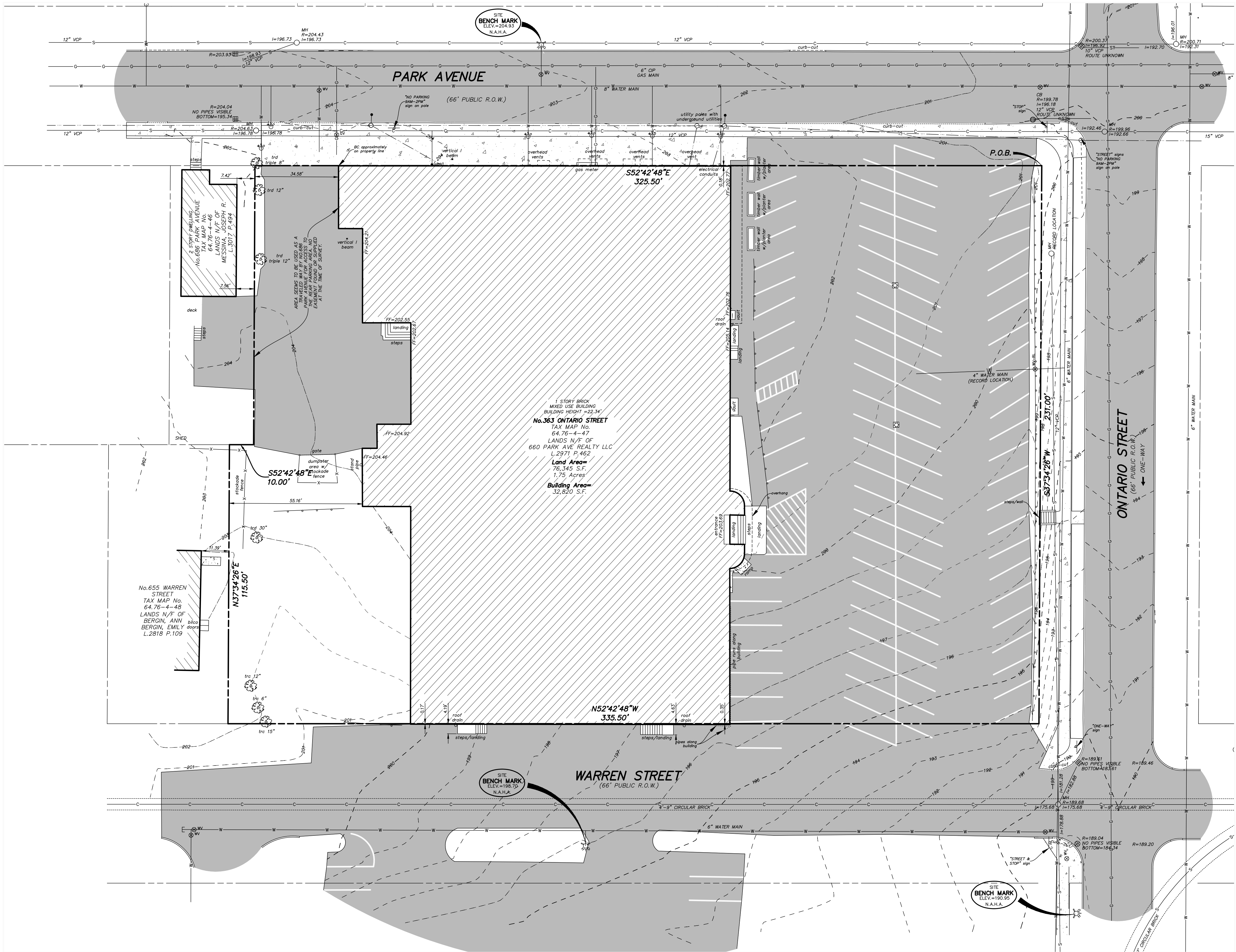




LEGEND

MANHOLE

CATCHBASIN

SIGN

FENCE LINE

GUARD RAIL

OVERHEAD WIRE, UTILITY
POLE & GUY WIRE

WATER SHUT OFF

WATER VALVE

HYDRANT

GAS VALVE

STREET LIGHT

LIGHT POLE

CONCRETE

PAVEMENT

MANHOLE

CATCHBASIN

SIGN

FENCE LINE

GUARD RAIL

OVERHEAD WIRE, UTILITY
POLE & GUY WIRE

WATER SHUT OFF

WATER VALVE

HYDRANT

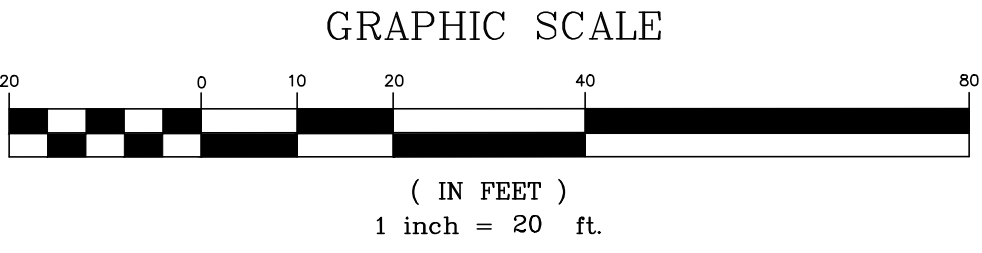
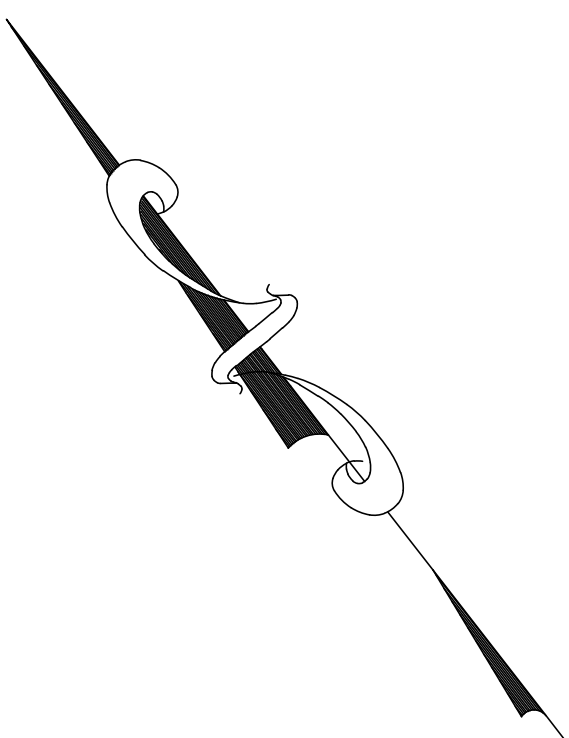
GAS VALVE

STREET LIGHT

LIGHT POLE

CONCRETE

PAVEMENT



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STATE OF NEW YORK

JOSEPH R. HERSHBERG

PROFESSIONAL ENGINEER & LAND SURVEYOR

044226

REMARKS	DATE
BLDG 2 HT. STREET TREES ADDED	9/28/17
2ND COMMENT LETTER	11/27/17
12/6/17 COMMENT LETTER	12/11/17
AND COMMENT LETTER	12/12/17
ENGINEERING & COMMENT LETTER	1/9/18
ENGINEERING COMMENT LETTER	1/12/18

EXISTING CONDITIONS

363 ONTARIO STREET APARTMENTS

ALBANY, NEW YORK

FILE: 170034

SCALE: 1"=20'

