

AFFORDABLE HOUSING COMPLIANCE PLAN

Part 1. Policy Guidelines

In 2017, the City of Albany adopted the Unified Sustainable Development Ordinance (USDO) to regulate land use and development within the City and promote sustainable and equitable economic development.

As part of the USDO, Section 375-4(A)(4)(b) states that: "each new residential or mixed-use development or redevelopment containing 50 or more new dwelling units shall sell or rent at least five percent of its new dwelling units at sales or prices affordable to persons earning no more than 100 percent of the area median household income for the City of Albany, as determined by affordability methods used by the U.S. Department of Housing and Urban Development."

Affordable housing units created pursuant to 375-4(A)(4)(b) shall be:

1. Affordable to households earning no more than 100 percent of the median household income for the City of Albany, pursuant to the Income and Rent Limits set by the Albany Community Development Agency (ACDA) on an annual basis;
2. Rented to households that consist of the minimum number of people as specified within the adopted guidelines;
3. Provided in proportion to the sizes of market rate units included in the development;
4. Comparable in infrastructure (including sewer, water and other utilities), construction quality, and exterior design to the market rate units;
5. Physically integrated with the rest of the development and there shall be no visible exterior indications that units are affordable housing units, such as an alternate entrance;
6. Restricted to principal residences.

Part 2. General Information

Project #:00322	Project Name: The Gallery on Holland
Tax Identification #: 76.47-1-25	Property Address: 25 Holland Avenue

Part 3. Developer Information

Developer Name: Richbell Capital	
Mailing Address: 8 Paddocks Circle, Saratoga Springs, NY 12866	
Phone No.: 518.786.7100	E-mail: William.Hoblock@RBC-NY.com

Part 4. Unit Information

Total # of Units Proposed: 60	# of Affordable Units Required*^: 3
# of Units for Rent: 60	# of Units for Sale: 0

Type of Units Proposed

# of Studio Units: 0	Avg. Size of Studio Unit (SF): N/A
# of 1 Bedroom Units: 42	Average Size of 1 Bedroom Unit (SF): 747
# of 2 Bedroom Units: 18	Average Size of 2 Bedroom Unit (SF): 1,057
# of 3 Bedroom Units: 0	Average Size of 3 Bedroom Unit (SF): N/A

*5% of total units proposed; ^Fractions of 0.5 or greater shall be rounded up to the next whole number

Part 5. Affordable Unit Itemization
 (If more than 10 units, continue unit information on a supplemental page)

No.	Building Address	Unit Number	# of Bedrooms	Square Feet	Tenure (Sale/Rental)
1	25 Holland Avenue	A1 (2 nd Floor)	1	723	Rental

2	25 Holland Avenue	A2 (2 nd Floor)	1	770	Rental
3	25 Holland Avenue	B1 (3 rd Floor)	2	1,004	Rental
4					
5					
6					
7					
8					
9					
10					

