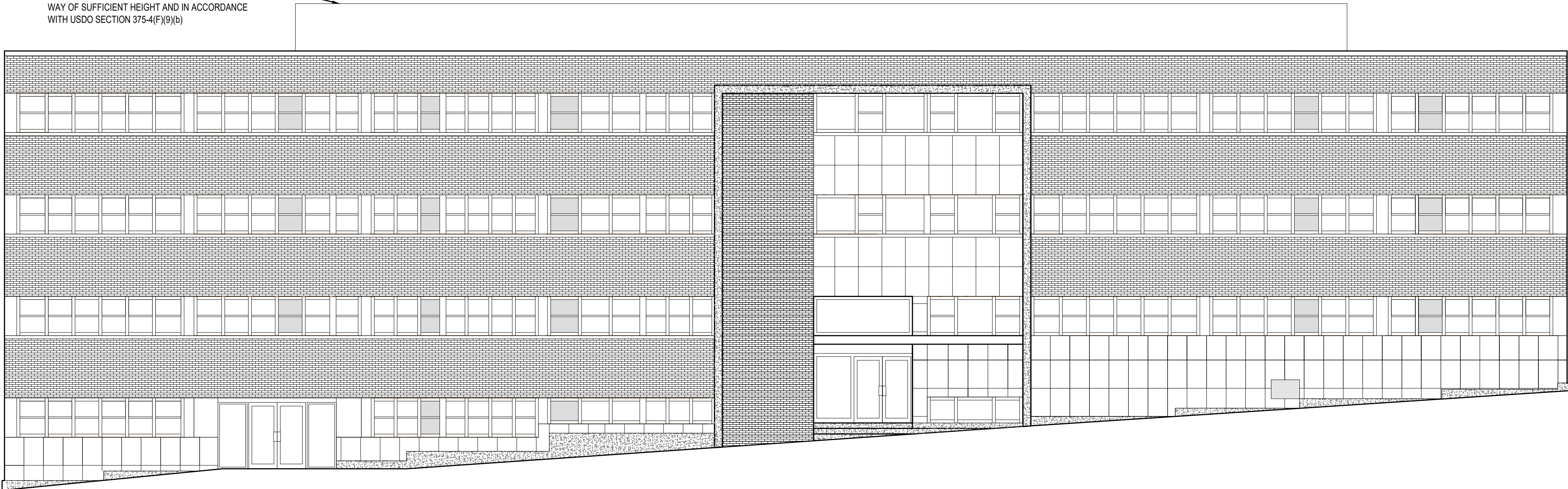
SCREENING SHALL BE PROVIDED AROUND NEW ROOFTOP UNITS VISIBLE FROM PUBLIC RIGHT OF WAY OF SUFFICIENT HEIGHT AND IN ACCORDANCE WITH USDO SECTION 375-4(F)(9)(b)