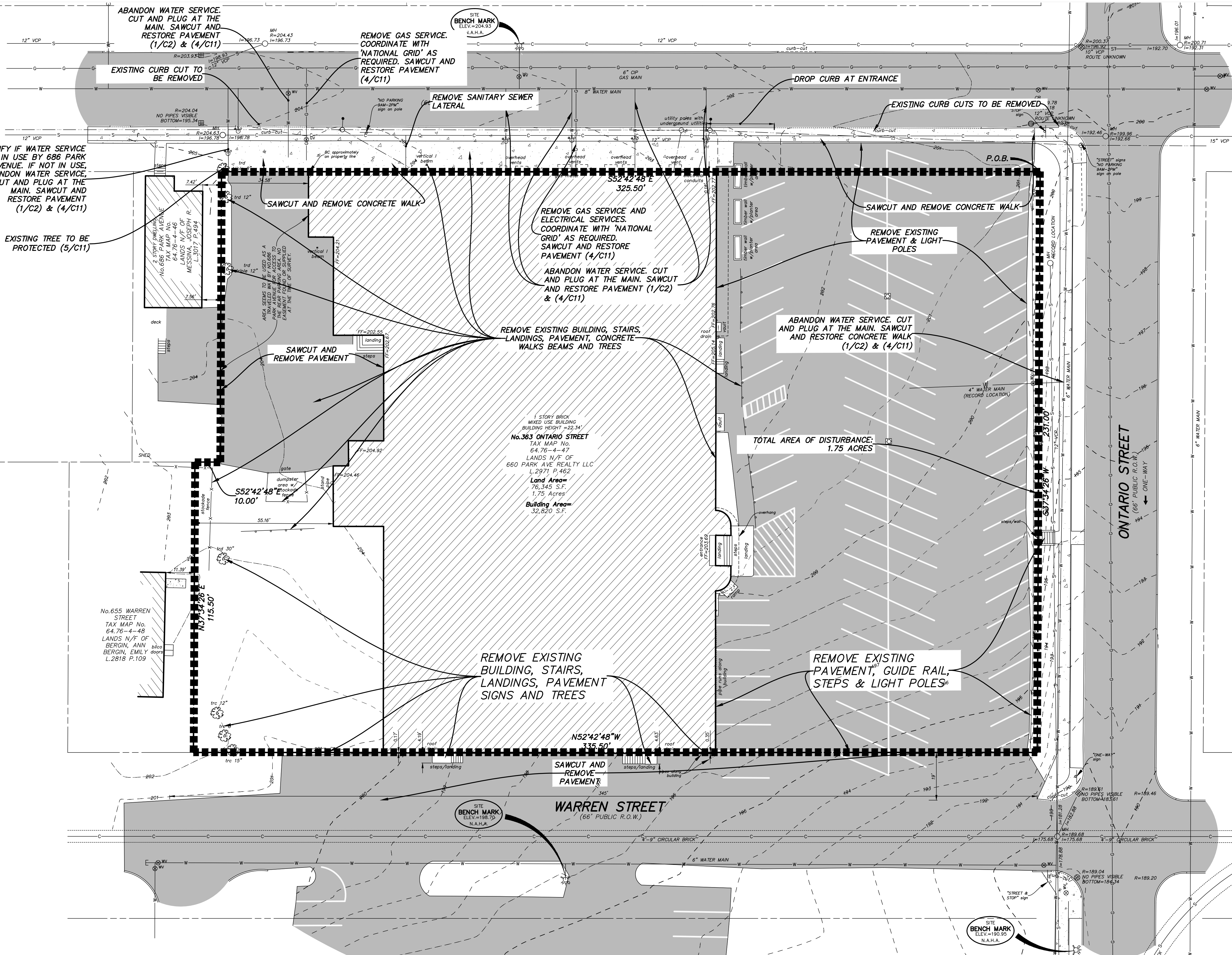
BY: AS

CHK: DRH

DATE: 6/12/17

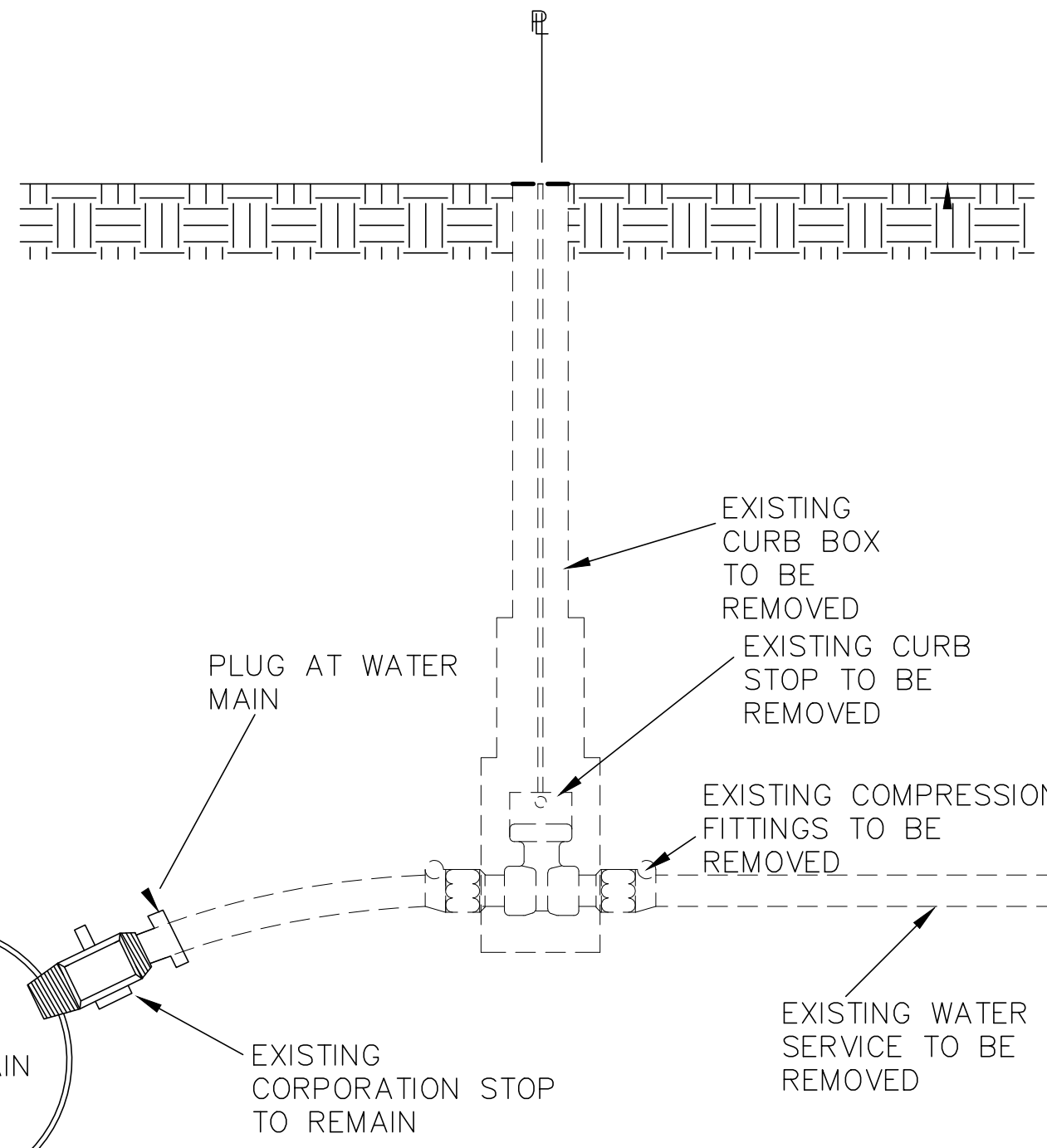
170034-5

C1



LEGEND

- MH MANHOLE
- CATCHBASIN
- SIGN
- FENCE LINE
- GUARD RAIL
- OVERHEAD WIRE, UTILITY POLE & GUY WIRE
- TRAFFIC FLOW ACCESS AREA
- WATER SHUT OFF
- WATER VALVE
- HYDRANT
- GAS VALVE
- STREET LIGHT
- LIGHT POLE
- CONCRETE
- PAVEMENT

