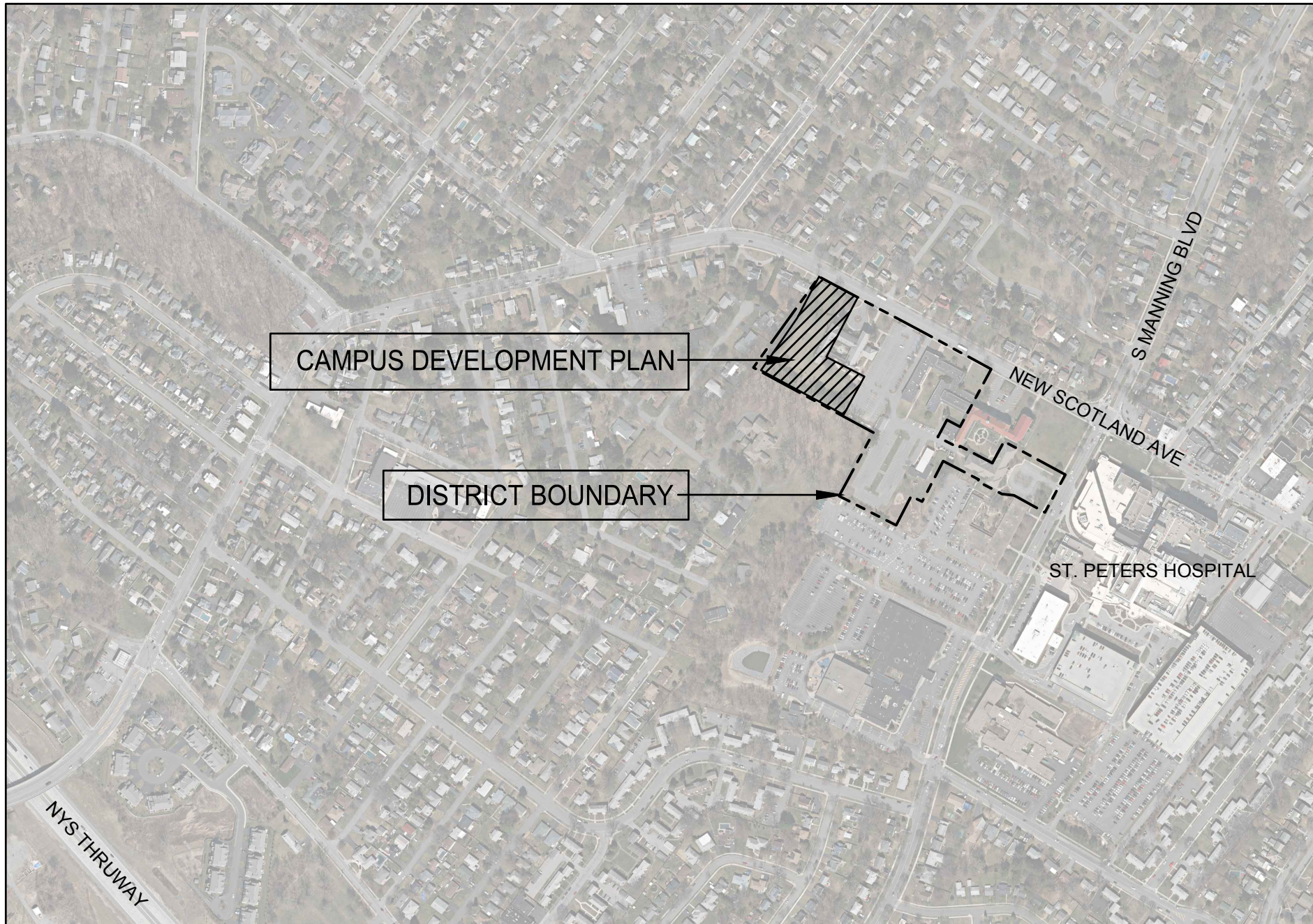


Maria College

Campus Development Plan Application

700 NEW SCOTLAND AVENUE
ALBANY, NEW YORK

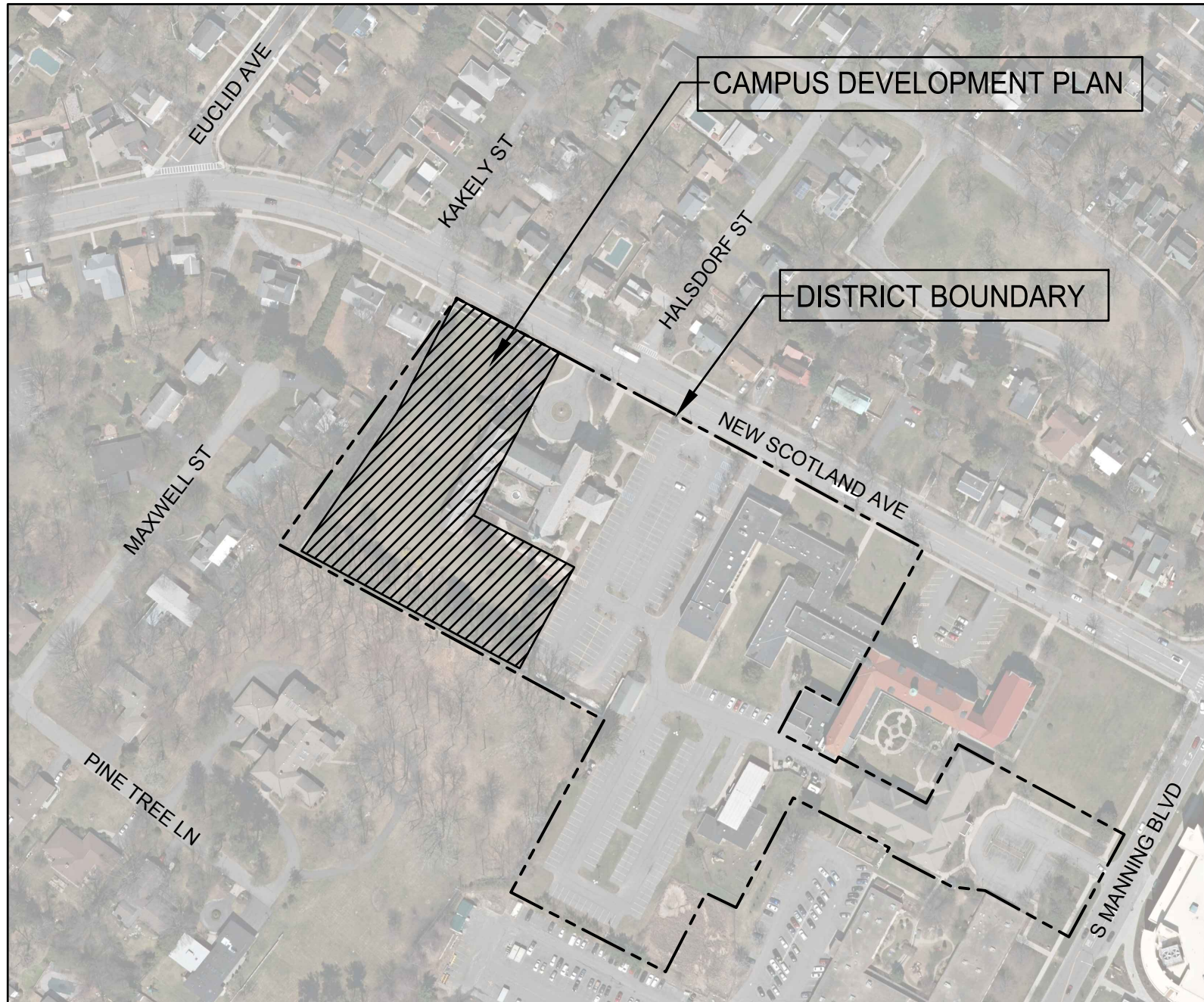
April 26, 2019
Planning Board # XX.XXX



PROJECT LOCATION MAP:



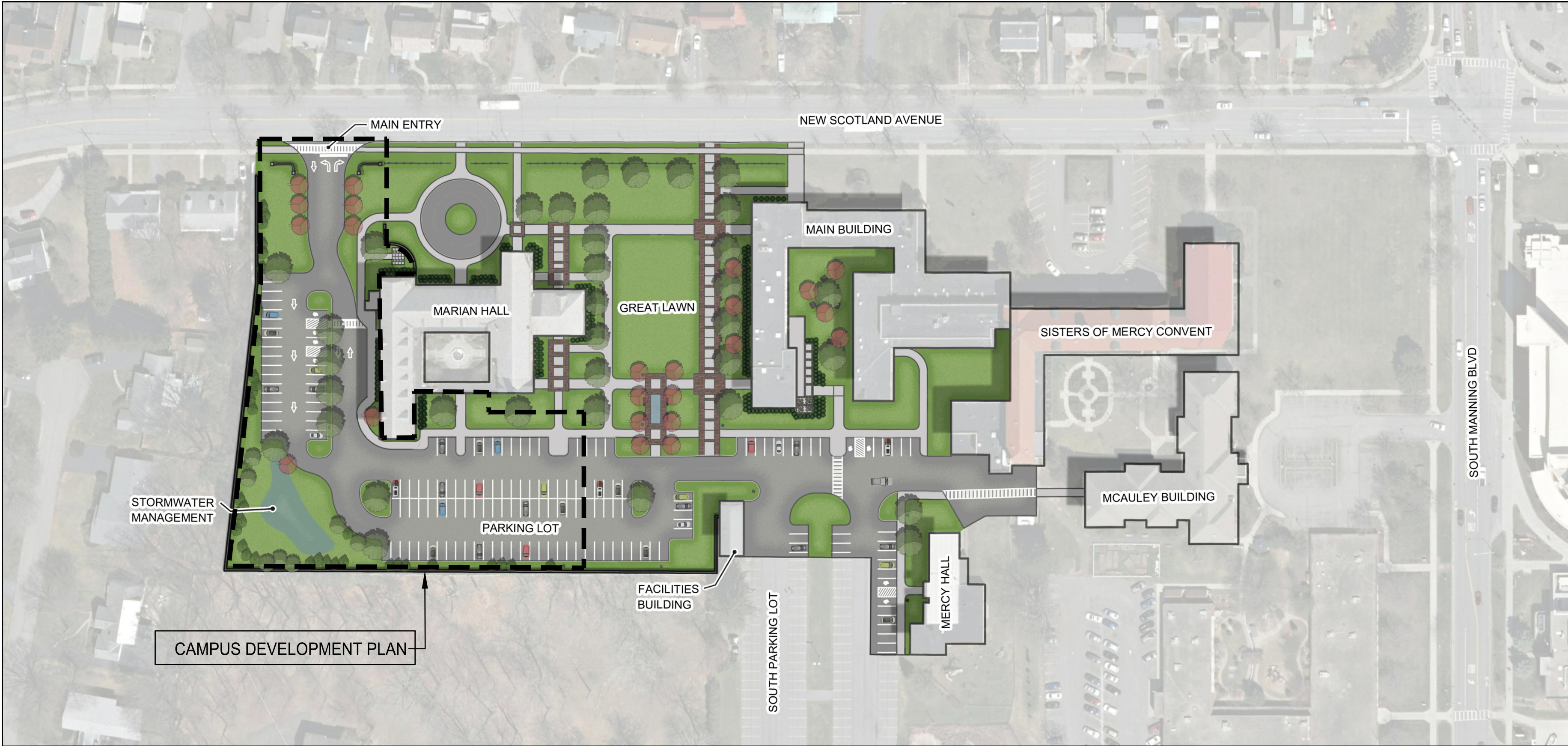
SCALE: N.T.S.



PROJECT VICINITY MAP:



SCALE: N.T.S.



DISTRICT PLAN (MASTER PLAN)



SCALE: N.T.S.

SHEET INDEX:

	COVER
SV-1	SURVEY
L-100	SITE REMOVALS & EROSION CONTROL PLAN
L-200	SITE LAYOUT AND MATERIALS PLAN
L-201	SITE LIGHTING AND LANDSCAPE PLAN
L-300	SITE GRADING AND DRAINAGE PLAN
L-400	SITE DETAILS
L-401	SITE DETAILS
L-402	SITE DETAILS
L-403	SITE DETAILS

SITE STATISTICS

PROJECT AREA:	± 2.05 AC.
PARCEL SIZE:	± 4.52 AC.
TAX MAP PARCEL NUMBER:	64.80-1-1
EXISTING ZONING:	MIXED-USE CAMPUS / INSTITUTIONAL (MU-CI)
PROPOSED USE:	INSTITUTIONAL

DIMENSIONS AND BULK REGULATIONS

LOT STANDARDS:	REQUIRED	PROPOSED
LOT WIDTH:	80 FT MIN.	222 FT. (EXISTING / NO CHANGE)
IMPERVIOUS LOT COVERAGE:		
PHASE 1:	60% MAXIMUM	63%
TOTAL DISTRICT:	60% MAXIMUM	±53%
YARD SETBACK (FT.)		
FRONT:	20 FT. MAXIMUM	34 FT. (EXISTING / NO CHANGE)
SIDE:	0 FT. MINIMUM	0 FT. (EXISTING / NO CHANGE)
REAR:	15 FT. MINIMUM*	15' FT.

