

288-292 & #301 ORANGE STREET SITE PLAN
SCALE: 1"=20'0"

SITE PLAN NOTES:

1. THE CONTRACTOR SHALL OBTAIN GRADING PERMIT, STREET OPENING PERMIT AND STREET ACCESS APPLICATION (CURB-CUT) FROM THE DEPARTMENT OF GENERAL SERVICES FOR WORK WITHIN THE CITY'S ROW.
2. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING INSTALLATION OF UTILITIES WITHIN CITY STREETS, DRIVEWAYS, AND SIDEWALKS.
3. FOUNDATION OF BUILDING SHALL BE WATERPROOFED. SEE ARCHITECTURAL DRAWINGS FOR INFORMATION ON PROPOSED BUILDINGS.
4. UNLESS OTHERWISE SPECIFIED, ALL CONCRETE USED ON THIS PROJECT SHALL BE DESIGNED WITH A MINIMUM COMPRESSIVE STRENGTH (f_c), AT 28 DAYS, OF 3000 POUNDS PER SQUARE INCH (psi).
5. ALL PAVEMENT SHALL BE KEPT CLEAN AND FREE OF MUD AND DEBRIS AT ALL TIME.
6. EXISTING DRAINAGE SHALL BE MAINTAINED AND OPEN AT ALL TIMES.
7. THE ENTIRE SITE IS WITHIN THE CITY'S M54 DISTRICT AND IS SUBJECT TO THEIR RULES AND REGULATIONS.

UTILITY NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES THAT MAY BE ENCOUNTERED WITHIN THE WORK LIMITS.
2. 48 HOURS NOTICE MUST BE GIVEN TO DEPARTMENT OF WATER FOR INSPECTIONS FOR THE SANITARY, WATER AND STORMWATER UTILITIES.
3. PRIOR TO USE, ALL WATER LINES MUST BE CHLORINATED AND HAVE A BACTERIOLOGICAL TEST PERFORMED IN ACCORDANCE WITH CITY OF ALBANY STANDARDS.
4. CHECK VALVES TO PREVENT BACKFLOW SHALL BE INSTALLED ON SANITARY SEWER LATERALS.
5. LOCATION OF EXISTING SANITARY SEWER LATERALS AND WATER SERVICES ARE UNKNOWN. CONTRACTOR SHALL FIELD LOCATED AND THEN ABANDON/REMOVE IN ACCORDANCE WITH CITY REQUIREMENTS.

UTILITY QUALITY LEVEL NOTES:

FOUR SEPARATE QUALITY LEVELS OF SUBSURFACE UTILITY FACILITY INFORMATION ARE GENERALLY RECOGNIZED AND ARE AS FOLLOWS:

UTILITY LOCATIONS SHOWN ON THESE PLANS ARE CONSIDERED: QLC

QUALITY LEVEL C (QLC): QUALITY LEVEL C IS THE THIRD HIGHEST DEGREE OF ACCURACY. THE INFORMATION SHOWN ON THE PLANS HAS BEEN OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION. (SHOWN AS QLC)

MAP REFERENCES:

1. EXISTING CONDITIONS FROM A SURVEY BY MASER CONSULTING ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY FOR HABITAT FOR HUMANITY CAPITAL DISTRICT", DATED AUGUST 17, 2019.
2. LOT LINES FROM A SURVEY BY MASER CONSULTING ENTITLED "PROPOSED LOT LINE ADJUSTMENTS FOR HABITAT FOR HUMANITY CAPITAL DISTRICT", DATED JANUARY 30, 2019.

DAMAGE TO EXISTING STRUCTURES OR VEGETATION:

NUMEROUS STRUCTURES AND VEGETATION ARE PRESENT WITHIN OR ADJACENT TO THE WORK LIMITS, AND ARE TO REMAIN IN PLACE. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL DAMAGE CAUSED BY THEIR OPERATIONS TO THE EXISTING STRUCTURES OR MATERIALS WHICH ARE NOT INCLUDED AS PART OF INTENDED WORK. ALL DAMAGE TO THE EXISTING STRUCTURES OR MATERIALS WHICH ARE NOT PART OF THE INTENDED WORK SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR WITHOUT COST TO THE OWNER AND/OR CITY, AND TO THE SATISFACTION OF THE ENGINEER IN CHARGE.

ELECTRICAL SAFETY NOTE:

ELECTRIC LINES MAY BE PRESENT WITHIN THE PROJECT LIMITS. CONTRACTOR SHALL HAVE ALL UTILITIES CLEARLY MARKED OUT BEFORE CONSTRUCTION, AND ADHERE TO ALL APPLICABLE OSHA STANDARDS FOR WORKING IN PROXIMITY TO ANY UNDERGROUND/OVERHEAD WIRES.