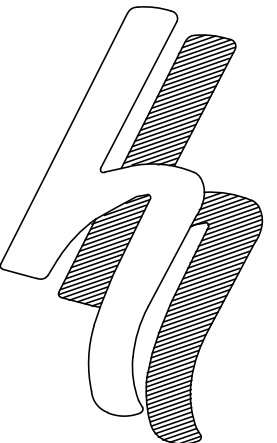
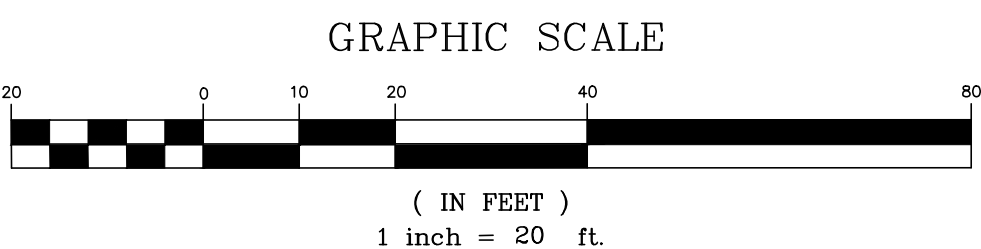


WATER SERVICE
① C2 ABANDONMENT DETAIL

NOT TO SCALE

NOTES

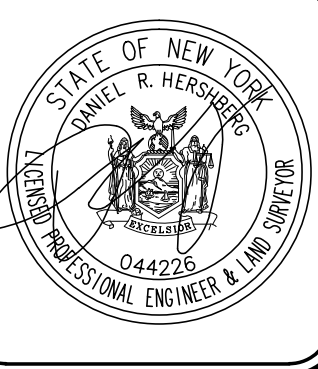
1. REMOVE ALL EXISTING FOUNDATIONS IN ITS ENTIRETY.
2. ALBANY WATER BOARD WILL BE NOTIFIED IMMEDIATELY IF ANY SANITARY LINES ARE FOUND ABANDONED. THE LINE WILL BE DISCONNECTED AT THE SEWER MAIN.
3. ANY WATER OR GAS VALVE BOXES TO REMAIN ARE TO BE SET AT NEW FINISHED GRADE.
4. TREE PROTECTION TO BE INSTALLED PRIOR TO BUILDING OR SITE DEMOLITION.



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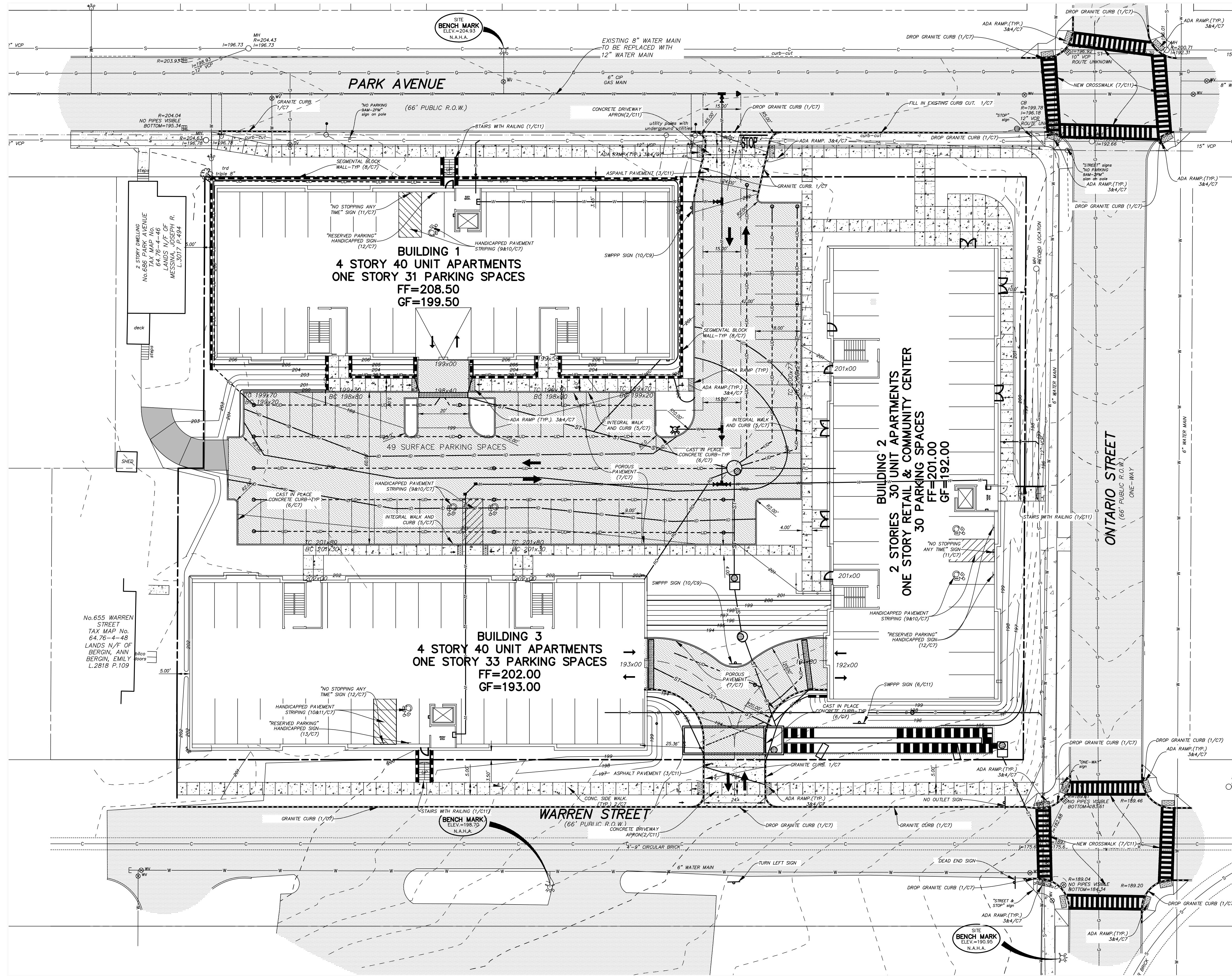
REMARKS	DATE
BLDG 2 HT. STREET TREES ADDED	9/29/17
AND COMMENT LETTER	11/27/17
12/6/17 COMMENT LETTER	12/11/17
AND COMMENT LETTER	12/12/17
ENGINEERING & AND COMMENT LETTER	1/9/18
ENGINEERING COMMENT LETTER	1/12/18

REVISIONS

DEMOLITION PLAN
363 ONTARIO STREET APARTMENTS
ALBANY, NEW YORK

FILE: 170034
SCALE: 1"=20'
BY: AS
CHK: DRH
DATE: 6/12/17
170034-5

C2



LEGEND

- U/T — EXISTING TELEPHONE
- - - - - EXISTING CONTOURS
- - - - - EXISTING WATER MAIN
- - - - - EXISTING HYDRANT
- - - - - EXISTING SEWER MAIN
- - - - - EXISTING WATER MAIN
- - - - - EXISTING GAS MAIN
- - - - - EXISTING COMBINED SEWER
- - - - - PROPOSED CONTOURS
- - - - - PROPOSED CONTOURS
- - - - - PROPOSED WATER MAIN
- - - - - PROPOSED UNDERDRAIN
- - - - - PROPOSED ROOF DRAIN
- - - - - PROPOSED INTERNAL DAM
- - - - - PROPOSED HYDRANT & VALVE
- - - - - PROPOSED SEWER MAIN
- - - - - PROPOSED STORM SEWER
- - - - - PROPOSED SANITARY SEWER MANHOLE
- - - - - PROPOSED STORM MANHOLE
- - - - - STOP SIGN