*= ADJACENT TO RESIDENTIAL DISTRICT

VEHICULAR PARKING INFORMATION

EXISTING PARKING:	130 PARKING SPACES (INCLUDING 6 HC SPACES) *
PROPOSED PARKING:	104 NEW PARKING SPACES*
TOTAL:	234 PARKING SPACES

* = 100 EXISTING PARKING SPACES ARE TO BE REMOVED IN FULL BUILD OUT OF DISTRICT PLAN

BICYCLE PARKING INFORMATION

REQUIRED BICYCLE PARKING:	21 BICYCLE PARKING SPACES (7 OF WHICH ARE ENCLOSED) (104 VEHICULAR PARKING SPACES X 20%)
PROPOSED BICYCLE PARKING:	16 BICYCLE PARKING SPACES (0 OF WHICH ARE ENCLOSED) *

* = ADDITIONAL BICYCLE PARKING (INCLUDING ENCLOSED SPACES) TO BE PROVIDED IN FULL BUILD OUT OF DISTRICT PLAN

PREPARED BY:

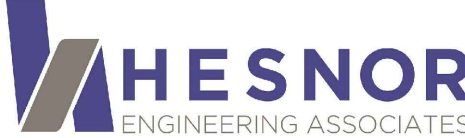
SITE / CIVIL



ARCHITECT

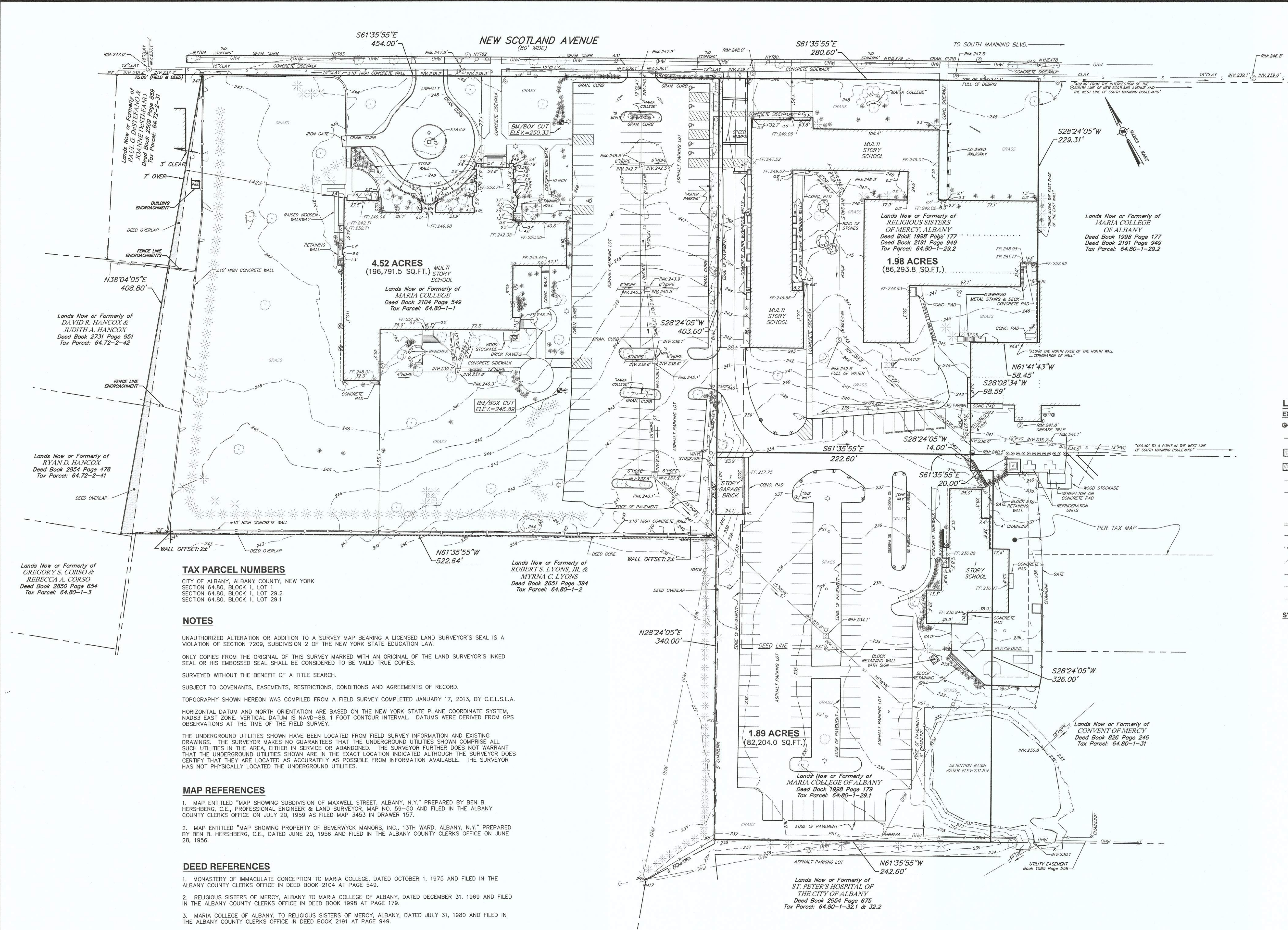


MEP ENGINEER





SITE LOCATION PLAN: 1"=2000'



TAX PARCEL NUMBERS

CITY OF ALBANY, ALBANY COUNTY, NEW YORK
SECTION 64.80, BLOCK 1, LOT 29.2
SECTION 64.80, BLOCK 1, LOT 29.1

NOTES

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

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SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH.

SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.

TOPOGRAPHY SHOWN HEREON WAS COMPILED FROM A FIELD SURVEY COMPLETED JANUARY 17, 2013, BY C.E.L.S.A.

HORIZONTAL DATUM AND NORTH ORIENTATION ARE BASED ON THE NEW YORK STATE PLANE COORDINATE SYSTEM, NAD83 EAST ZONE. VERTICAL DATUM IS NAVD-83, 1 FOOT CONTOUR INTERVAL. DATUMS WERE DERIVED FROM GPS OBSERVATIONS AT THE TIME OF THE FIELD SURVEY.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

MAP REFERENCES

1. MAP ENTITLED "MAP SHOWING SUBDIVISION OF MAXWELL STREET, ALBANY, N.Y." PREPARED BY BEN B. HERSHBERG, C.E., PROFESSIONAL ENGINEER & LAND SURVEYOR, MAP NO. 59-50 AND FILED IN THE ALBANY COUNTY CLERKS OFFICE ON JULY 20, 1959 AS FILED MAP 3453 IN DRAWER 157.
2. MAP ENTITLED "MAP SHOWING PROPERTY OF BEVERWYCK MANORS, INC., 13TH WARD, ALBANY, N.Y." PREPARED BY BEN B. HERSHBERG, C.E., DATED JUNE 20, 1956 AND FILED IN THE ALBANY COUNTY CLERKS OFFICE ON JUNE 28, 1956.

DEED REFERENCES

1. MONASTERY OF IMMACULATE CONCEPTION TO MARIA COLLEGE, DATED OCTOBER 1, 1975 AND FILED IN THE ALBANY COUNTY CLERKS OFFICE IN DEED BOOK 2104 AT PAGE 549.
2. RELIGIOUS SISTERS OF MERCY, ALBANY TO MARIA COLLEGE OF ALBANY, DATED DECEMBER 31, 1969 AND FILED IN THE ALBANY COUNTY CLERKS OFFICE IN DEED BOOK 1998 AT PAGE 179.
3. MARIA COLLEGE OF ALBANY, TO RELIGIOUS SISTERS OF MERCY, ALBANY, DATED JULY 31, 1980 AND FILED IN THE ALBANY COUNTY CLERKS OFFICE IN DEED BOOK 2191 AT PAGE 949.

LEGEND:

EXISTING CONDITIONS:

- PROPERTY LINE (APPROXIMATE)
- ADJACENT PROPERTY LINE
- DEED OVERLAP
- DEED GORE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING BUILDING
- EXISTING CURB/GUTTER
- EXISTING FENCE
- EXISTING STONE WALL
- EXISTING BRUSH LINE
- EXISTING OVERHEAD WIRES
- EXISTING UNDERGROUND SEWER LINE
- EXISTING UNDERGROUND STORM LINE

SYMBOLS:

- EXISTING SIGN
- EXISTING SIGN
- EXISTING BOLLARD
- EXISTING POST
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING SHRUB
- EXISTING MONUMENT
- EXISTING IRON PIPE FOUND
- EXISTING IRON ROD FOUND
- EXISTING CAPPED IRON ROD
- EXISTING BENCHMARK
- EXISTING SANITARY MANHOLE
- EXISTING CLEANOUT
- EXISTING CATCH BASIN
- EXISTING CATCH BASIN ROUND
- EXISTING ROOF DRAIN LEADER
- EXISTING ELECTRIC BOX
- EXISTING ELECTRIC TRANSFORMER
- EXISTING GUY WIRE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING LANDSCAPE LIGHT
- EXISTING AIR CONDITION COMPRESSOR
- EXISTING CONDUIT TO/FROM UNDERGROUND
- EXISTING GAS VALVE
- EXISTING HYDRANT
- EXISTING WATER VALVE
- EXISTING MONITORING WELL
- EXISTING UTILITY VALVE

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I HEREBY CERTIFY THAT THIS SURVEY MAP IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED JANUARY 17, 2013 AND THAT THIS SURVEY MAP WAS MADE BY ME OR UNDER MY DIRECTION, AND CONFORMS WITH THE MINIMUM STANDARD OF PRACTICE ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.



THE
Chazen
COMPANIES
Engineers/Surveyors
Planners
Environmental Scientists
Landscape Architects

CHAZEN ENGINEERING, LAND SURVEYING
& LANDSCAPE ARCHITECTURE CO., P.C.

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North Country Office:
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Glens Falls, New York 12081
Phone: (518) 812-0513

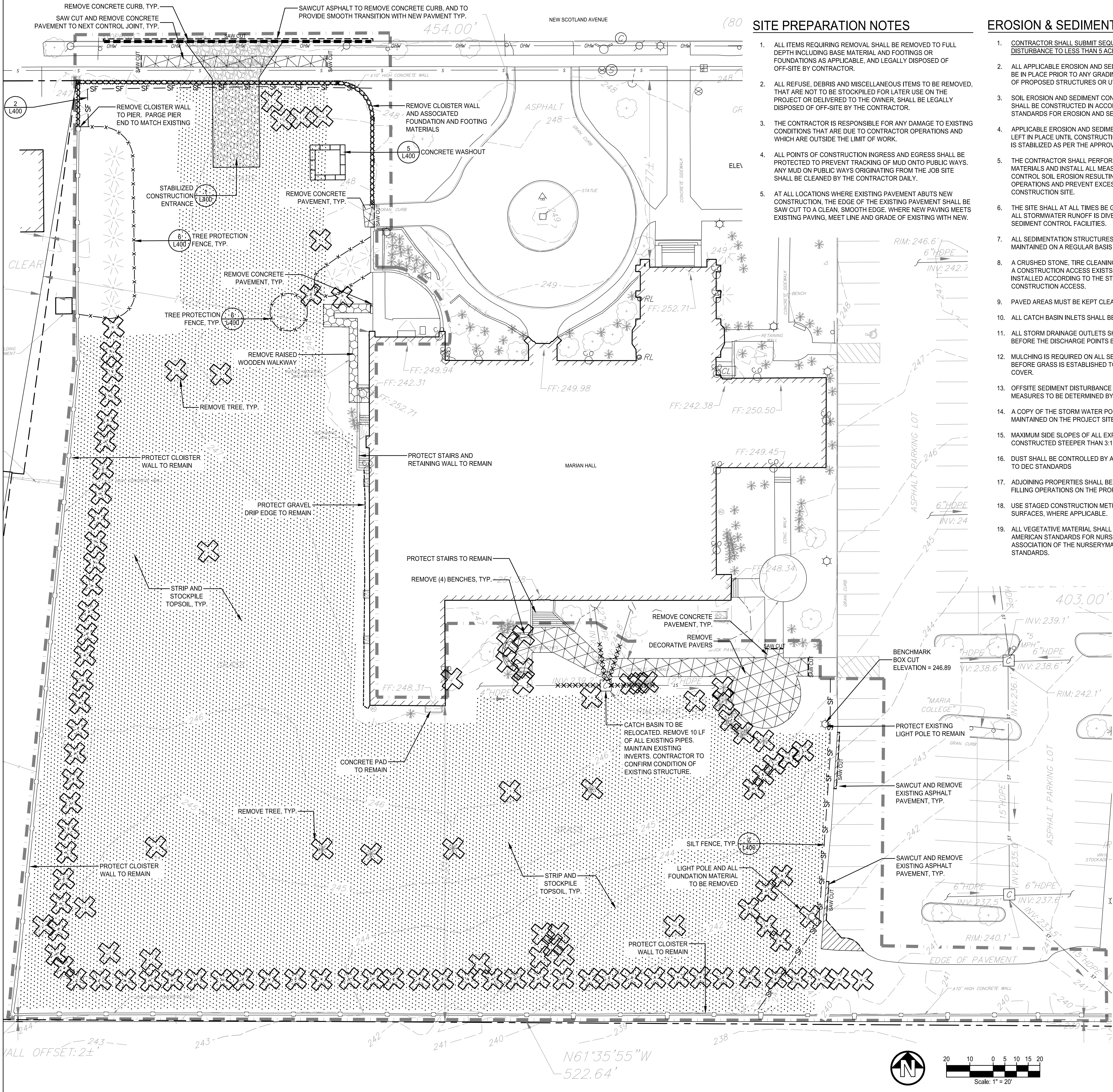
rev.	date	description

MARIA COLLEGE

**BOUNDARY & TOPOGRAPHIC SURVEY
OF LANDS NOW OR FORMERLY OF
MARIA COLLEGE**

CITY OF ALBANY, ALBANY COUNTY, NEW YORK

designed DAP
checked BOW
date 02/05/13
scale 1"=40'
project no. 51268.00
sheet no. **SV1**
1 OF 1



SITE PREPARATION NOTES

1. ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS APPLICABLE, AND LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.
2. ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED, THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS THAT ARE DUE TO CONTRACTOR OPERATIONS AND WHICH ARE OUTSIDE THE LIMIT OF WORK.
4. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS. ANY MUD ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED BY THE CONTRACTOR DAILY.
5. AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE, WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW.