SOUTHWEST ELEVATION (CHESTNUT ST.)
SCALE: $\frac{1}{8}" = 1'-0"$

NOTE: NO CHANGES TO THE EXISTING ELEVATION

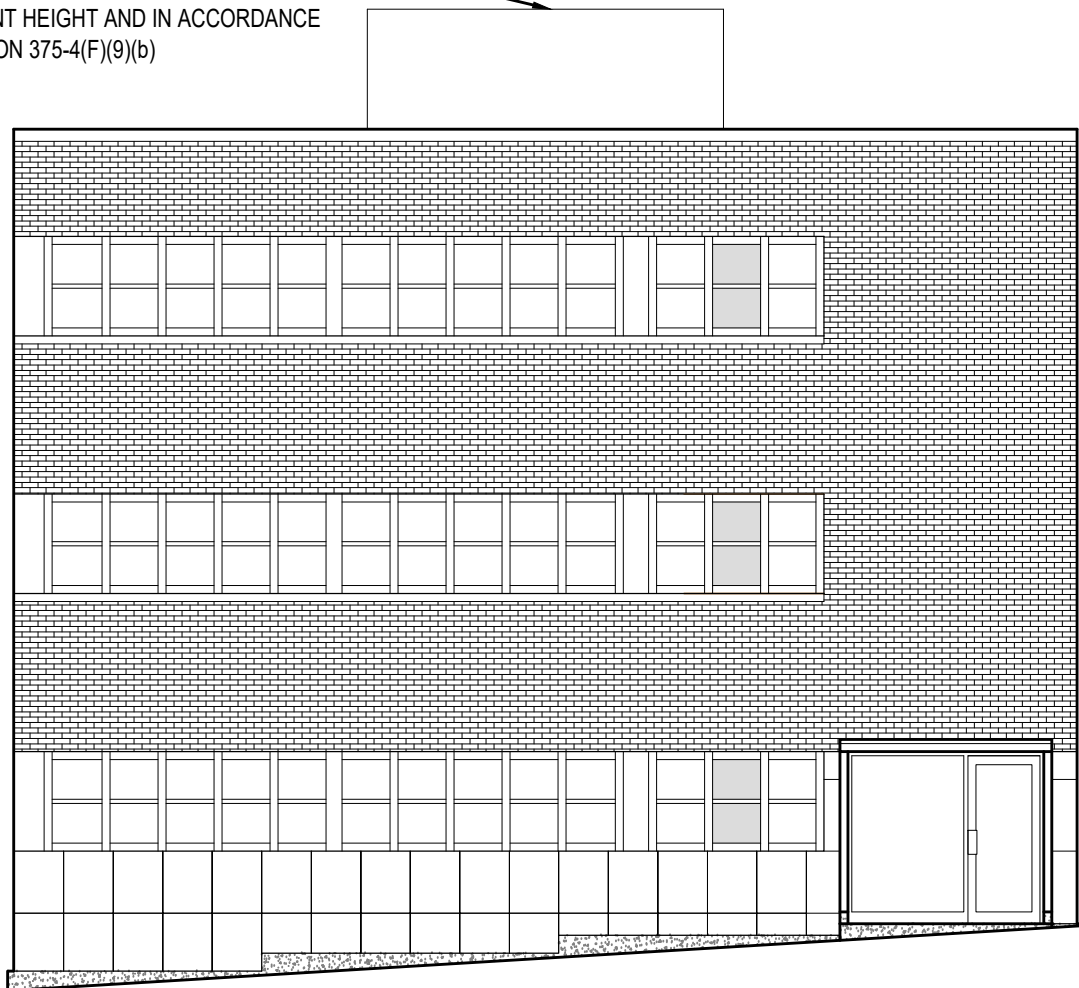
SCREENING SHALL BE PROVIDED AROUND NEW ROOFTOP UNITS VISIBLE FROM PUBLIC RIGHT OF WAY OF SUFFICIENT HEIGHT AND IN ACCORDANCE WITH USDO SECTION 375-4(F)(9)(b)



SOUTHEAST ELEVATION (S. SWAN ST.)
SCALE: $\frac{1}{8}" = 1'-0"$

NOTE: NO CHANGES TO THE EXISTING ELEVATION

SCREENING SHALL BE PROVIDED AROUND NEW ROOFTOP UNITS VISIBLE FROM PUBLIC RIGHT OF WAY OF SUFFICIENT HEIGHT AND IN ACCORDANCE WITH USDO SECTION 375-4(F)(9)(b)



NORTHEAST ELEVATION (STATE ST.)
SCALE: $\frac{1}{8}" = 1'-0"$

NOTE: NO CHANGES TO THE EXISTING ELEVATION

NOTES:

1. HATCH AT WINDOWS REPRESENTS OPAQUE FILM TO BE INSTALLED ON INTERIOR FACE OF GLASS WHERE UNIT DEMISING WALL OCCURS.

NOLANENGINEERINGPLLC

DESIGNING URBAN DREAMS

RICHARD E. NOLAN, P.E. - LICENSE # 083929
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RECORD OF WORK:	
DATE:	DESCRIPTION:
9.29.20	ROOFTOP SCREENING
1.12.22	RE-SUBMIT PLANNING SET

MULTI-FAMILY CONVERSION

90 S. SWAN ST.
ALBANY, NY 12210

CLIENT: MAN REALTY

START DATE:

STAMP:

DATE: 5/19/20

FILE:

PAGE CONTENT:
EXTERIOR ELEVATIONS

DRAFTER:
SINGER

ENGINEER:
NOLAN

PAPER SIZE:
D (24"x36")

SCALE:
AS SHOWN

SHEET:

A301