EXISTING SITE COVERAGE STATISTICS

DESCRIPTION	S.F.	ACRES	%
BUILDING COVERAGE	32,380	0.75	43.86
PAVEMENT COVERAGE	34,538	0.79	45.14
GRASS & LANDSCAPING	8,987	0.21	12.00
TOTAL IMPERVIOUS AREA	67,358	1.54	88.00
TOTAL SITE AREA	76,345	1.75	100.00

PROPOSED SITE COVERAGE STATISTICS

DESCRIPTION	S.F.	ACRES	%
BUILDING COVERAGE	37,260	0.86	49.14
PAVEMENT COVERAGE (POROUS)	16,412	0.37	21.15
SIDEWALK COVERAGE	3,418	0.08	4.57
GRASS & LANDSCAPING	19,255	0.44	25.14
TOTAL IMPERVIOUS AREA	40,678	0.94	53.71
TOTAL SITE AREA	76,345	1.75	100.00

GEOTECHNICAL RECOMMENDATIONS

- ALL EXISTING FILLS SHOULD BE REMOVED AND REPLACED FROM BENEATH NEW BUILDING AREAS, THEIR FOUNDATIONS, AND FLOOR SLABS.
- CONSIDERATION CAN BE GIVEN TO LEAVING THE FILLS IN PLACE BENEATH EXTERIOR PAVEMENTS PROVIDED THAT THEIR SURFACES ARE PROOF-ROLLED AND STABILIZED AND THE OWNER ACCEPTS SOME RISK THAT SETTLEMENT MAY OCCUR IN THE FUTURE AND REQUIRE GREATER THAN NORMAL MAINTENANCE.
- THE NEW BUILDING MAY BE SUPPORTED USING ORDINARY SPREAD FOUNDATIONS BEARING UPON THE UNDISTURBED NATIVE SOILS OR UPON STRUCTURAL FILL PLACED AFTER THE EXISTING FILLS ARE REMOVED FROM THE BUILDING AREAS.
- ALL BUILDINGS SHOULD BE ENCIRCLED WITH FOUNDATION LEVEL DRAINS.
- LAYERS OF TRAPPED OR PERCHED GROUNDWATER MAY BE ENCOUNTERED IN THE SITE EXCAVATIONS AT SHALLOW DEPTHS. SEASONAL FLUCTUATIONS IN GROUNDWATER SWALES AND OR UNDERDRAINS SHOULD BE PROVIDED ALONG AND BENEATH PAVEMENTS, AND FOUNDATION DRAINS ALONG THE SIDES OF THE PERIMETER BUILDING FOUNDATIONS.
- SITE PREPARATION SHOULD PREFERABLY BE DONE DURING A SEASONAL DRY PERIOD TO REDUCE THE ADVERSE IMPACTS OF SOFT/WET SUBGRADES ON CONSTRUCTION. THIS WILL MINIMIZE THE QUANTITY OF UNDERCUTTING THAT WILL BE REQUIRED TO REMOVE AND REPLACE SOFT AND/OR WET SOILS AND ESTABLISH A STABLE BASE FOR CONSTRUCTION. A CONTINGENCY SHOULD BE CARRIED IN THE PROJECT BUDGET FOR UNDERCUTTING AND REPLACEMENT OF SOFT AND/OR WET SUBGRADE SOILS.
- THE ON-SITE SOILS, IN SOME AREAS AND AT CERTAIN DEPTHS, CONTAIN APPRECIABLE AMOUNTS OF SILT, AND THEY WILL BE VERY SENSITIVE TO CONSTRUCTION ACTIVITIES AND EVEN SLIGHT VARIATIONS IN MOISTURE CONTENT.

CITY OF ALBANY NOTES

SITE REQUIREMENTS:

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE FOLLOWING:

THE REMOVAL AND REPLACING OF ALL EXISTING SIDEWALKS, CURBS, STREET PAVEMENT, TREES, BRICK PAVERS, AND SHRUBBERY DAMAGED DURING THE COURSE OF THIS PROJECT AND WITHIN THE FULL LIMITATIONS OF THE PROJECT.

IT WILL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL METHODS AVAILABLE HAVE BEEN TAKEN TO PROTECT ALL THE ADJACENT ENTRIES BEFORE CONSTRUCTION WORK BEGINS.

IF AT ANY TIME DURING SAID CONSTRUCTION, THE CITY ENGINEER OR HIS REPRESENTATIVE DEEM THAT ANY AND/OR ALL PORTIONS OF SIDEWALK, CURB PAVEMENT AND/OR ANY OTHER APPURTENANCES HAVE BEEN DAMAGED BY EITHER THE GENERAL CONTRACTOR OR ANY OF HIS SUB-CONTRACTORS, IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE ALL REPAIRS AND/OR CORRECTIONS TO SAID AREAS WITHOUT ANY COST TO THE CITY OF ALBANY.

PERMIT REQUIREMENTS:

THE GENERAL CONTRACTOR, PRIOR TO BEGINNING ANY WORK ON SAID PROJECT, WILL OBTAIN THE FOLLOWING PERMITS WHERE APPLICABLE:

- *ENGINEERING DEPARTMENT
- *GRADING AND MINING
- *SANITARY/STORM SEWER
- *RETAINING WALL
- *WATER DEPARTMENT
- *DEPARTMENT OF GENERAL SERVICES
- *CURB CUT APPLICATION
- *SIDEWALK/CURB RESTORATION
- *STREET RESTORATION
- *WATER SERVICE

THE CONTRACTOR WILL OBTAIN BEFORE BEGINNING OF CONSTRUCTION ALL REQUIRED PERMITS LIABILITY INSURANCE FOR \$100,000.00 AND A PERFORMANCE BOND AS ASSESSED BY CITY ENGINEER, BOND AND LIABILITY INSURANCE TO BE SUBMITTED TO THE ENGINEERING DEPARTMENT BEFORE THE GENERAL CONTRACTOR INTENDS TO BEGIN ANY SITE EXCAVATION.

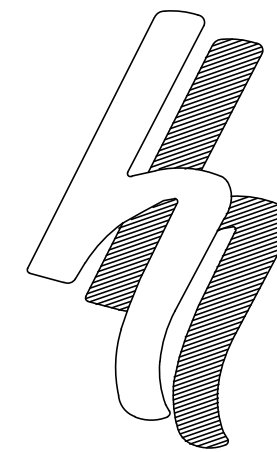
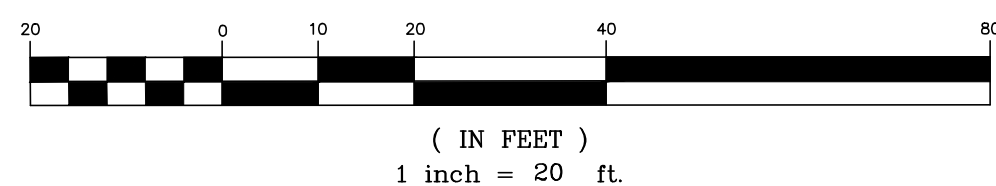
THE CONTRACTOR WILL NOTIFY THE ENGINEERING DEPARTMENT FORTY-EIGHT (48) HOURS PRIOR TO PERFORMING ALL UTILITY OR SITE RESTORATION WORK. FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT BEFORE BEGINNING WORK COULD RESULT IN A ONE HUNDRED DOLLAR (\$100.00) FINE FOR EACH DAY THE OFFENSE OCCURS.

THE CONTRACTOR WILL NOTIFY THE DEPARTMENT OF WATER AND WATER SUPPLY FORTY-EIGHT (48) HOURS PRIOR TO SCHEDULE AN INSPECTION FOR WATER, SANITARY AND STORM UTILITY WORK.