EROSION & SEDIMENT CONTROL NOTES

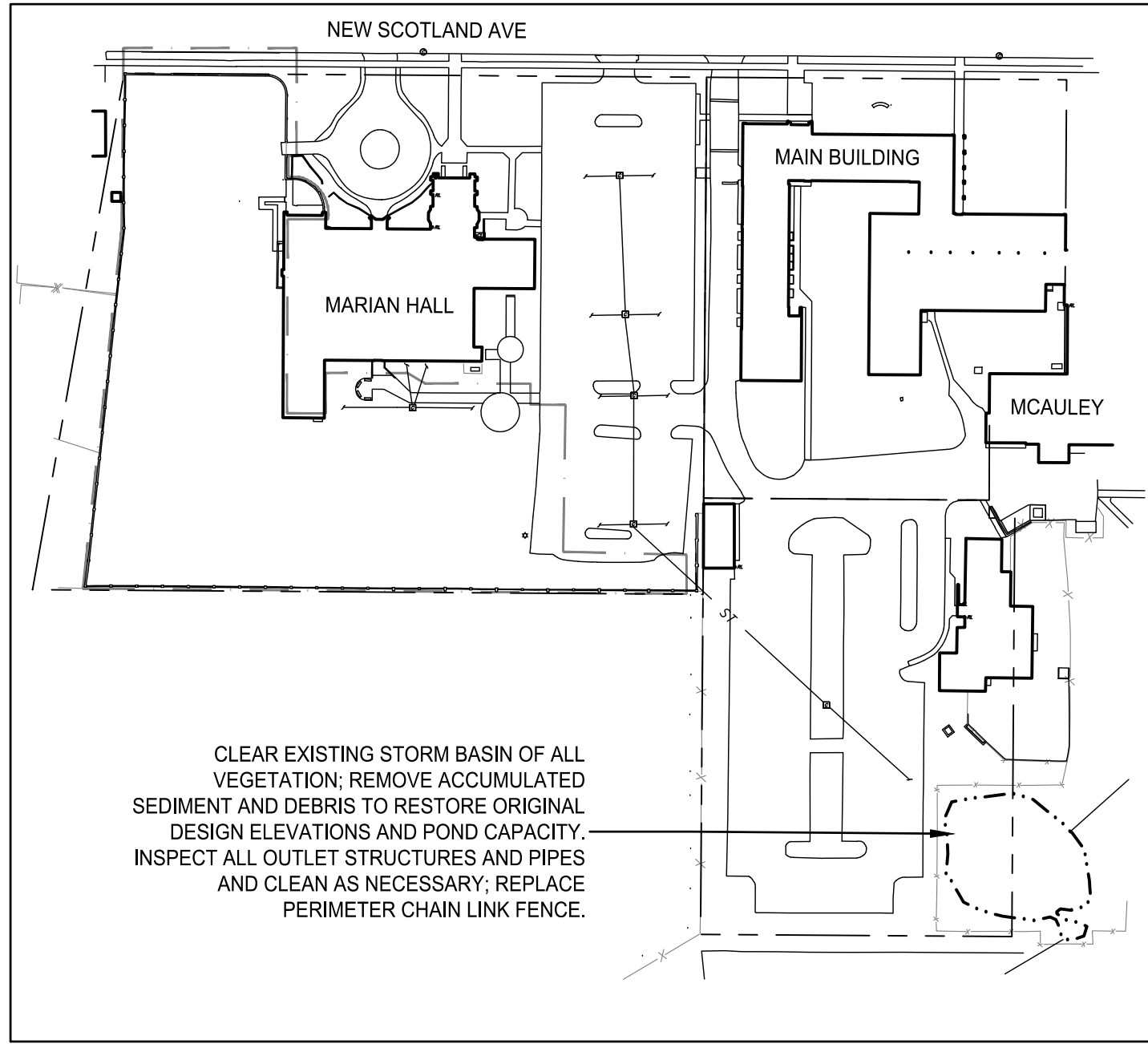
1. CONTRACTOR SHALL SUBMIT SEQUENCING PLAN THAT CONTROLS SOIL DISTURBANCE TO LESS THAN 5 ACRES AT ANY TIME.
2. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
3. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW YORK STATE STANDARDS FOR EROSION AND SEDIMENT CONTROL REQUIREMENTS.
4. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED AS PER THE APPROVED SWPPP.
5. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
6. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
7. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
8. A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS.
9. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
10. ALL CATCH BASIN INLETS SHALL BE PROTECTED WHERE REQUIRED.
11. ALL STORM DRAINAGE OUTLETS SHALL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
12. MULCHING IS REQUIRED ON ALL SEEDER AREAS TO PREVENT EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
13. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
14. A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
15. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1.
16. DUST SHALL BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO DEC STANDARDS.
17. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
18. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
19. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH DEC STANDARDS.

LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- REMOVE ASPHALT PAVEMENT & SUBBASE
- REMOVE CONCRETE PAVEMENT, SUBBASE & FOOTINGS
- REMOVE EXISTING RAISED WOODEN WALKWAY
- STRIP AND STOCKPILE TOPSOIL
- CURB TO BE REMOVED
- ITEM TO BE REMOVED
- REMOVE ITEM
- SILT FENCE
- TREE PROTECTION FENCE
- CONCRETE WASHOUT
- LIMIT OF WORK

GENERAL NOTES

1. SURVEY INFORMATION HAS BEEN PROVIDED BY THE CHAZEN COMPANIES FROM A TOPOGRAPHIC AND BOUNDARY SURVEY DATED FEBRUARY 5, 2013.
2. PRIOR TO COMMENCING ANY EXCAVATION WORK, THE CONTRACTOR SHALL CONTACT U.P.P.O. (1-800-962-7962) AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANY HAVING JURISDICTION TO LOCATE THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY COSTS INCURRED BY THE CONTRACTOR DUE TO FAILURE TO CONTACT THE PROPER AUTHORITIES SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCY BETWEEN THE PLANS AND THE ACTUAL FIELD CONDITIONS TO THE OWNERS DESIGNATED REPRESENTATIVE.
4. THE CONTRACTOR SHALL ESTABLISH PERMANENT BENCH MARKS. MAINTAIN ALL ESTABLISHED BOUNDS AND BENCH MARKS AND REPLACE AS DIRECTED ANY WHICH ARE DESTROYED OR DISTURBED.
5. CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS AND DRIVEWAYS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HIS EFFORTS OF DEMOLITION, REMOVALS AND OR RELOCATION WORK WITH ALL TRADES, IF APPLICABLE. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
7. CONTRACTOR SHALL MAINTAIN PROPER SIGNS, BARRICADES, FENCES, TO PROPERLY PROTECT THE WORK, EQUIPMENT, PERSONS AND PROPERTY FROM DAMAGE. ALL DAILY TRAFFIC IN THE VICINITY OF THE SITE SHALL NOT BE IMPEDED.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CITY OF ALBANY PERMITTING, INSPECTION AND CONNECTION FEES FOR DRIVEWAY AND UTILITY WORK ASSOCIATED WITH THE PROJECT.



EXISTING STORM BASIN IMPROVEMENT PLAN

Scale: NTS

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Prepared for:

Maria College
700 New Scotland Ave.
Albany, NY 12208

ARCHITECT:

architecture+

M.E.P. ENGINEER:

HESNOR
ENGINEERING ASSOCIATES

Project Title:

Maria College
Campus
Development Plan

700 New Scotland Ave.
Albany, NY 12208

Project No.: 2017131
Design: MJM
Drawn: MJM/KAC Chk'd: LTM
Date: 4/26/19 Scale: AS SHOWN

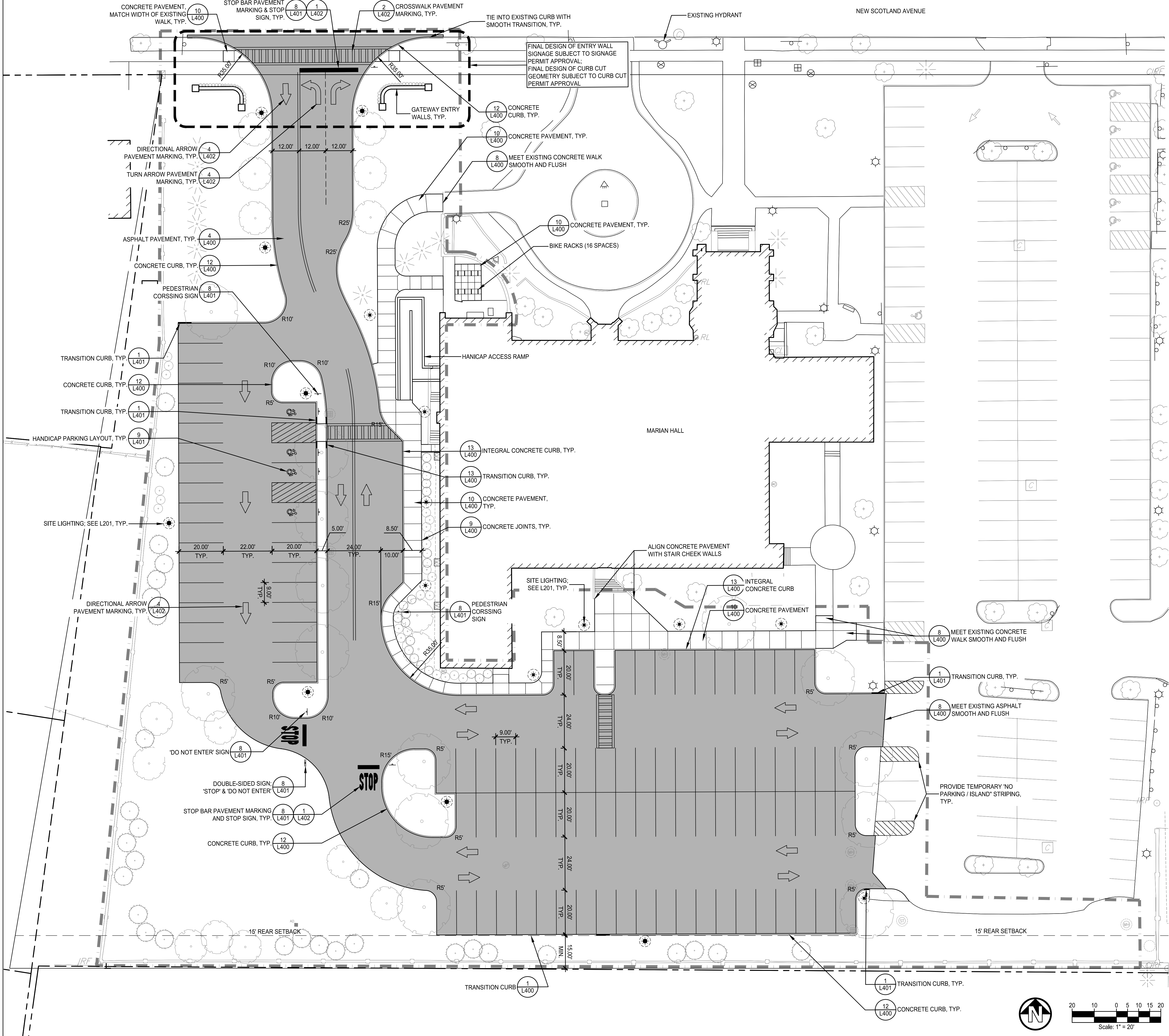
Rev.	Description:	Date:

Drawing Title

SITE REMOVALS &
EROSION CONTROL
PLAN

Drawing No.