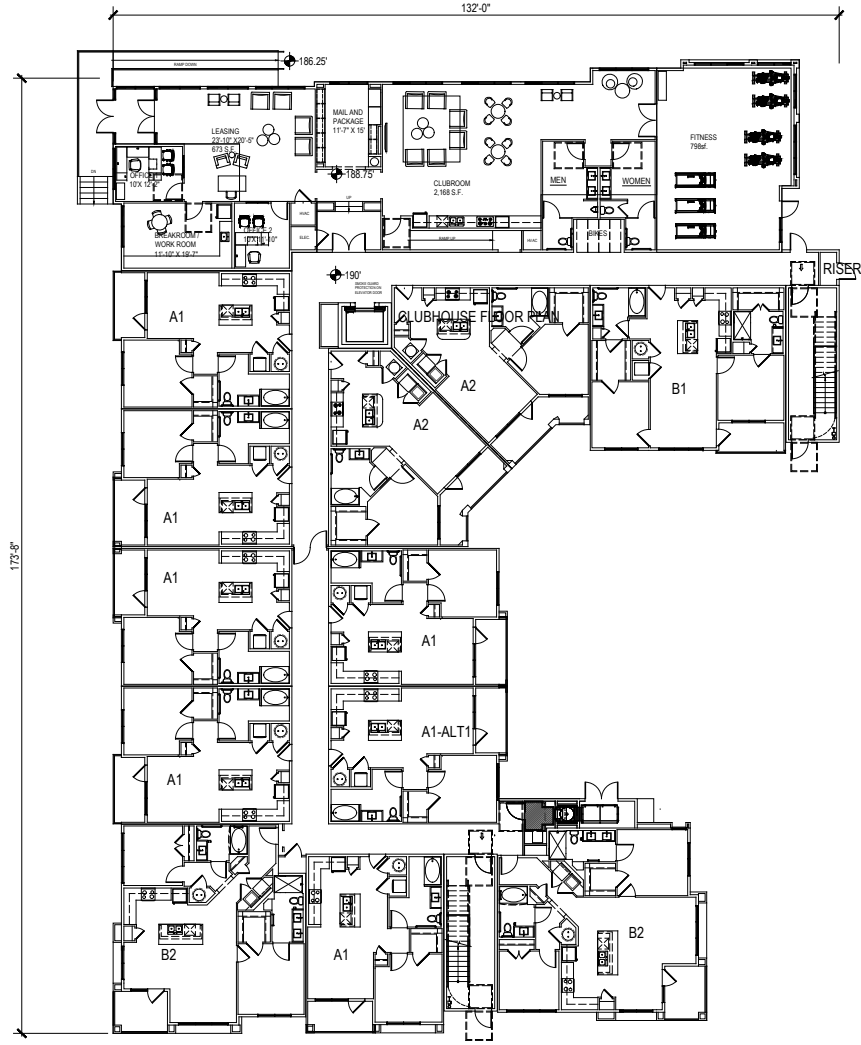
Part 6. Property Owner Consent

Initial	I hereby acknowledge the applicability of Section 375-4(A)(4)(b) of the Albany City Code and the corresponding affordable housing guidelines, and attest as follows:				
WMH	I shall ensure that designated affordable units are rented to households that consist of the minimum number of persons specified for the type of unit.				
WMH	I shall engage in good faith marketing and public advertising efforts each time an affordable housing unit is rented or sold such that members of the public who are qualified to rent or purchase such units have a fair chance to become informed of their availability.				
WMH	I shall certify that any person who occupies an affordable housing unit is income-eligible and meets the requirements of the guidelines.				
WMH	I shall be responsible for certifying the income of tenants or buyers to the Albany Community Development Agency at the time of initial rental or sale and annually thereafter, with such information to be submitted on forms provided by the Albany Community Development Agency.				
WMH	I shall be responsible for filing an annual report to the Albany Community Development Agency within 60 days of the end of each calendar year providing information related to affordable housing unit vacancies, waitlists, household turnover, household size, household income, market rate rents, and other relevant information as requested.				
WMH	All statements of fact herein are true and correct to the best of my knowledge and reflect the intent of the Applicant(s).				
Print Owner Name(s): William M. Hoblock		Owner(s) Signature: <i>W.M. Hoblock</i>		Date: April 22, 2020	

Part 6. Submittal Requirement Checklist

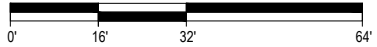
	Required Document	Hard Copies	Electronic Copies	Electronic Submission (.pdf) (Required Document Name)
A. Required for All Housing Compliance Plan Submissions				
<input checked="" type="checkbox"/>	Affordable Housing Compliance Plan Form	0	1	Affordable Housing Compliance Plan
<input checked="" type="checkbox"/>	Project Site Plan	0	1	Site Plan
<input checked="" type="checkbox"/>	Building Floor Plan Identifying Affordable Units	0	1	Floor Plans
<input type="checkbox"/>	Implementation Phasing Plan (where applicable) – N/A	0	1	Phasing Plan
B. Voluntary or Upon Request				
<input type="checkbox"/>	Any additional information determined to be necessary by the Chief Planning Official	1	1	[Document Name]

Electronic document submissions shall be sent via email to dpd@albanyny.gov, USB Flash Drive, or by another medium approved by the City of Albany Planning Staff. CD and DVD submissions are **not** accepted.