NOTES

- RESTORE PAVEMENT AFTER REMOVAL OF EXISTING UTILITIES. SEE DETAIL 4/C11.
- WATER AND GAS VALVE BOXES TO REMAIN ARE TO BE SET AT NEW FINISHED GRADE.
- OWNER TO OBTAIN LICENSING AGREEMENT FOR MAINTENANCE OF STAIRS IN CITY OF ALBANY.
- RELOCATE ANY SIGNAGE IN CONFLICT WITH PROPOSED ADA DETECTABLE SURFACES.
- KNOX BOX TO BE LOCATED AT EACH BUILDING ENTRANCE.

GRAPHIC SCALE



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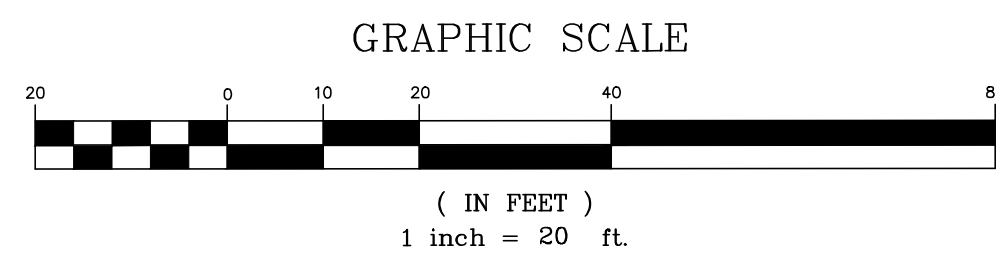
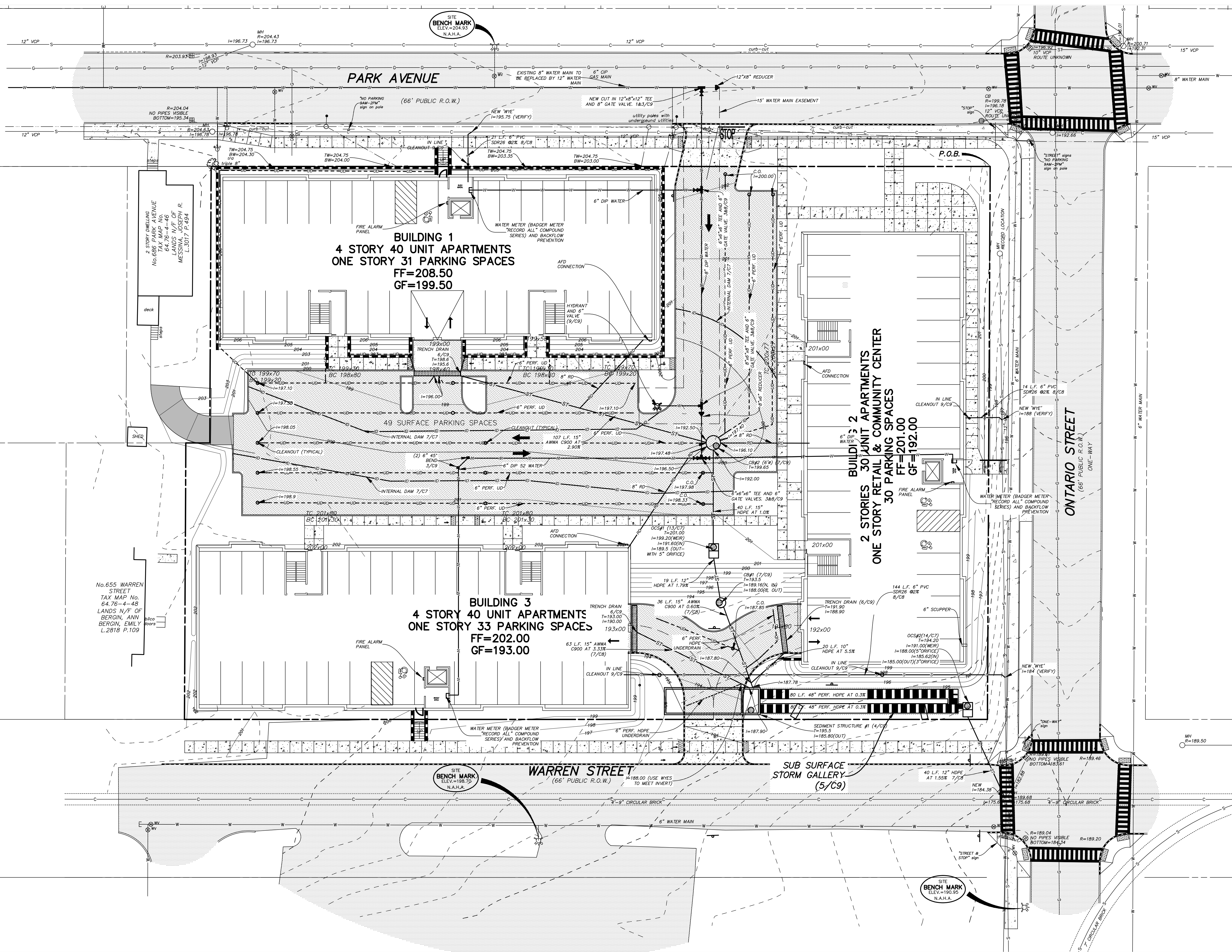


REMARKS	DATE
WALK AND STEPS ADDED TO BUILDINGS 1, 2 & 3	9/28/17
AND COMMENT LETTER	11/21/17
12/17/17 COMMENT LETTER	12/17/17
AND COMMENT LETTER	12/17/17
ENGINEERING & AND COMMENT LETTER	1/19/18
ENGINEERING COMMENT LETTER	1/19/18

REVISIONS

SITE PLAN
363 ONTARIO STREET APARTMENTS
ALBANY, NEW YORK

SCALE: 1"=20'
DATE: 6/12/17
CHK: DRH
BY: AS
FILE: 170034
170034-5

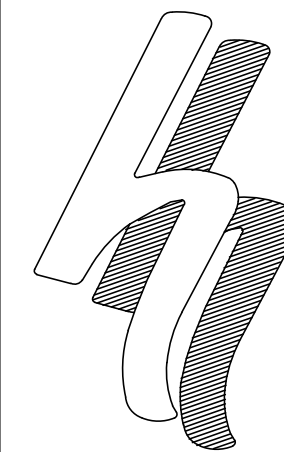


LEGEND

- U/T EXISTING TELEPHONE
- 199 EXISTING CONTOURS
- W EXISTING WATER MAIN
- 24% EXISTING HYDRANT
- OMH EXISTING SEWER MAIN
- W EXISTING WATER MAIN
- G EXISTING GAS MAIN
- C EXISTING COMBINED SEWER
- 199 EXISTING CONTOURS
- 200 PROPOSED CONTOURS
- W PROPOSED WATER MAIN
- UD PROPOSED UNDERDRAIN
- RD PROPOSED ROOF DRAIN
- ID PROPOSED INTERNAL DAM
- HYD EXISTING HYDRANT & VALVE
- S PROPOSED SEWER MAIN
- ST PROPOSED STORM SEWER
- SMH PROPOSED SANITARY SEWER MANHOLE
- SMH PROPOSED STORM MANHOLE
- STOP STOP SIGN
- PROPOSED POROUS PAVEMENT
- PROPOSED CURB
- PROPOSED WALL
- PAVEMENT WITHIN CITY OF ALBANY R.O.W.
- HANDICAPPED RAM WITH DETECTABLE SURFACE
- HANDICAPPED PARKING
- STOP BAR
- TRAFFIC FLOW MARKING
- 280x90 FINISH GRADE SPOT ELEVATION
- PROPOSED BUILDING MOUNTED LIGHTS

NOTES

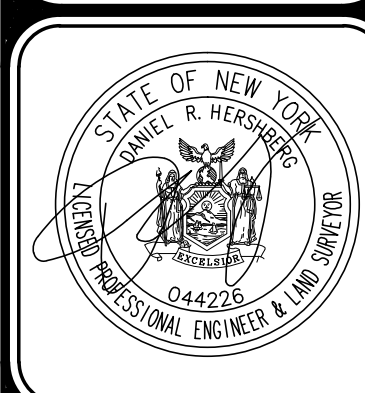
- 48 HOURS NOTICE MUST BE GIVEN TO DEPARTMENT OF WATER FOR INSPECTIONS FOR THE SANITARY, WATER AND STORMWATER UTILITIES.
- PRESSURE AND LEAKAGE TESTING OF THE WATER MAIN SHALL BE WITNESSED BY DEPARTMENT STAFF AND ACCEPTABLE BACTERIOLOGICAL TEST MUST BE SUBMITTED AND ACCEPTED BY THE DEPARTMENT PRIOR TO FINAL OF THE NEW WATER MAIN.
- WATER AND GAS VALVE BOXES TO REMAIN ARE TO BE SET AT NEW FINISHED GRADE.
- MECHANICAL RESTRAINTS ARE REQUIRED AT WATER MAIN JOINTS. SEE DETAIL 8/C11.