L100



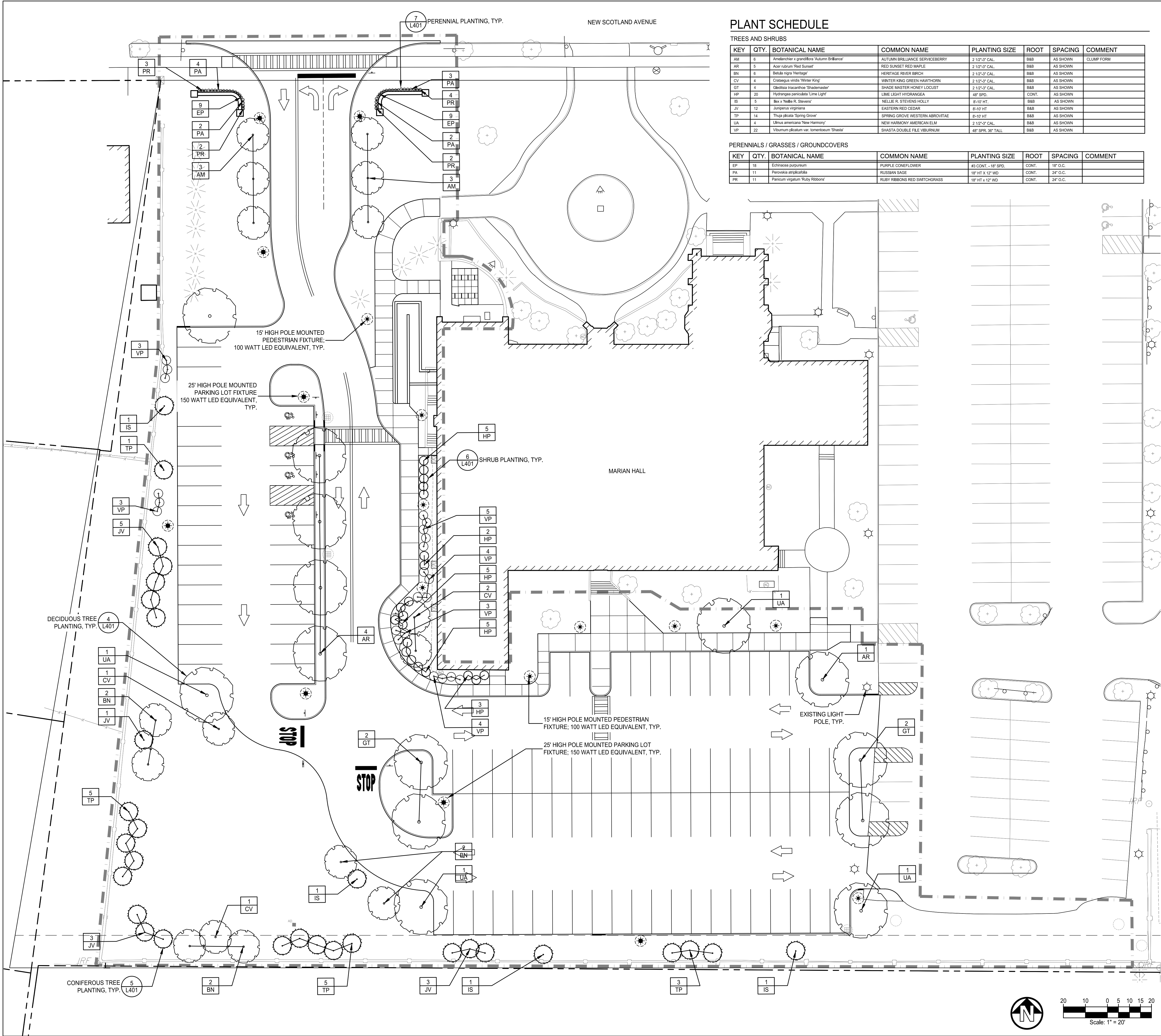
LEGEND

- STANDARD-DUTY ASPHALT PAVEMENT
- STANDARD-DUTY CONCRETE PAVING
- SIGNAGE
- ORNAMENTAL PICKET FENCE
- DECIDUOUS TREE ; SEE L201
- CONIFEROUS TREE ; SEE L201
- EXISTING TREE
- POLE MOUNTED SITE LUMINAIRE (SEE L201)
- LIMIT OF WORK

LAYOUT & MATERIALS NOTES

- ALL LINES AND DIMENSIONS ARE PARALLEL, OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- ALL LINE AND GRADE PER DRAWINGS SHALL BE LAID OUT BY A NEW YORK STATE REGISTERED CIVIL ENGINEER OR SURVEYOR ENGAGED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES IN THE SITE SURVEY PRIOR TO STARTING WORK.
- AT ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. PROVIDE PAVEMENT KEY AS DETAILED. TACK COAT EXPOSED EDGES OF EXISTING BITUMINOUS CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
- DIMENSIONS ON PARKING LOTS AND ROADWAYS ARE FROM FACE OR BOTTOM OF CURB TO FACE OR BOTTOM OF CURB.
- ALL EXISTING UTILITIES SHOWN IN THEIR RELATIVE POSITION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- ALL NEW WORK SHALL BE STAKED OUT PRIOR TO CONSTRUCTION. THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY DISCREPANCIES. FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND IF NECESSARY APPROPRIATE MUNICIPAL OFFICIALS.
- CONTRACTOR SHALL COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (WALLS, FENCE, FOOTINGS, TREE ROOT BALLS, PROPOSED LIGHTING FOOTINGS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.

Rev.	Description:	Date:



PLANT SCHEDULE

TREES AND SHRUBS							
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	ROOT	SPACING	COMMENT
AM	6	Ambelochier x grandiflora 'Autumn Brilliance'	AUTUMN BRILLIANCE SERVICEBERRY	2 1/2"-3" CAL.	B&B	AS SHOWN	CLUMP FORM
AR	5	Acer rubrum 'Red Sunset'	RED SUNSET RED MAPLE	2 1/2"-3" CAL.	B&B	AS SHOWN	
BN	6	Betula nigra 'Heritage'	HERITAGE RIVER BIRCH	2 1/2"-3" CAL.	B&B	AS SHOWN	
CV	4	Cornus viridis 'Winter King'	WINTER KING GREEN HAWTHORN	2 1/2"-3" CAL.	B&B	AS SHOWN	
GT	4	Gleditsia inaequalis 'Shademaster'	SHADE MASTER HONEY LOCUST	2 1/2"-3" CAL.	B&B	AS SHOWN	
HP	20	Hydrangea paniculata 'Lime Light'	LIME LIGHT HYDRANGEA	48" SPD.	CONT.	AS SHOWN	
IS	5	Ilex x 'Nellie R. Stevens'	NELLIE R. STEVENS HOLLY	8-10' HT.	B&B	AS SHOWN	
JV	12	Juniperus virginiana	EASTERN RED CEDAR	8-10' HT.	B&B	AS SHOWN	
TP	14	Thuja plicata 'Spring Grove'	SPRING GROVE WESTERN ARBORVITAE	8-10' HT.	B&B	AS SHOWN	
UA	4	Ulmus americana 'New Harmony'	NEW HARMONY AMERICAN ELM	2 1/2"-3" CAL.	B&B	AS SHOWN	
VP	22	Viburnum plicatum var. tinnetorum 'Shasta'	SHASTA DOUBLE FILE VIBURNUM	48" SPD. 36" TALL	B&B	AS SHOWN	

PERENNIALS / GRASSES / GROUNDCOVERS							
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	ROOT	SPACING	COMMENT
EP	18	Echinacea purpureum	PURPLE CONEFLOWER	#3 CONT. - 18" SPD.	CONT.	18" O.C.	
PA	11	Perovskia atrorubra	RUSSIAN SAGE	18" HT x 12" WD	CONT.	24" O.C.	
PR	11	Panicum virgatum 'Ruly Ribbons'	RUBY RIBBONS RED SWITCHGRASS	18" HT x 12" WD	CONT.	24" O.C.	

LEGEND

-
- STANDARD-DUTY CONCRETE PAVING

LANDSCAPE NOTES

- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL NEW PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN UNLESS OTHERWISE NOTED ON PLANT SCHEDULE.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL NEW PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY UNLESS APPROVED OTHERWISE BY THE OWNER'S REPRESENTATIVE.
- WHERE PLANT SIZE IS INDICATED AS A RANGE, THE PLANTS PROVIDED SHALL BE A FAIR REPRESENTATION OF THAT RANGE.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN PLANT APPROVAL FROM THE OWNER'S REPRESENTATIVE AFTER DELIVERY AND PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PROPOSED PLANTING FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF PLANTING.
- ALL PLANT BEDS TO RECEIVE THREE INCHES (2") MIN. OF SHREDDED BARK MULCH ON WEED BARRIER FABRIC.
- AMENDED TOPSOIL BACKFILL SHALL CONSIST OF ONE (1) PART MANURE TO EIGHT (8) PARTS TOPSOIL AND BONE MEAL @ 20 LBS. TO 4 CY TOPSOIL.
- ALL DISTURBED AREAS NOT SCHEDULED FOR OTHER WORK SHALL RECEIVE SIX INCHES (6") OF SUITABLE ON-SITE OR IMPORTED PLANTING SOIL PRIOR TO SEEDING OR SODDING.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A MIN. OF ONE (1) YEAR.
- THE CONTRACTOR SHALL MAINTAIN ALL WORK INCLUDING WATERING, MOWING, AND PROTECTION FROM TRAFFIC UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ALL ITEMS DAMAGED OUTSIDE THE CONSTRUCTION LIMITS, AND ITEMS WITHIN THE SITE THAT ARE NOT PART OF THE IDENTIFIED WORK OF THIS CONTRACT.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL MEASURES AS SHOWN ON THE PLANS.

The LA GROUP

Landscape Architecture & Engineering P.C.

People. Purpose. Place.

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Albany, NY 12208

ARCHITECT:

architecture+

M.E.P. ENGINEER:

HESNOR
ENGINEERING ASSOCIATES

Project Title:

Maria College
Campus
Development Plan

700 New Scotland Ave.
Albany, NY 12208

Project No.:	2017131
Design:	MJM
Drawn:	MJM/KAC
Chk'd:	LTM
Date:	4/26/19
Scale:	AS SHOWN

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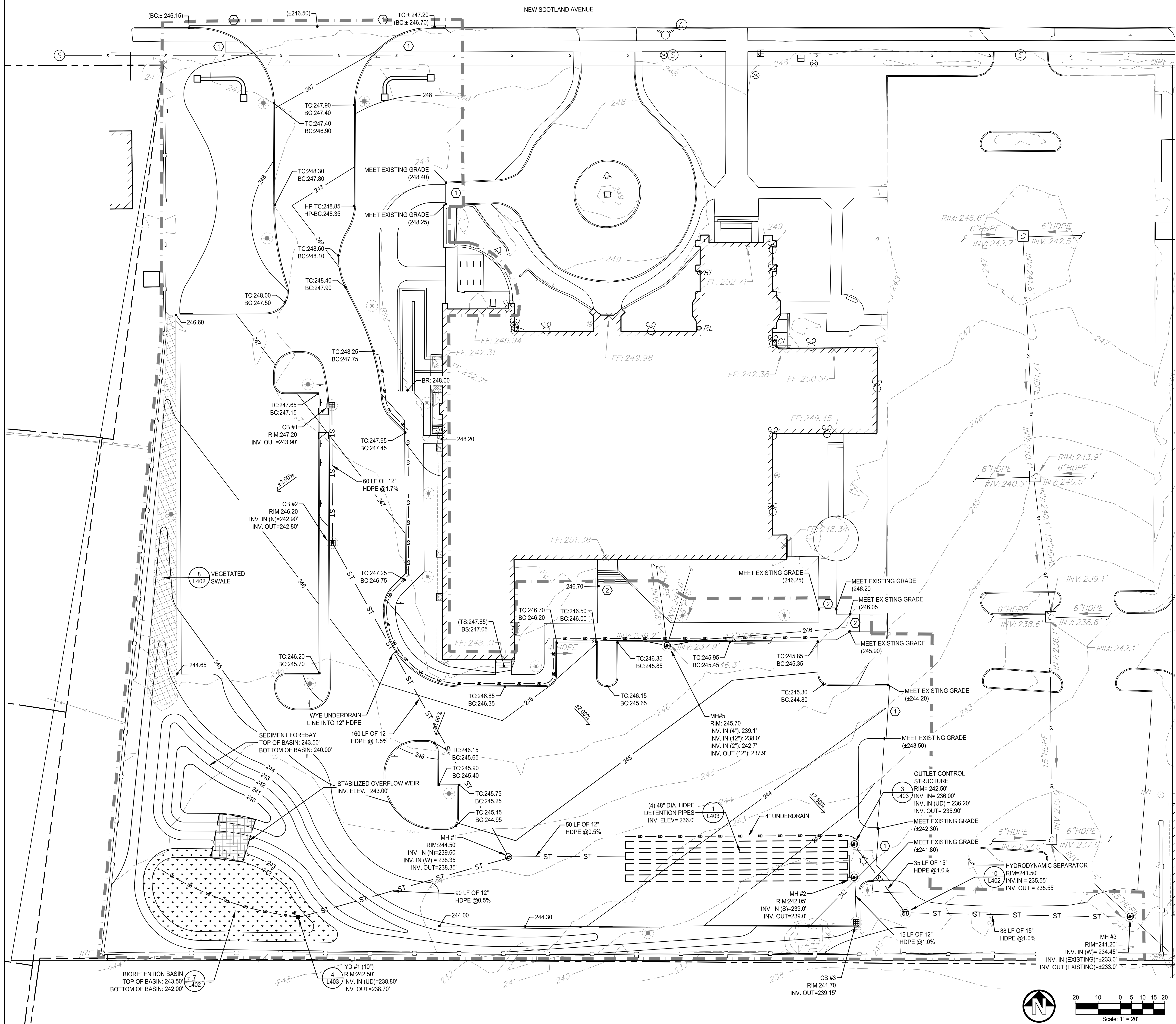
Drawing Title

SITE LIGHTING &
LANDSCAPE PLAN

Drawing No.