GROUND FLOOR PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
 5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com

RICHBELL CAPITAL

BLDG TYPE: **SD PACKAGE PLAN**

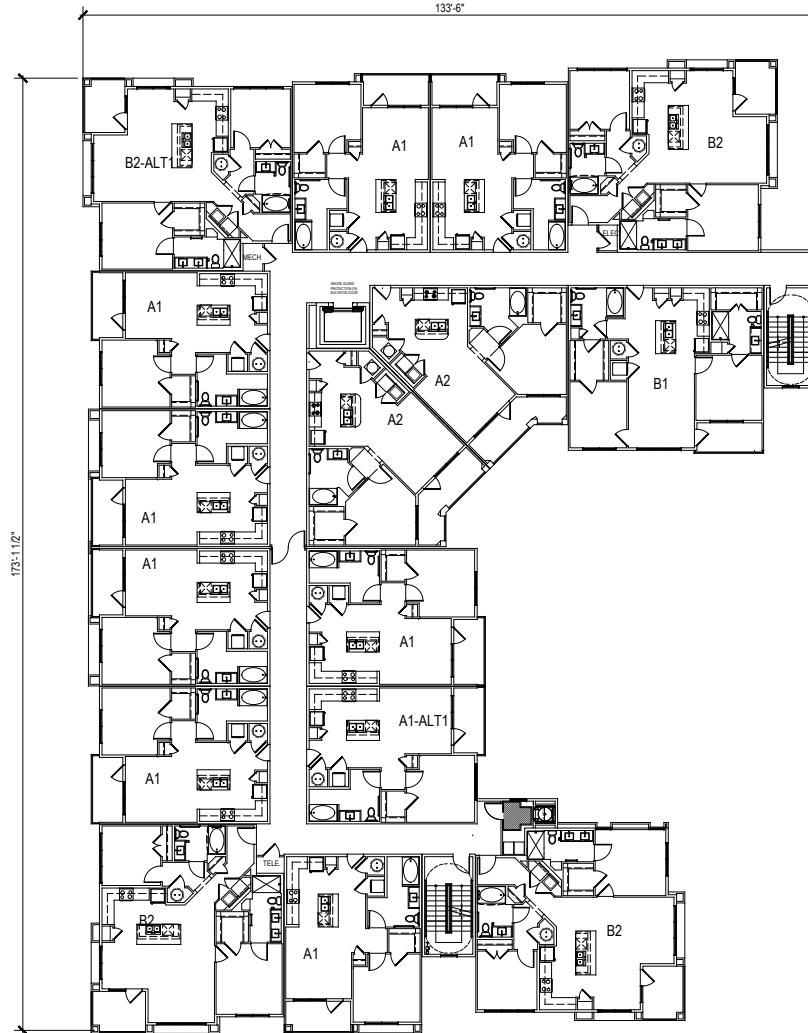
September 18, 2019

THE GALLERY ON HOLLAND

A410

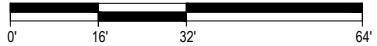
ALBANY, NY
 HPA# 19147

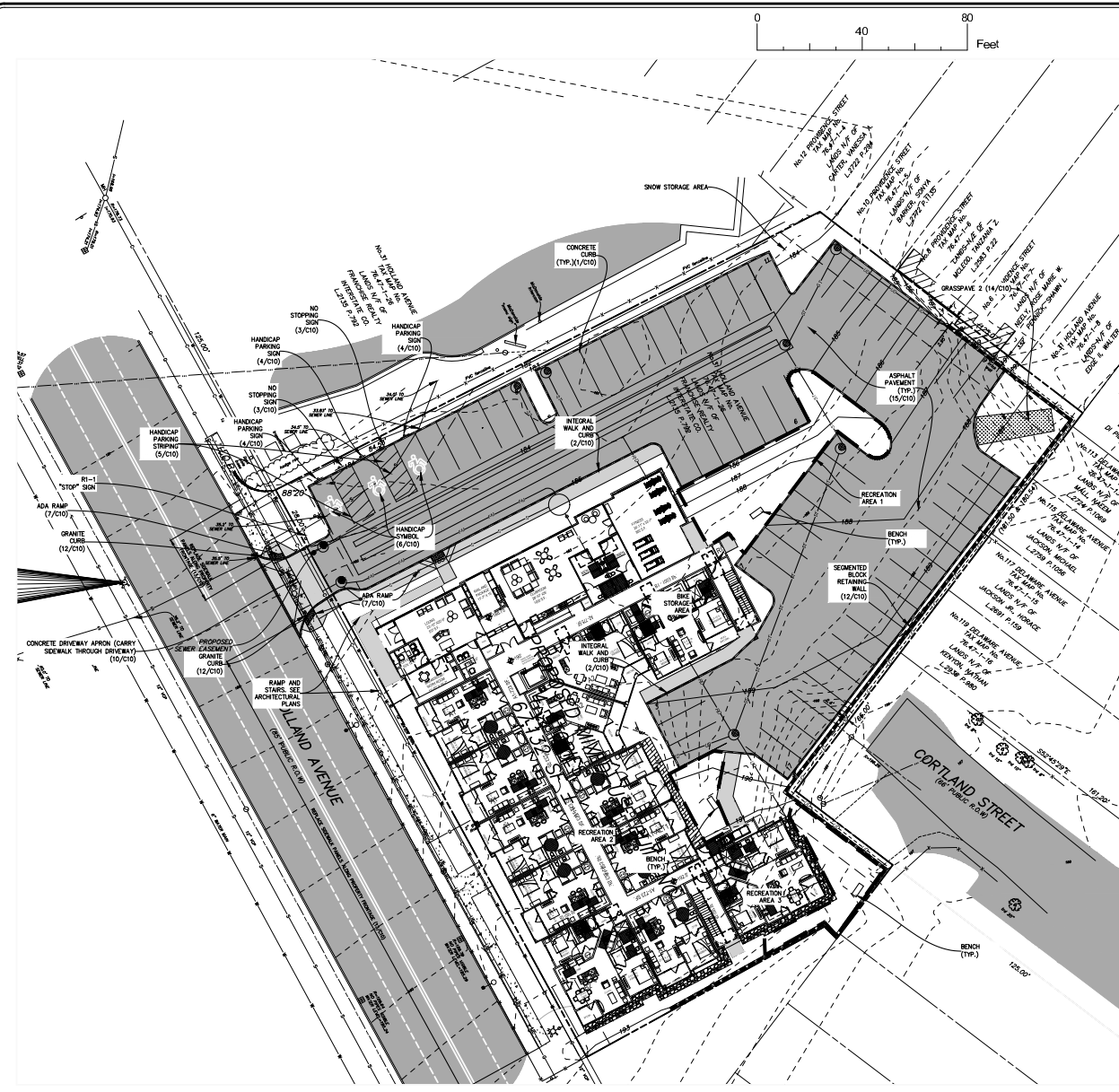
© 2019 by HUMPHREYS & PARTNERS ARCHITECTS, L.P. The arrangements depicted herein are the sole property of Humphreys & Partners Architects, L.P. and may not be reproduced in any form without its written permission. Architectural conceptual site plans are for feasibility purposes only. Decisions may occur due to further investigation from regulatory authorities and building code analysis. Dimensions shown are of a strategic intent only. Refer to surveys and civil drawings for technical information and measurements.



TYPICAL FLOOR PLAN

SCALE: 3/32" = 1'-0" (24"x36" SHEET)





CITY OF ALBANY NOTES

PERMITS REQUIREMENTS

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:

THE REMOVAL AND REPLACEMENT OF ALL EXISTING SIGNALLS, CURBS, STREET MARKINGS, TREE TRIMMING AND IMPROVEMENTS DURING THE COURSE OF THIS PROJECT AND WITHIN THE FULL LIMITATIONS OF THE PROJECT.

IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS PRIOR TO THE BEGINNING OF CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE ALL REPAIRS AND/OR CORRECTIONS TO SAID PERMITS ANY COST TO THE CITY OF ALBANY.

PERMIT REQUIREMENTS:

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
 - STREET AND SIDEWALK CLOSURE PERMITS FROM THE DEPARTMENT OF GENERAL SERVICES FOR ANY WORK WITHIN THE CITY'S PUBLIC RIGHT-OF-WAY.
 - RECREATION SPACE PERMITS FROM THE DEPARTMENT OF GENERAL SERVICES FOR ANY RECREATION SPACE TO BE PROVIDED ON THE SITE.
 - CONCRETE CURB PERMITS FROM THE DEPARTMENT OF GENERAL SERVICES FOR ANY CURB TO BE PROVIDED ON THE SITE.
 - LANDSCAPE PERMITS FROM THE DEPARTMENT OF GENERAL SERVICES FOR ANY LANDSCAPE TO BE PROVIDED ON THE SITE.
 - RECREATION SPACE PERMITS FROM THE DEPARTMENT OF GENERAL SERVICES FOR ANY RECREATION SPACE TO BE PROVIDED ON THE SITE.
 - CONCRETE CURB PERMITS FROM THE DEPARTMENT OF GENERAL SERVICES FOR ANY CURB TO BE PROVIDED ON THE SITE.
 - LANDSCAPE PERMITS FROM THE DEPARTMENT OF GENERAL SERVICES FOR ANY LANDSCAPE TO BE PROVIDED ON THE SITE.