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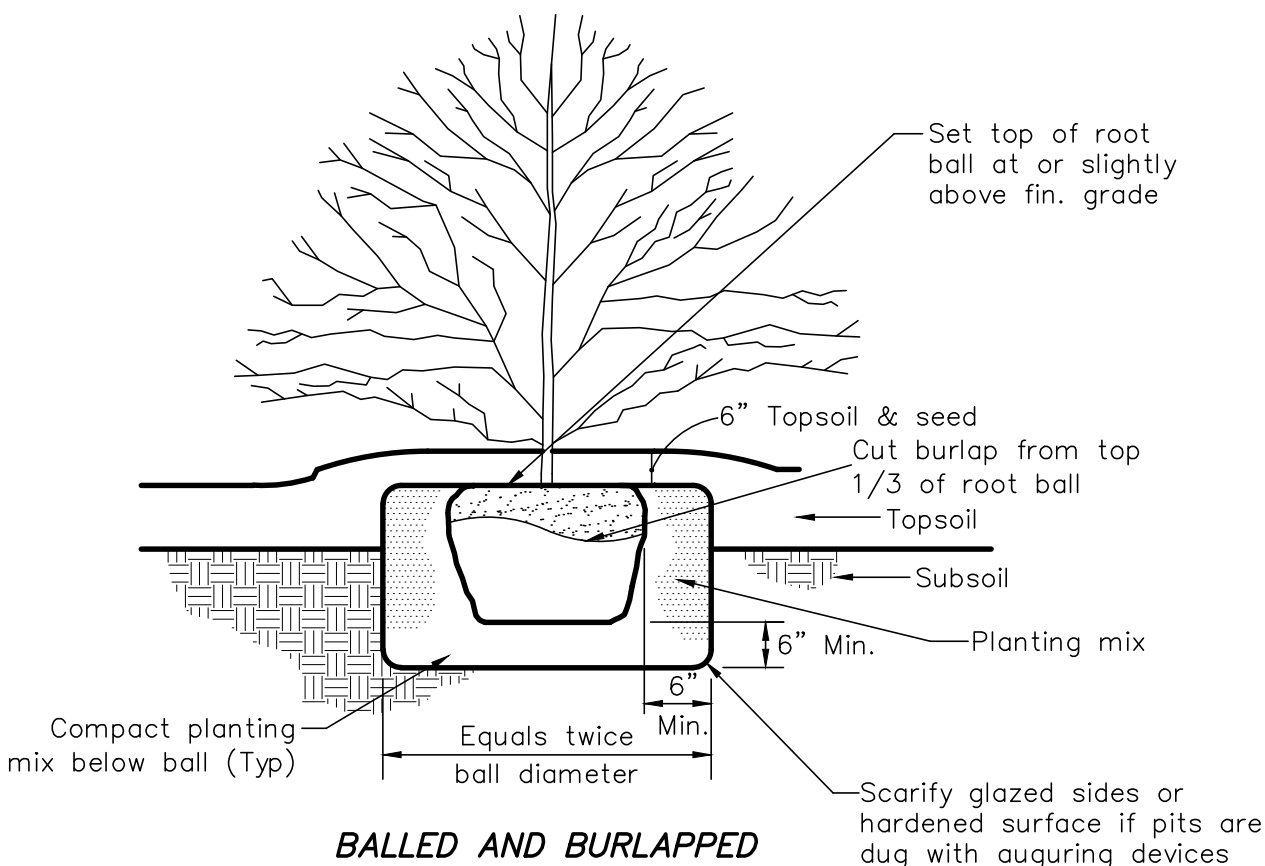
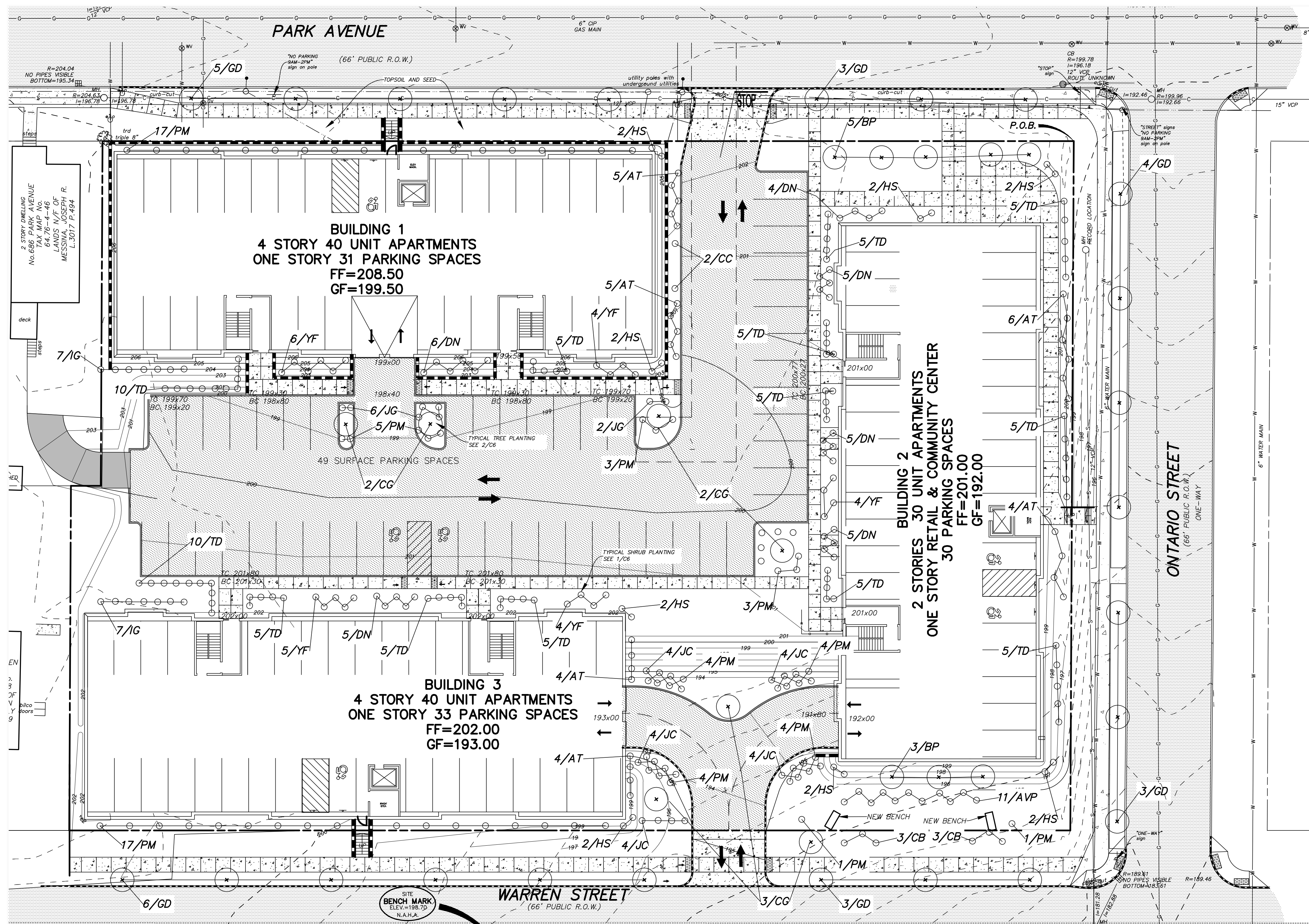
REMARKS	DATE
BLDG 2 HT. STREET TREES ADDED	9/28/17
WALK AND STEPS ADDED TO BUILDINGS 1,2&3 AND COMMENT LETTER	9/28/17
12/28/17 COMMENT LETTER	12/21/17
AND COMMENT LETTER	12/12/17
ENGINEERING & LAND SURVEYING	1/2/18