L201

Printed By: KYLE M. CAMERON
Save Date: 4/26/2019 3:08 PM
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LEGEND

- 247 --- EXISTING CONTOUR LINE
- [C] EXISTING CATCH BASIN
- ST EXISTING STORM SEWER
- 247 PROPOSED CONTOUR LINE
- 820.40 PROPOSED SPOT GRADE
- (820.40) EXISTING SPOT GRADE (MEET EXISTING GRADE)
- ST PROPOSED STORM SEWER LINE
- 10 --- PROPOSED UNDERDRAIN LINE
- [H] PROPOSED STORM SEWER CATCH BASIN
- [M] PROPOSED STORM SEWER MANHOLE
- [S] PROPOSED HYDRODYNAMIC SEPARATOR
- 2% SURFACE PITCH
- [X] VEGETATED SWALE
- [D] BIORETENTION BASIN
- 10 --- LIMIT OF WORK

KEYED NOTES

- ① MEET EXISTING PAVEMENT, CURBS AND FINISH FLOOR ELEVATIONS FLUSH
- ② PROVIDE DOWEL AND CONCRETE JOINT PER DETAIL x/L400

GRADING AND DRAINAGE NOTES

- SURVEY INFORMATION HAS BEEN PROVIDED BY THE CHAZEN COMPANIES FROM A TOPOGRAPHIC AND BOUNDARY SURVEY DATED FEBRUARY 5, 2013.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE.
- ALL PROPOSED GRADES SET IN THE FIELD SHALL BE COMPLETED BY A NEW YORK STATE LICENSED LAND SURVEYOR.
- THE CONTRACTOR SHALL VERIFY PROPOSED GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
- ADD INLET PROTECTION TO CATCH BASINS AS THEY ARE CONSTRUCTED.
- ALL CUT AND FILL SLOPES 3:1 OR GREATER SHALL RECEIVE BIO-DEGRADABLE FABRIC OR APPROVED EQUAL FOR EROSION CONTROL, UNLESS OTHERWISE SHOWN OR DIRECTED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BLEND ALL NEW EARTHWORK INTO EXISTING GRADES AT THE LIMITS OF GRADING. PROVIDE SMOOTH ROUNDED TRANSITIONS AT ALL TOP AND BOTTOM OF SLOPES.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL AREAS SHALL PITCH TO DRAIN AT A MINIMUM SLOPE OF ONE-EIGHTH INCH (1/8") PER FOOT. MAXIMUM CROSS PITCH OF ALL SIDEWALKS IS 2%. ANY DISCREPANCIES PROHIBITING THIS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- ALL PROPOSED TOP OF VERTICAL CURB ELEVATIONS ARE SIX INCHES (6") ABOVE BOTTOM OF CURB UNLESS SHOWN OTHERWISE.
- WHERE NEW PAVING MEETS EXISTING PAVING, NEW PAVING SHALL MEET THE LINE AND GRADE OF THE EXISTING PAVING WITH NEW.
- CATCH BASIN AND DROP INLET RIMS TO DRAIN SURROUNDING AREA AND AT SAME PITCH AS SLOPING PAVEMENT. IF STRUCTURE SHOWN ADJACENT TO CURB, SET GRATE TIGHT TO FACE OF CURB.
- ANY DISTURBED AREAS OUTSIDE THE LIMIT OF WORK SHALL BE RESOLVED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- EXCAVATION REQUIRED WITHIN 3 FEET OF EXISTING UTILITY LINES SHALL BE DONE BY HAND; DO NOT EXCAVATE SOIL WITH MACHINERY. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL ESTABLISH PERMANENT SECONDARY BENCHMARKS PRIOR TO THE START OF CONSTRUCTION. ALL SECONDARY BENCHMARKS SHALL BE SO LOCATED THAT THEY WILL NOT BE DISTURBED BY CONSTRUCTION.
- ALL COMPACTED SOIL SHALL BE DE-COMPACTED AND RESTORED IN ACCORDANCE TO THE NYS STORMWATER MANAGEMENT DESIGN MANUAL, JANUARY 2015. REFER TO CHAPTER 5, P. 5-21 AND 5-22, TABLE 5.3

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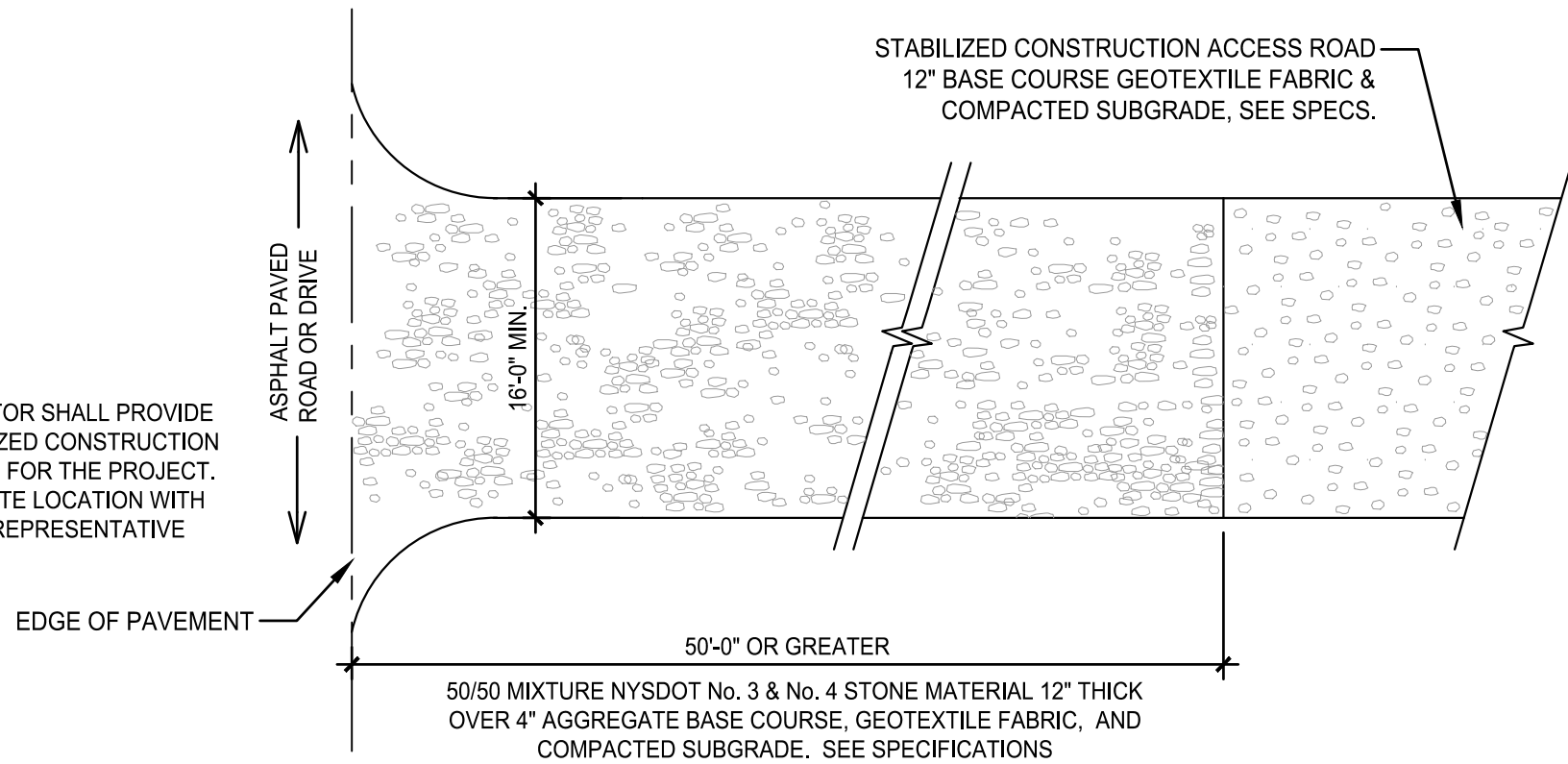
**SITE GRADING &
DRAINAGE PLAN**

Drawing No.

L300

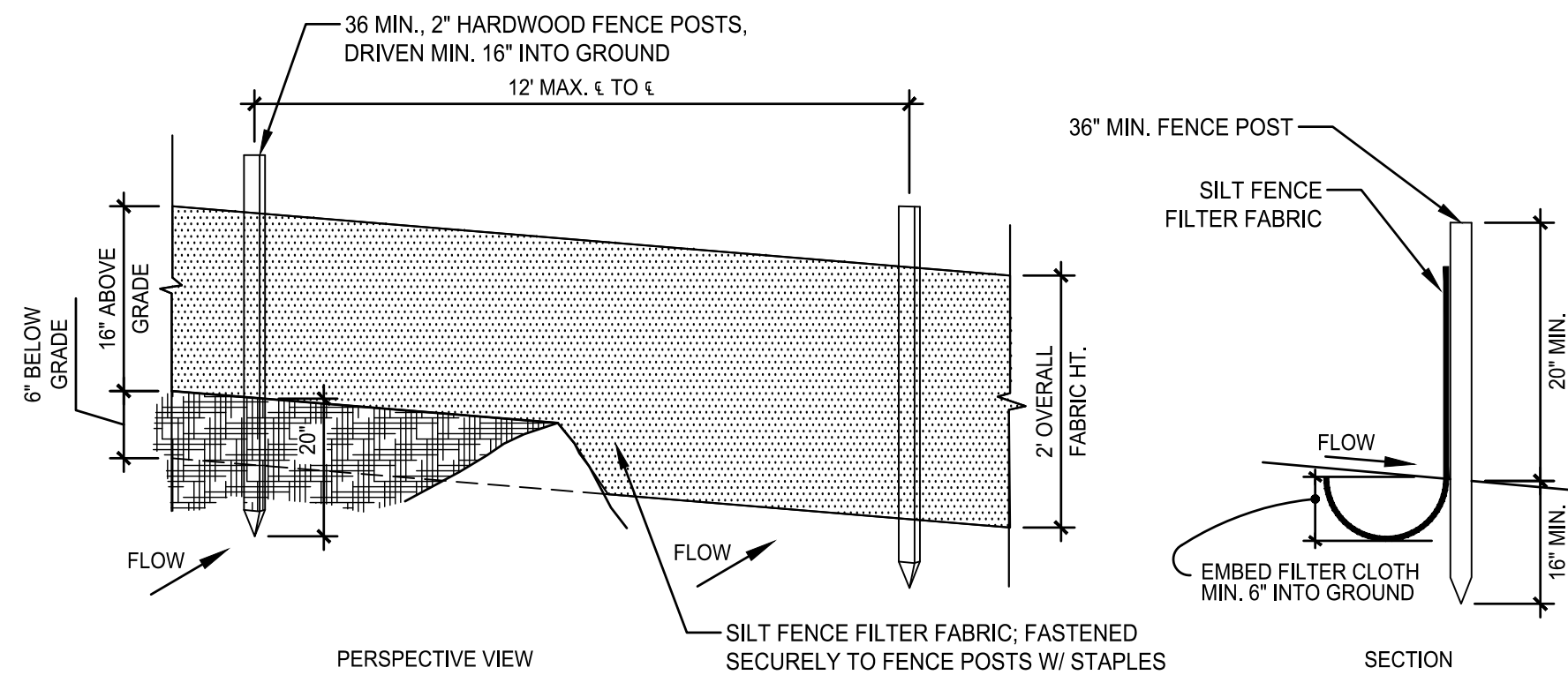
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NOTE:
CONTRACTOR SHALL PROVIDE
(1) STABILIZED CONSTRUCTION
ENTRANCE FOR THE PROJECT.
COORDINATE LOCATION WITH
OWNER'S REPRESENTATIVE



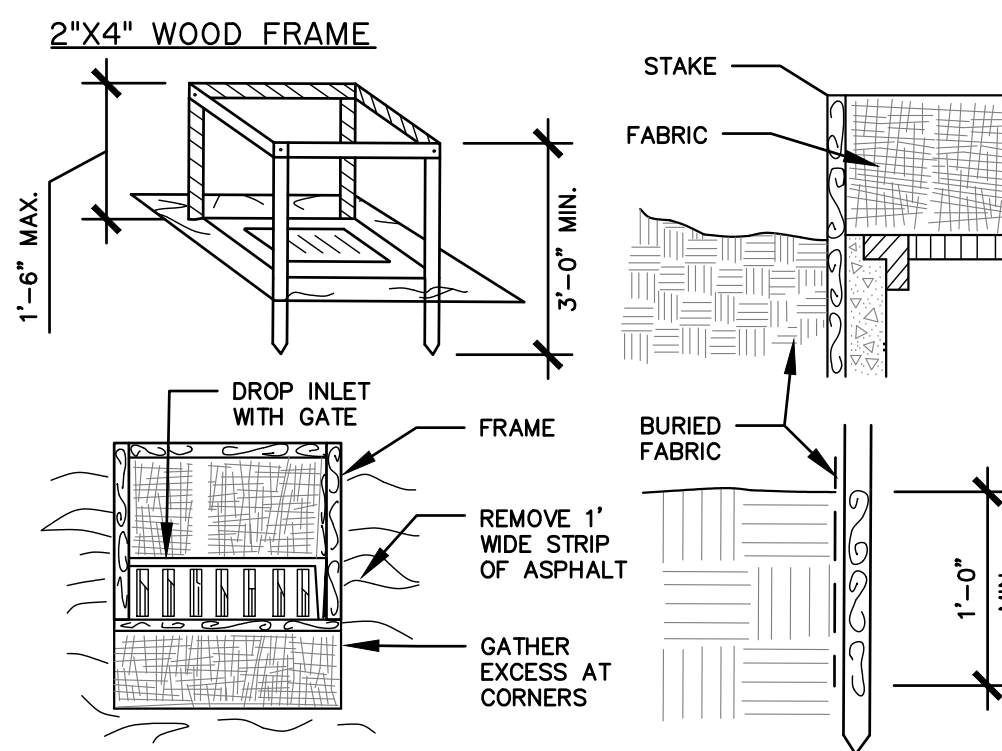
1 STABILIZED CONSTRUCTION ENTRANCE

Scale: NTS



2 SILT FENCE

Scale: NTS



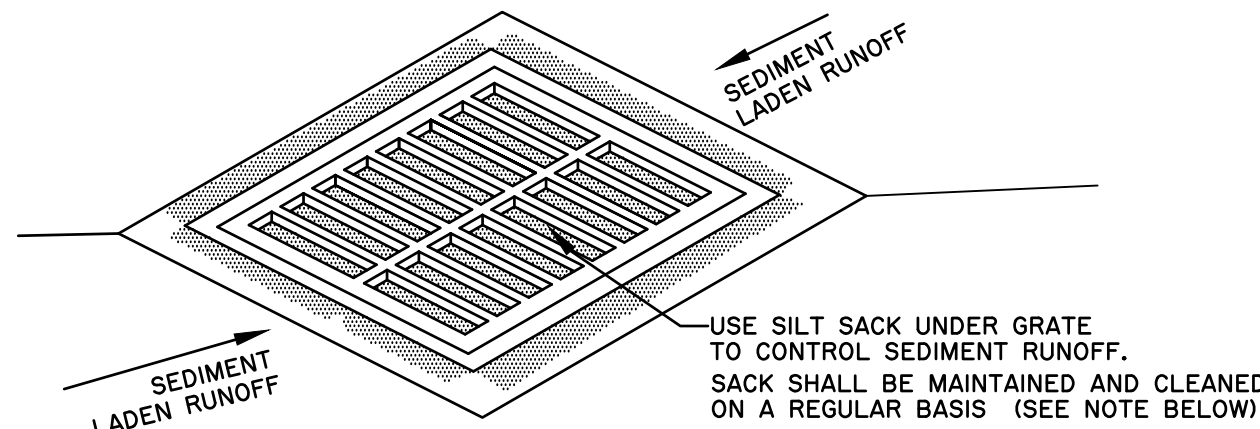
CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
7. TO BE USED OUTSIDE OF PAVED AREAS.