NOTES

1. THE CONTRACTOR SHALL OBTAIN A STREET CLOSURE PERMIT AND A STREET ACCESS APPLICATION FROM THE DEPARTMENT OF GENERAL SERVICES FOR ANY WORK WITHIN THE CITY'S PUBLIC RIGHT-OF-WAY, AT 93-94-95B.
2. A GRADING PERMIT IS REQUIRED. CONTRACTOR TO CONTACT PATRICK MCCORMACK, ENGINEERING DEPARTMENT (391-54-3867) FOR APPLICATION AND REVIEW.
3. A GRADING AGREEMENT OR TEMPORARY WORKING PLANS WILL BE NEEDED ALONG THE EAST AND NORTH LINES OF THE PROJECT SITE FOR CONSTRUCTION OF RETAINING WALL.

LEGEND

R.O.W.	RIGHT OF WAY	○	MONUMENT
R.N.	NUMBER	○	IRON ROD
EN	ENCROACHMENT	□	MANHOLE
P.O.B.	POINT OF BEGINNING	□	CATCHBASIN
S.F.	SQUARE FEET	○	SIGN
N.W.	NEW OR FORMERLY	○	ROLLAD
FL	FEET	—	FENCE LINE
GR	GRADE	—	GUARD RAIL
R	RECORD	—	OVERHEAD WIRE UTILITY POLE & GUY WIRE
N	NEASURED	—	TRAFFIC SIGN ACCESS AREA
S	SOUTH	+	WATER SHUT OFF
E	EAST	+	WATER VALVE
W	WEST	+	HYDRANT
EL	ELECTRIC	+	GAS VALVE
L	LEAD	+	GAS TEST
P	PIPE	+	GAS SHUT OFF
—	WATER LINE	+	STREET LIGHT
—	SEWER LINE	+	LIGHT POLE
—	GAS LINE	+	CONCRETE
—	UNDERGROUND ELECTRIC	+	PAVEMENT

ZONING REQUIREMENTS TABLE

ZONE	MU-1(C) MIXED-USE, COMMUNITY URBAN
MINIMUM LOT WIDTH	25'
MAXIMUM HEIGHT	5 STORIES
SETBACKS	FRONT 10' MAX SIDE 0' REAR 15' (ADJACENT TO R-1/DISTRICT)

PARKING ANALYSIS TABLE

description	requirement	quantity	# required
dwelling, multi family	1 per unit	60	60
clubhouse/gym	1 per 300 SF	3,800 SF	13
Total off-street parking spaces required			
73			
Total off-street parking spaces required after 20% proximity to transit reduction			
59			
off-street parking spaces (INCLUDING 3 H.C.)			
60			

EXISTING SITE COVERAGE STATISTICS

description	s.f.	acres	%
gross site area	51,640	1.18	100.00
impervious area	16,488	0.42	35.5
building coverage	0	0.00	0.00
pavement/sidewalk coverage	16,488	0.42	35.5
perivable area	33,152	0.76	64.5

PROPOSED SITE COVERAGE STATISTICS

description	s.f.	acres	%
gross site area	51,640	1.18	100.00
impervious area	36,665	0.88	74.5
building coverage	16,783	0.38	32.2
pavement/sidewalk coverage	21,882	0.50	42.3
perivable area	12,975	0.30	25.5

RECREATION SPACE TABLE

description	requirement	quantity	# required
dwelling, multi family	12% of site area	51,640 sf	5,164 sf
area 1: outdoor			
1,875 sf			
area 2: outdoor			
439 sf			
area 3: outdoor			
800 sf			
area 4: clubhouse (indoor)			
2,355 sf			
TOTAL			5,499 sf



HERSHBERG & HERSHBERG
 Consulting Engineers and Land Surveyors
 18 Locust Street
 Albany, New York 12203

ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ILLEGAL.



DATE	12/16/2019
REVISIONS	CONTRACTOR COMMENTS

SITE PLAN
 THE GALLERY ON HOLLAND
 No. 25 HOLLAND AVENUE
 CITY OF ALBANY
 COUNTY OF ALBANY STATE OF NEW YORK
 (FILE: 190300) (DATE: 02/29/19) (JOB: 2019) (SCALE: 1/8"=1'-0")