REVISIONS

UTILITY PLAN
363 ONTARIO STREET APARTMENTS
ALBANY, NEW YORK

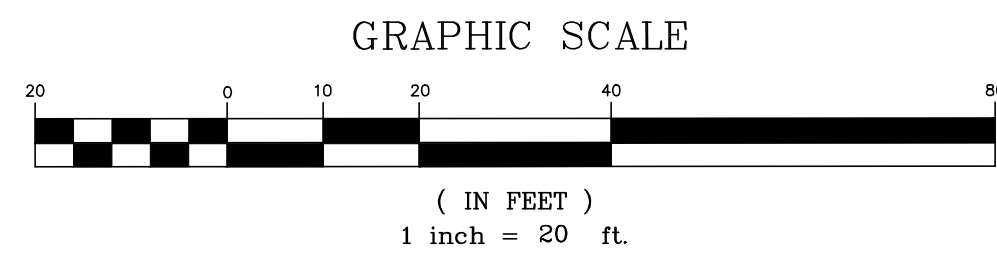
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DATE: 6/12/17
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BY: AS
170034-5

C4



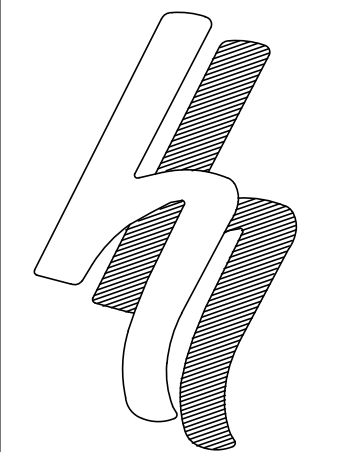
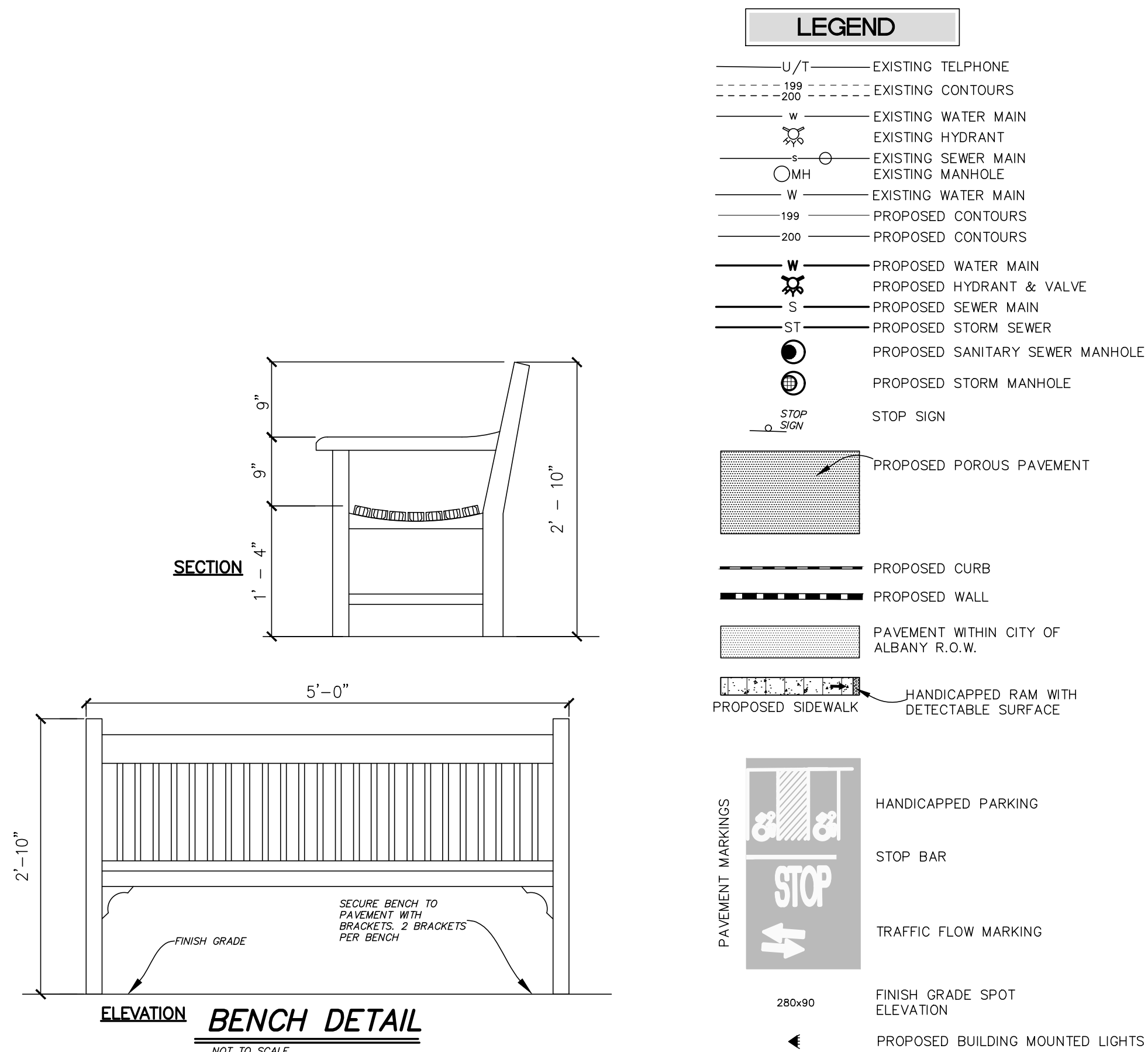
Notes:
1. Do not add fertilizer to planting mix for fall planting.

SHRUB PLANTING DETAIL
NOT TO SCALE



PLANT MATERIAL SCHEDULE					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	AMT	COMMENTS
SHRUBS					
AT	AZALEA 'STEWARTSONIAN'	STEWARTSONIAN AZALEA	18"-24" HT.	28	C.G.
DN	PHYSCARPUS 'OPULIFOLIUS' 'DART'S GOLD'	LITTLE DRAT NINEBARK	18"-24" HT.	30	C.G.
HS	HIBISCUS 'SINOYRIACUS' 'PINK GIANT'	ROSE OF SHARON 'PINK GIANT'	4'-5'	16	B & B
IG	ILEX GLABRA	INKBERRY	2 1/2" HT.	14	B & B
JG	JUNIPERUS CHINENSIS 'PFITZERIANA'	PFITZER JUNIPER	3' SPREAD	30	B & B
JG	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18" HT.	2	C.G.
PM	PRUNUS MUGHUS 'SLOWMOUND'	MUGHO PINE	5 GAL.	63	C.G.
TD	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	24" HT.	75	B & B
YF	YUCCA FILAMENTOSA 'GOLDEN SWORD'	YUCCA	18"-24" HT.	23	C.G.
TREES					
BP	BETULA Papyrifera	CANDY BIRCH	8'-10' HT.(HVVY CLUMP)	8	B & B
CG	CRATAEGUS CRUGALLI VAR. INERMIS	THORNLESS COCKSPUR HAWTHORN	2'-2 1/2" CAL.	9	B & B
GD	GLADITSIA TRIACANTHOS INERMIS 'SUNBURST'	SUNBURST HONEYLOCUST	2 1/2"-3" CAL.	24	B & B
PERENNIALS					
AVP	ASTILBE 'VISIONS IN PINK'	VISION IN PINK ASTILBE	2 GAL.	11	C.G.
CB	CHYSANTHEMUM SUPERBUM 'ALASKA'	SHASTA DAISY	1 GAL.	6	C.G.