MAXIMUM DRAINAGE AREA 1 ACRE

3 INLET PROTECTION - LAWN AREAS

Scale: NTS

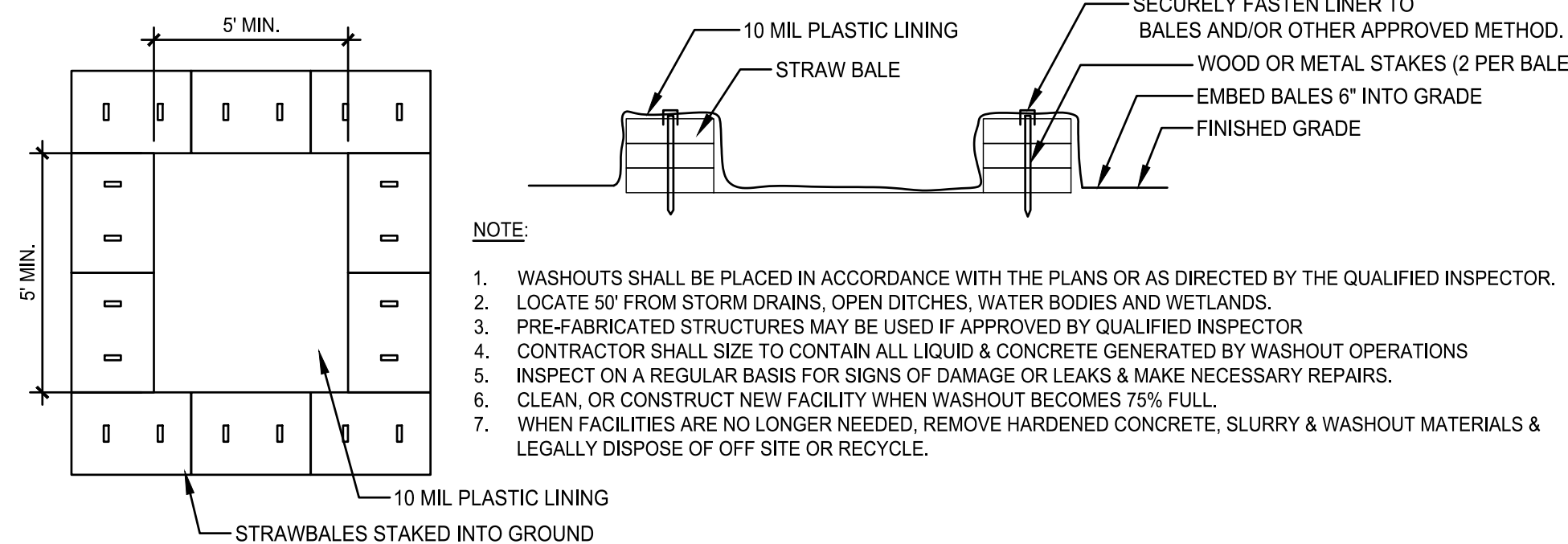


NOTE:

1. SILT SACK SHALL BE MAINTAINED & REMOVED ONLY AFTER ACCEPTANCE OF ROADWAY. SILT SACK SHALL BE CLEANED PERIODICALLY TO KEEP CATCH BASIN WORKING PROPERLY WHILE IN PLACE. AT REMOVAL OF SILT SACK ALL CATCH BASINS SHALL BE CLEANED OF DEBRIS AND SEDIMENT.
2. GRATE SILT SACK SHALL ONLY BE USED FOR IN-PAVEMENT STRUCTURES ONLY DURING AND AFTER INSTALLATION OF PAVEMENT.

4 INLET PROTECTION - FINISHED PAVED AREAS

Scale: NTS

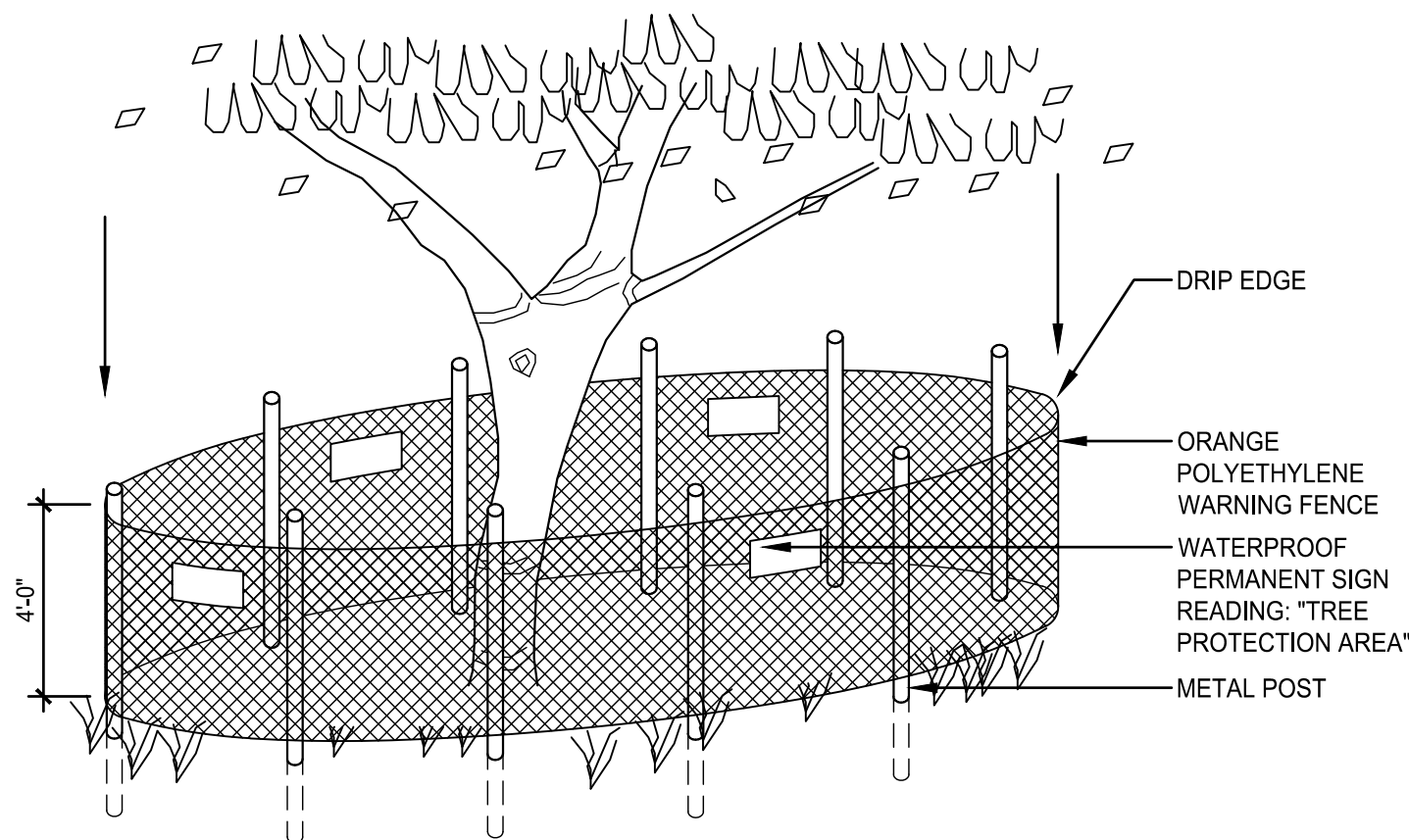


NOTE:

1. WASHOUTS SHALL BE PLACED IN ACCORDANCE WITH THE PLANS OR AS DIRECTED BY THE QUALIFIED INSPECTOR.
2. LOCATE 50' FROM STORM DRAINS, OPEN DITCHES, WATER BODIES AND WETLANDS.
3. PRE-FABRICATED STRUCTURES MAY BE USED IF APPROVED BY QUALIFIED INSPECTOR
4. CONTRACTOR SHALL SIZE TO CONTAIN ALL LIQUID & CONCRETE GENERATED BY WASHOUT OPERATIONS
5. INSPECT ON A REGULAR BASIS FOR SIGNS OF DAMAGE OR LEAKS & MAKE NECESSARY REPAIRS.
6. CLEAN, OR CONSTRUCT NEW FACILITY WHEN WASHOUT BECOMES 75% FULL.
7. WHEN FACILITIES ARE NO LONGER NEEDED, REMOVE HARDENED CONCRETE, SLURRY & WASHOUT MATERIALS & LEGALLY DISPOSE OF OFF SITE OR RECYCLE.