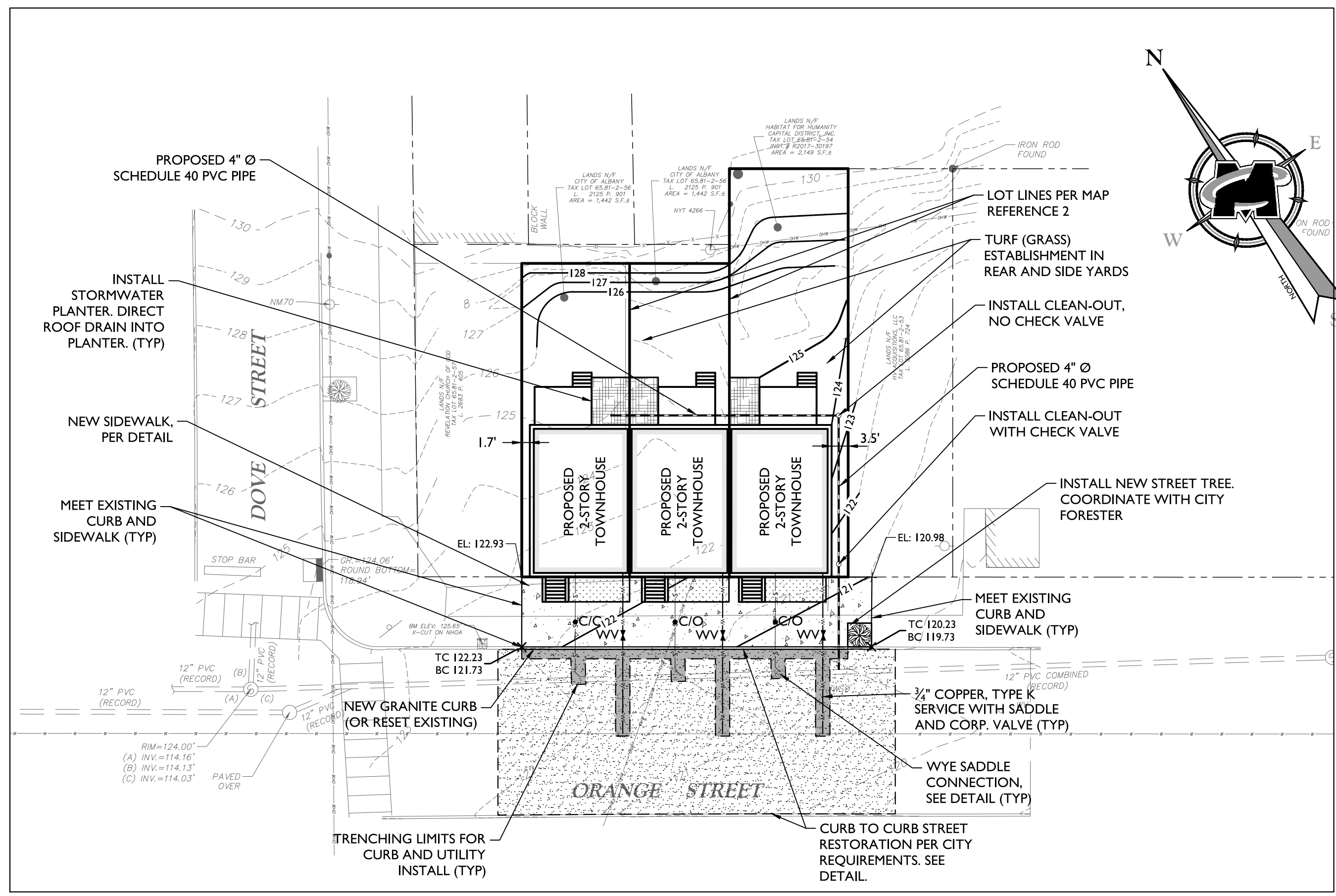
BULK TABLE:

ZONE: "R-T" TOWNHOUSE
EXISTING USE: TOWNHOUSE AND/OR VACANT LOT
PROPOSED USE: RESIDENTIAL ONE-FAMILY TOWNHOUSES

REQUIREMENT	REQUIRED	EXISTING	PROVIDED
LOT AREA (MIN.)	1,150 SF	1,442 SF (SMALLEST LOT)	1,386 SF (SMALLEST LOT)
LOT DEPTH (MIN.)	55 FT	66 FT	66 FT
LOT WIDTH (MIN.)	18 FT	22 FT	19 FT
IMPERVIOUS LOT COVERAGE (MAX)	80%	59%	56%
FRONT SETBACK (MIN)	0 FT	0 FT	0 FT
SIDE SETBACK (MIN)	0 FT	0 FT	0 FT
SIDE SETBACK (MAX)	3'-6"	0 FT	6.06 FT
REAR YARD SETBACK (MIN)	10% OF LOT DEPTH	40% OF LOT DEPTH	34% OF LOT DEPTH
PRINCIPAL BUILDING HEIGHT (MAX)	3 1/2 STORY	2 1/2 STORY	2 1/2 STORY
ACCESSORY BUILDING HEIGHT (MAX)	1 1/2 STORY	NONE EXISTING	NONE PROPOSED

PARKING REQUIREMENTS:

1. PARKING REQUIREMENTS FROM SECTION 375-4(E):
 - 1.1. OFF-STREET PARKING EXEMPTION - SECTION 375-4(E)(1)(c): "NO OFF-STREET PARKING IS REQUIRED FOR LOTS CONTAINING LESS THAN 5,000 SQUARE FEET OF GROSS SITE AREA."
 - 1.2. ALL PROJECT LOTS ARE LESS THAN 5,000 SQUARE FEET IN GROSS AREA.
2. PARKING PROVIDED:
 - 2.1. ON-STREET PARKING IN ACCORDANCE WITH CITY PARKING REGULATIONS FOR ORANGE STREET.



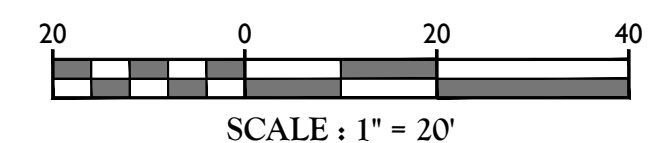
#241-245 ORANGE STREET SITE PLAN
SCALE: 1"=20'0"

LEGEND

EXISTING	PROPOSED
TRAVERSE LINE, CENTER LINE	TRAVERSE LINE, CENTER LINE
ADJOINING PROPERTY LINE	ADJOINING PROPERTY LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
CURB	CURB
DEPRESSED CURB	DEPRESSED CURB
SIDEWALK	SIDEWALK
FENCES	FENCES
TREELINE	TREELINE
ROADWAY SIGNS	ROADWAY SIGNS
WATER VALVE	WATER VALVE
SEWER CLEANOUT	SEWER CLEANOUT
CURB INLET	CURB INLET
GRATE INLET	GRATE INLET
STORM MANHOLE	STORM MANHOLE
SANITARY MANHOLE	SANITARY MANHOLE
FLARED END SECTION	FLARED END SECTION
HEADWALL	HEADWALL
HYDRANT	HYDRANT
POLE MOUNTED LIGHT	POLE MOUNTED LIGHT
CONTOURS	CONTOURS
SPOT ELEVATION	SPOT ELEVATION
DIRECTION OF OVERLAND FLOW	DIRECTION OF OVERLAND FLOW
TOP OF CURB ELEVATION	TOP OF CURB ELEVATION
BOTTOM OF CURB ELEVATION	BOTTOM OF CURB ELEVATION
TOP OF DEPRESSED CURB ELEVATION	TOP OF DEPRESSED CURB ELEVATION
OVERHEAD WIRES	OVERHEAD WIRES
WATER MAIN	WATER MAIN
GAS MAIN	GAS MAIN
TELEPHONE CONDUIT	TELEPHONE CONDUIT
ELECTRIC CONDUIT	ELECTRIC CONDUIT
SANITARY PIPE	SANITARY PIPE
STORM PIPE	STORM PIPE

PATTERN LEGEND:

- ASPHALT MILL & OVERLAY
- CONCRETE SIDEWALK
- FULL DEPTH TRENCHING
- STORMWATER PLANTER AREA
- LANDSCAPING



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REV	DATE	DRAWN BY	DESCRIPTION
1	7/20/19	PMH	REVISIONS PER CLIENT

DANIEL A. FARNAN
NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 092510-1

PRELIMINARY MAJOR SITE PLAN
FOR
HABITAT FOR HUMANITY CAPITAL DISTRICT
BLOCK 2
LOTS 28, 29, 36, 37, 38
CITY OF ALBANY
ALBANY COUNTY
NEW YORK

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SITE PLAN
SHEET NUMBER:
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