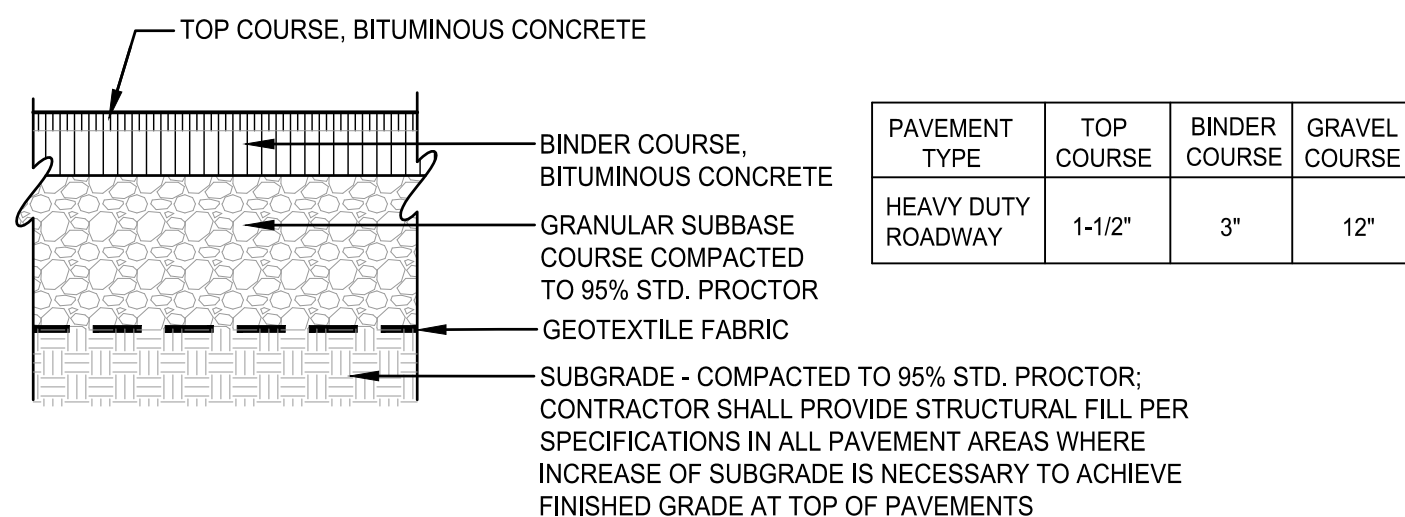
5 CONCRETE WASHOUT

Scale: NTS



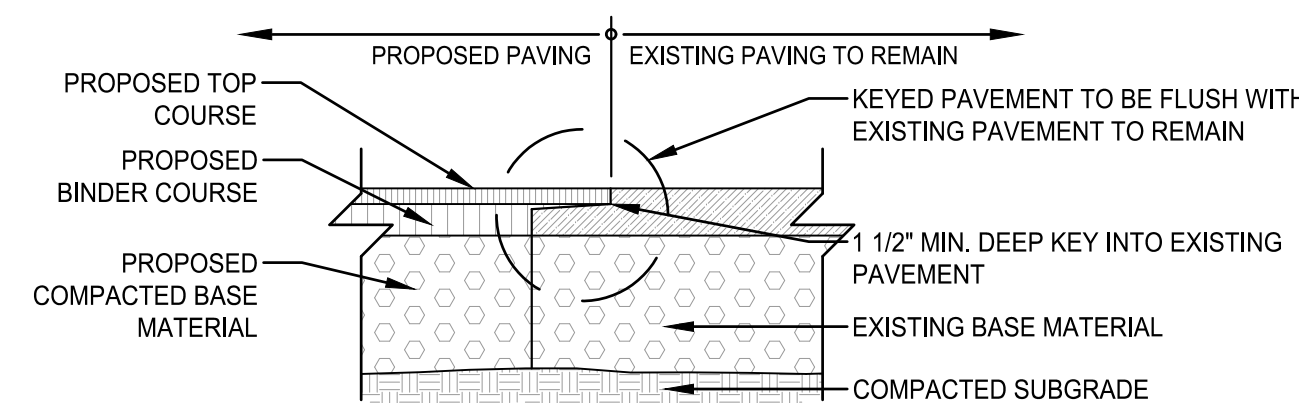
6 TREE PROTECTION

Scale: NTS



7 ASPHALT PAVEMENT

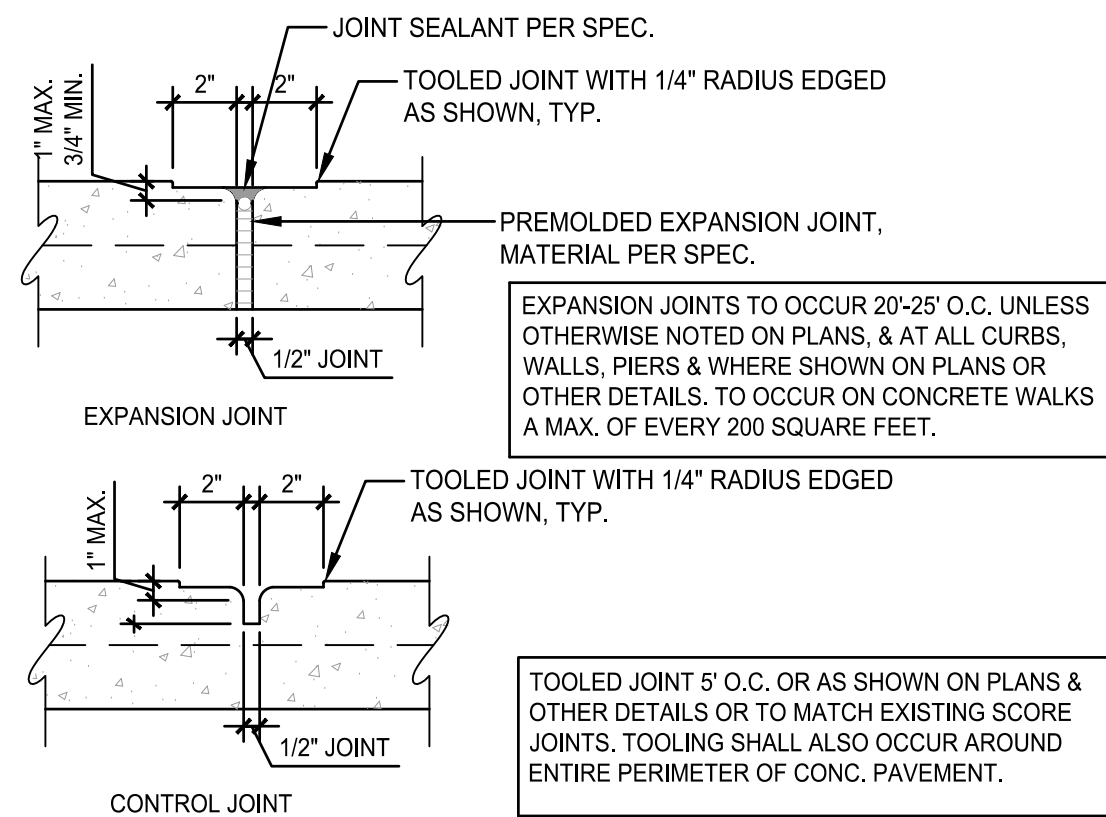
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NOTE: THIS DETAIL IS FOR A NEW BITUMINOUS PAVEMENT ADJACENT TO EXISTING BITUMINOUS PAVEMENT TO REMAIN.

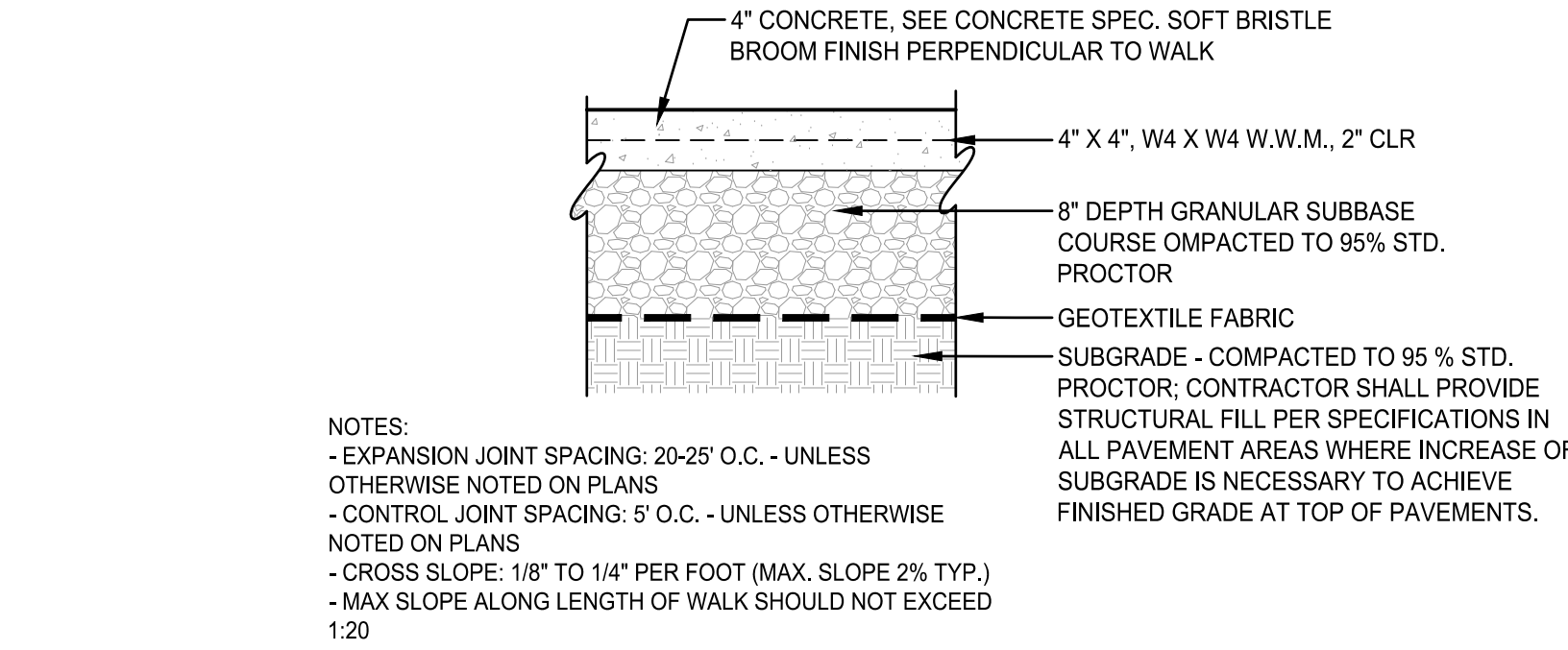
8 ASPHALT PAVEMENT KEY

Scale: NTS



9 CONCRETE JOINTS

Scale: NTS

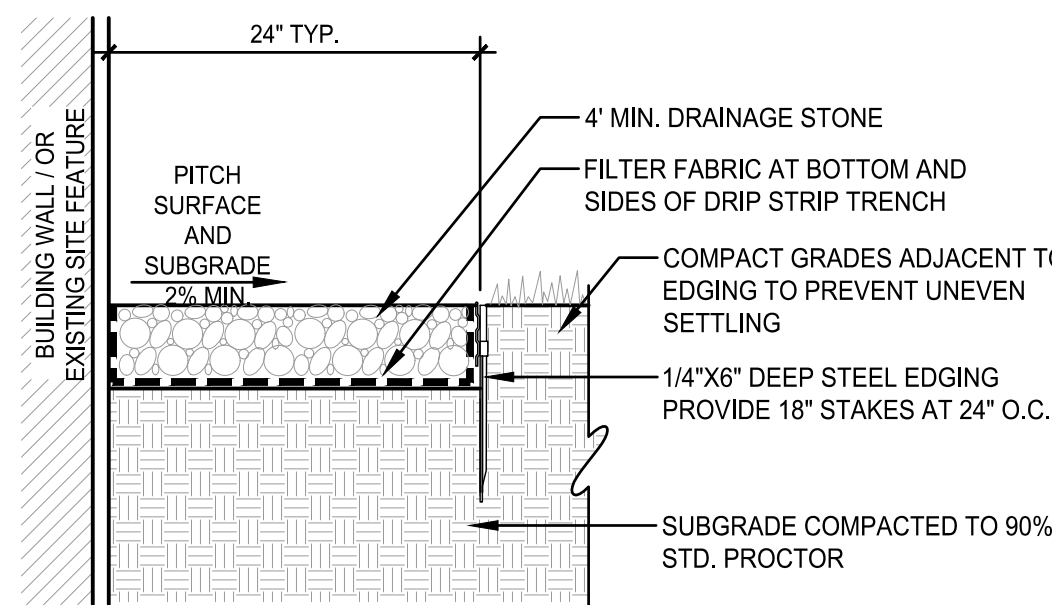


NOTES:

- EXPANSION JOINT SPACING: 20-25' O.C. - UNLESS OTHERWISE NOTED ON PLANS
- CONTROL JOINT SPACING: 5' O.C. - UNLESS OTHERWISE NOTED ON PLANS
- CROSS SLOPE: 1/8" TO 1/4" PER FOOT (MAX. SLOPE 2% TYP.)
- MAX SLOPE ALONG LENGTH OF WALK SHOULD NOT EXCEED 1:20

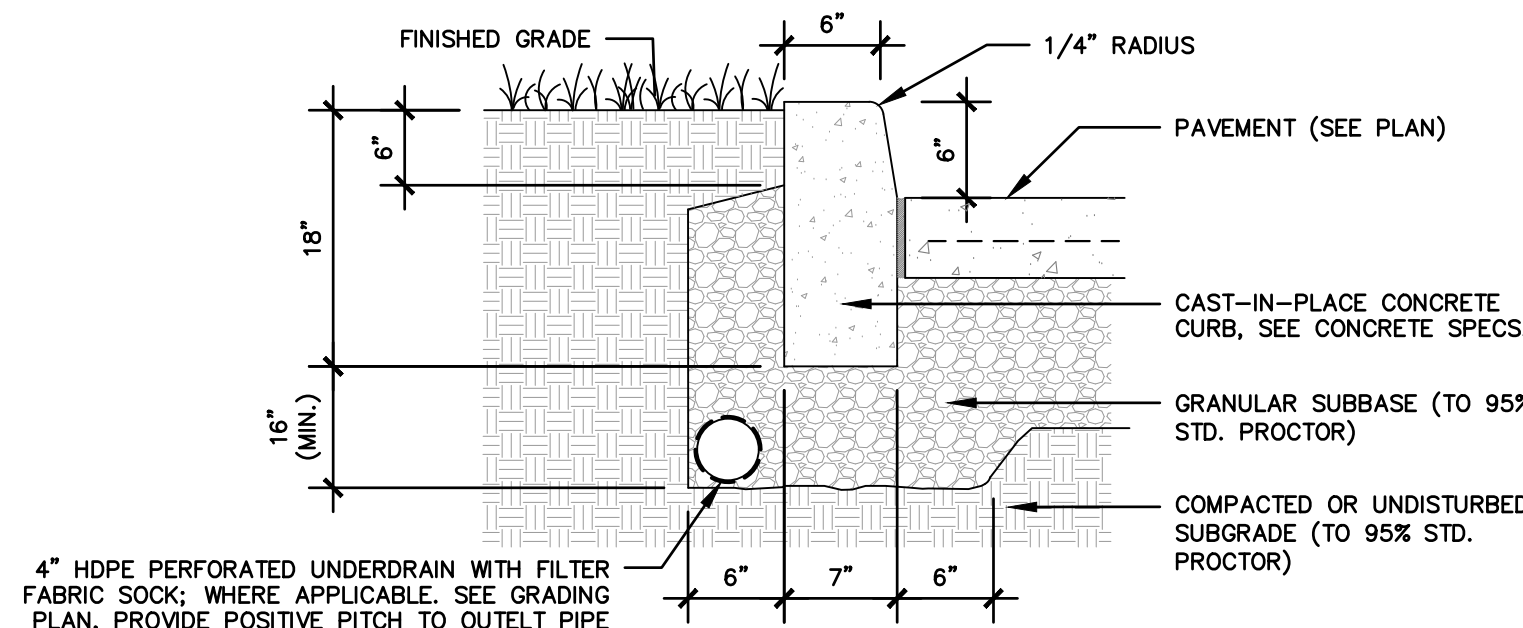
10 CONCRETE PAVEMENT

Scale: NTS



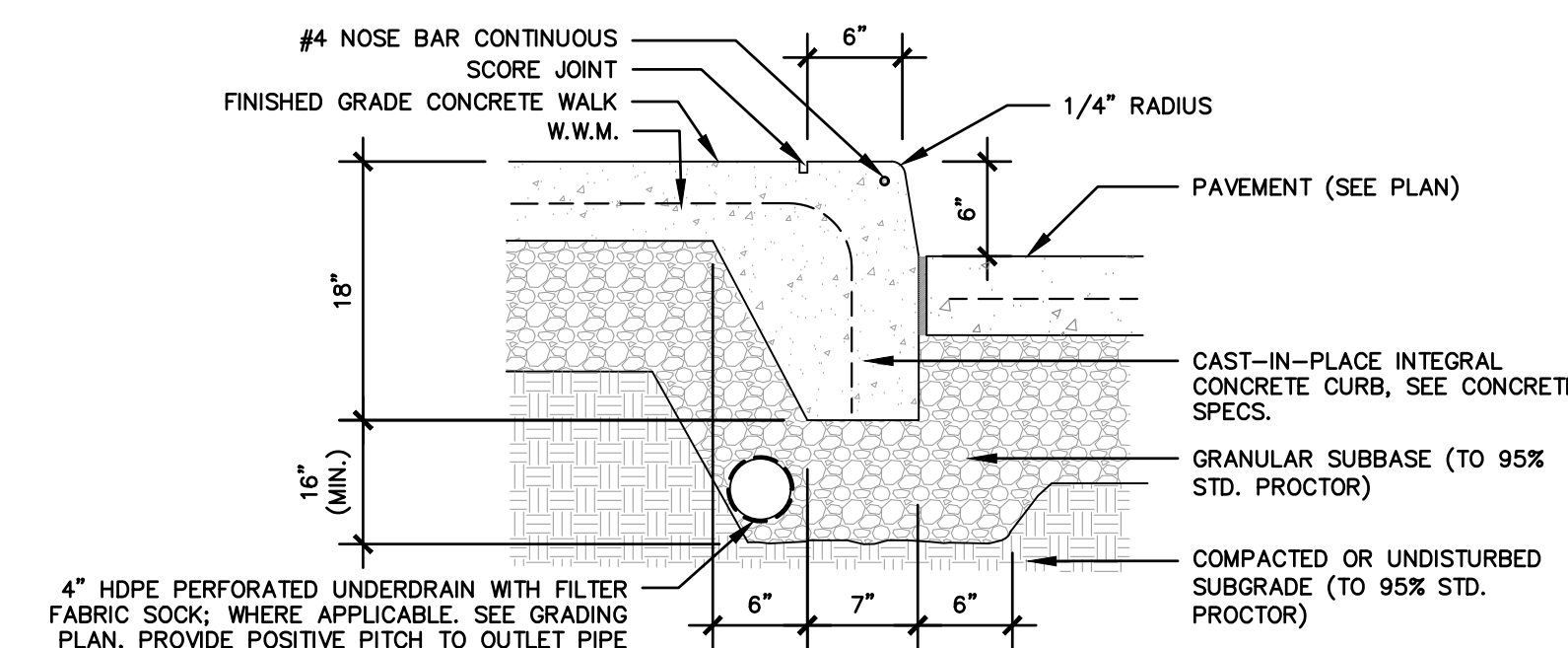
11 PAVEMENT DRIP STRIP

Scale: NTS



12 CONCRETE CURB WITH UNDERDRAIN

Scale: NTS



13 INTEGRAL CURB WITH UNDERDRAIN

Scale: NTS

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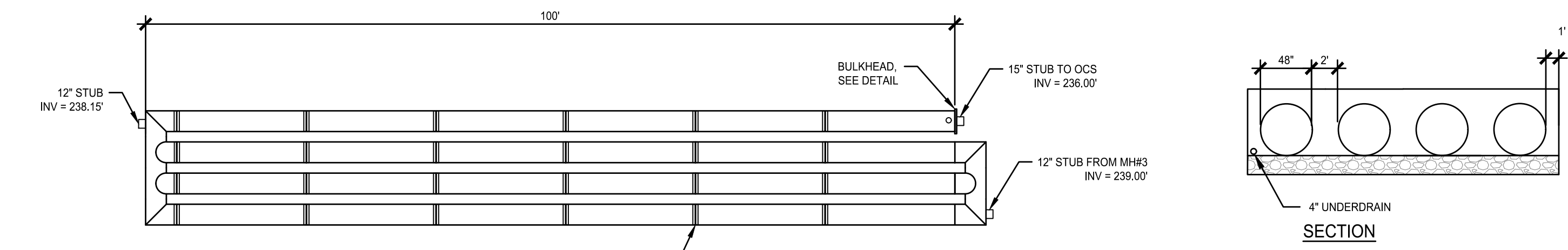
Rev.	Description:	Date:

Drawing Title

SITE DETAILS

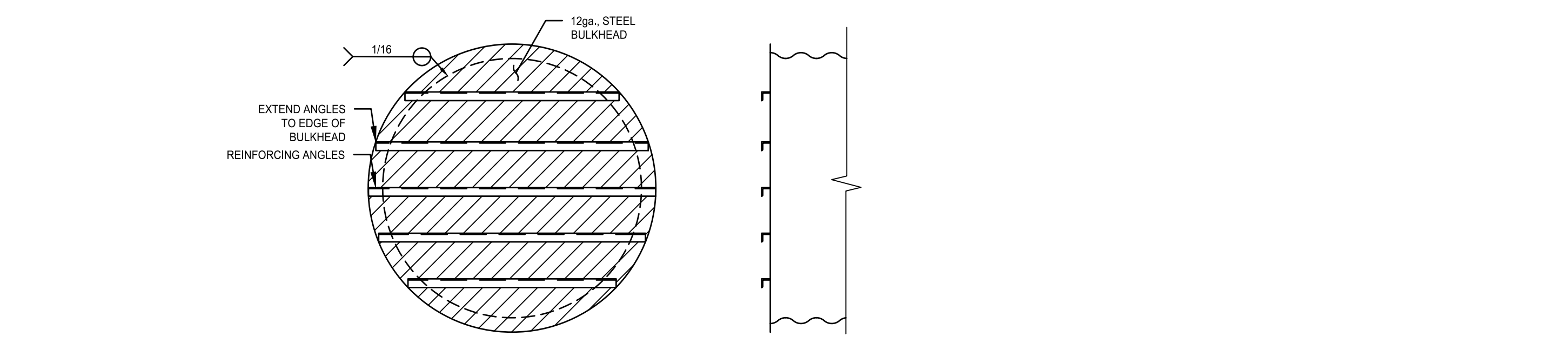
Drawing No.

L400



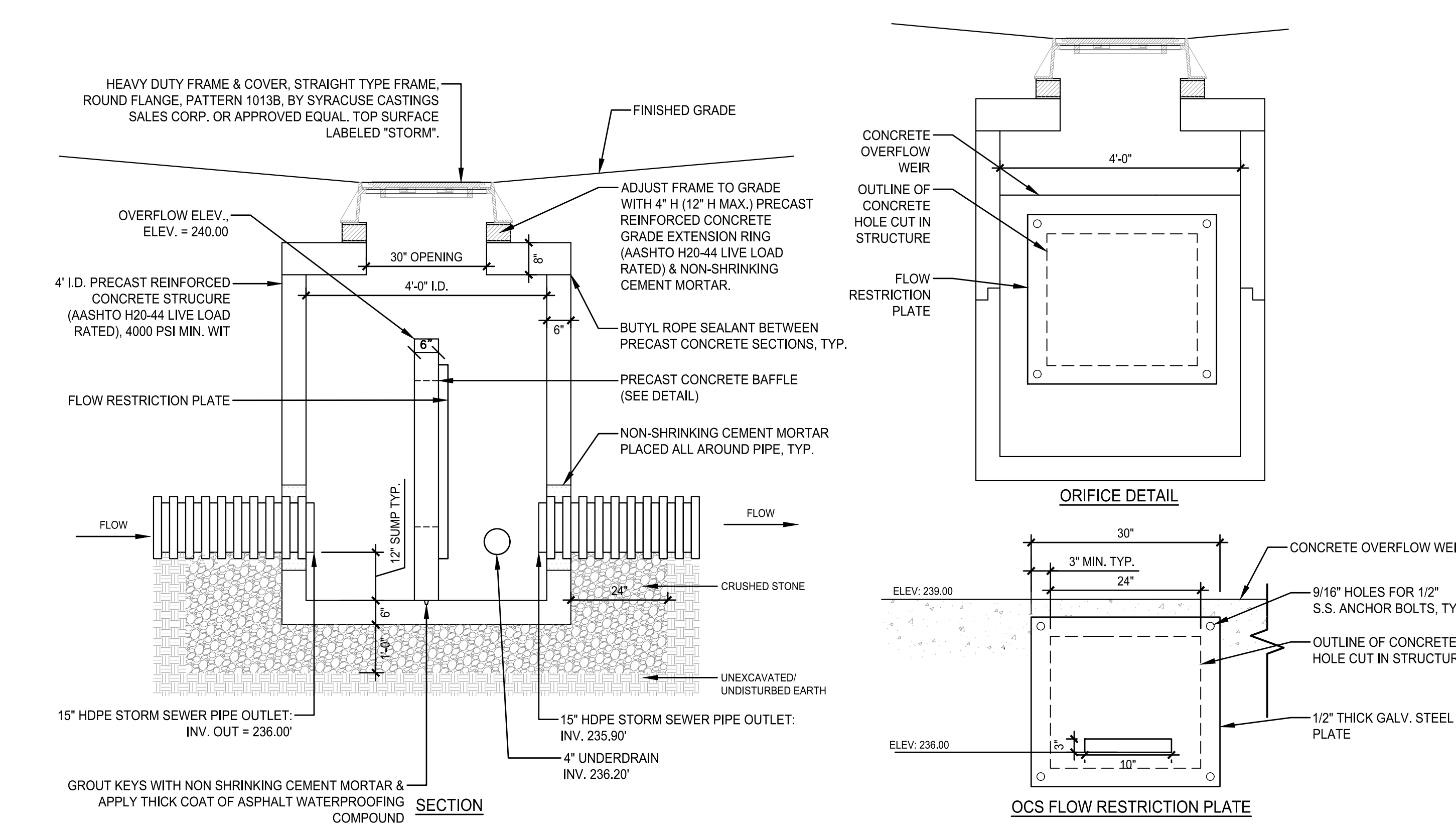
1 UNDERGROUND DETENTION PIPING

SCALE: NTS



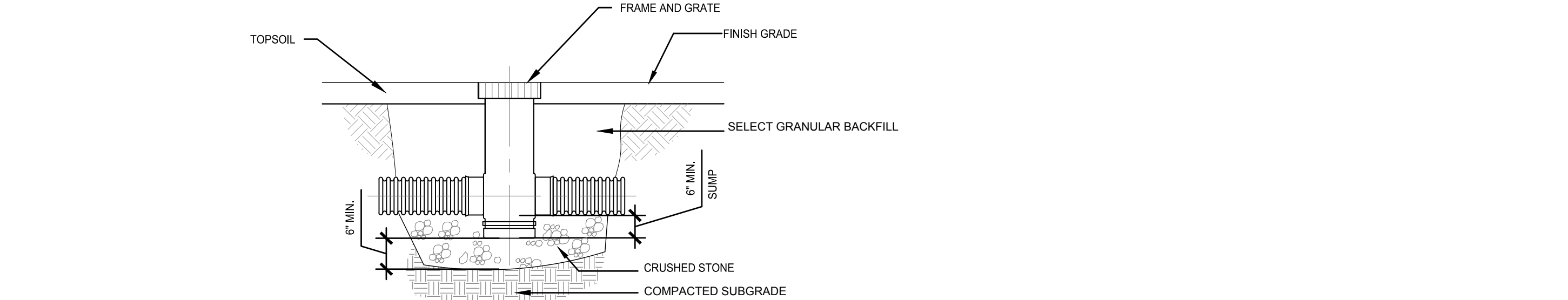
2 DETENTION PIPE BULKHEAD

SCALE: NTS



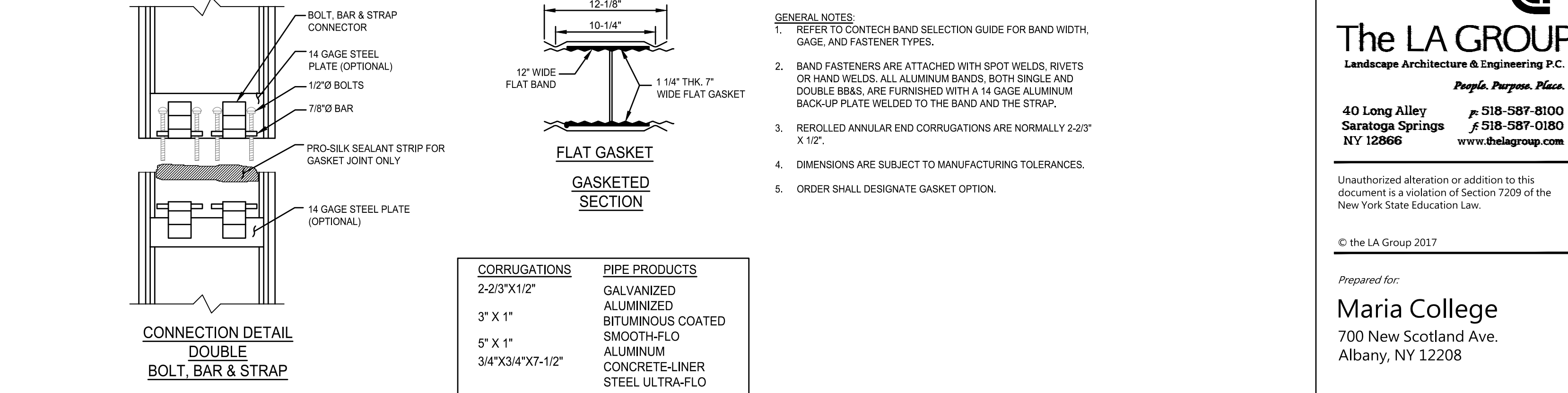
3 OUTLET CONTROL STRUCTURE

SCALE: NTS



4 YARD DRAIN

SCALE: N.T.S



5 H-12 HUGGER BAND DETAIL

SCALE: NTS

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Drawing No.

L403