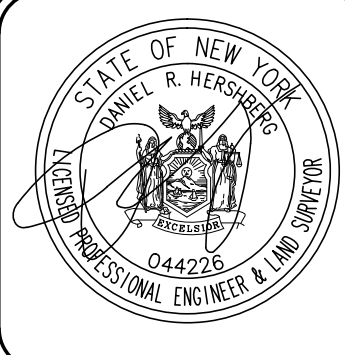
SEED MIXES SHALL BE AS FOLLOWS:
SLOPES 1' VERTICAL TO 3' HORIZONTAL OR GREATER & ALL DETENTION BASINS--55% CLEFINE TALL FESCUE, 15% NASSAU KENTUCKY BLUEGRASS, 10% PALMER PERENNIAL RYEGRASS, 10% SABRE OR LASER POA TRIVIALIS, 5% STREAKER REDTOP, 5% REED CANARYGRASS APPLIED AT A RATE OF 5#/1000 SQ. FT.
ALL OTHER AREAS--60% NASSAU KENTUCKY BLUEGRASS, 20% JAMESTOWN CHEWING FESCUE 20% PALMER PERENNIAL RYEGRASS APPLIED AT A RATE OF 4#/1000 SQ. FT.



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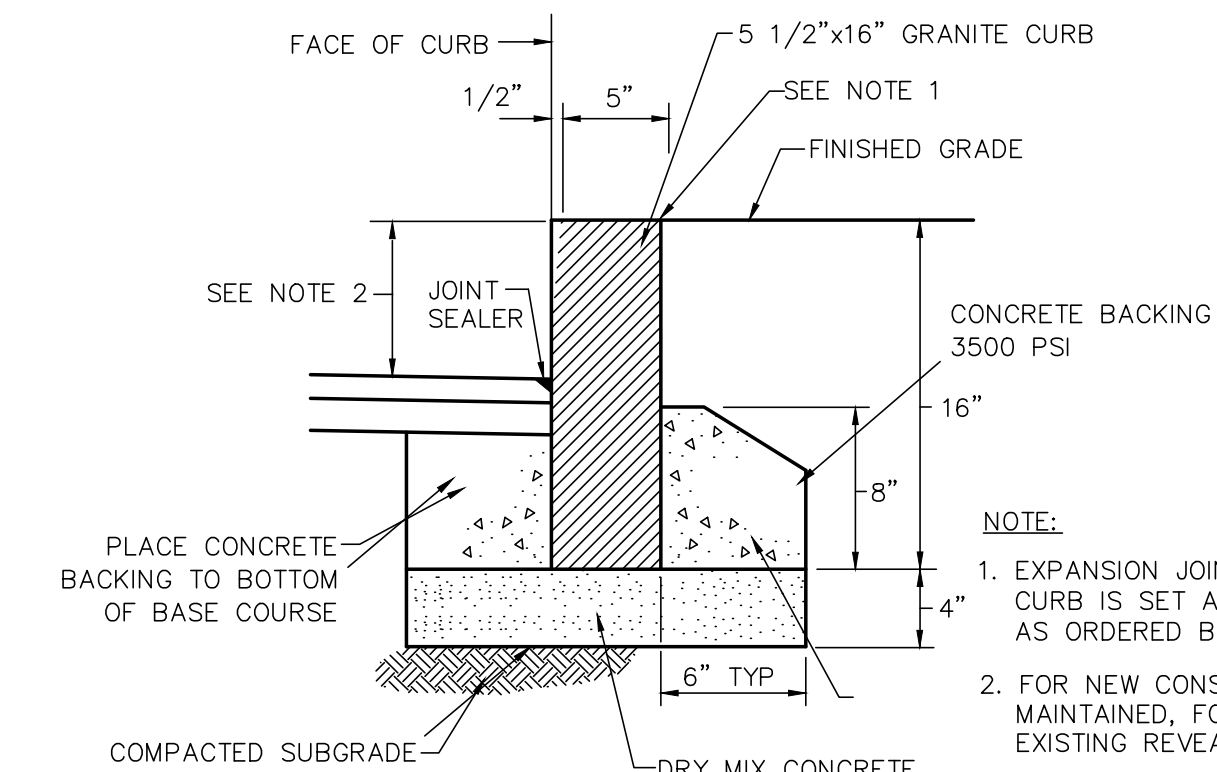


DATE	REMARKS	REVISIONS
10/25/17	ACCESS TO PROPERTY TO THE EAST	
11/27/17	AND COMMENT LETTER	
12/11/17	AND COMMENT LETTER	
12/12/17	AND COMMENT LETTER	
1/9/18	ENGINEERING & COMMENT LETTER	
1/12/18	ENGINEERING COMMENT LETTER	

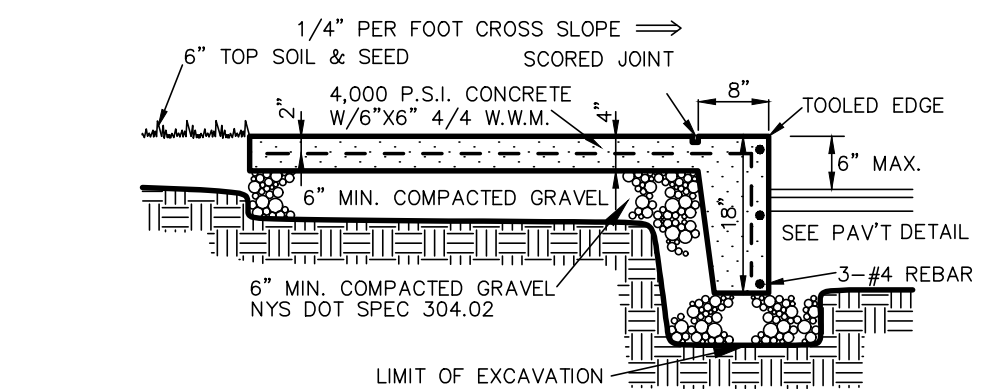
LANDSCAPE PLAN
363 ONTARIO STREET APARTMENTS
ALBANY, NEW YORK

DATE: 6/12/17
CHK: DRH
BY: AS
SCALE: 1"=20'
FILE: 170034

C6



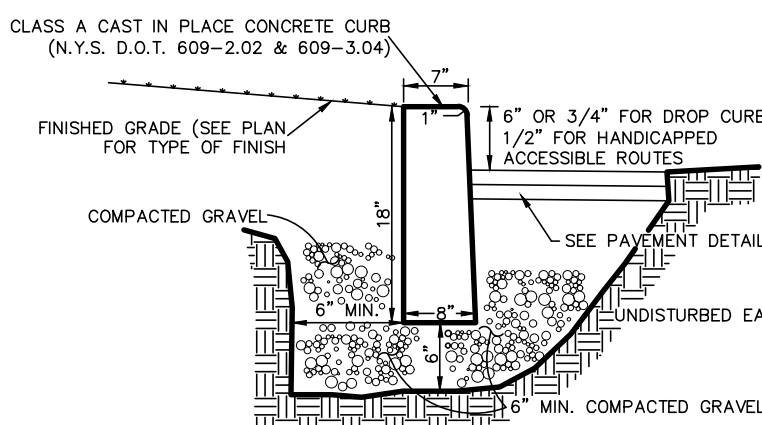
1 GRANITE CURB DETAIL
NOT TO SCALE



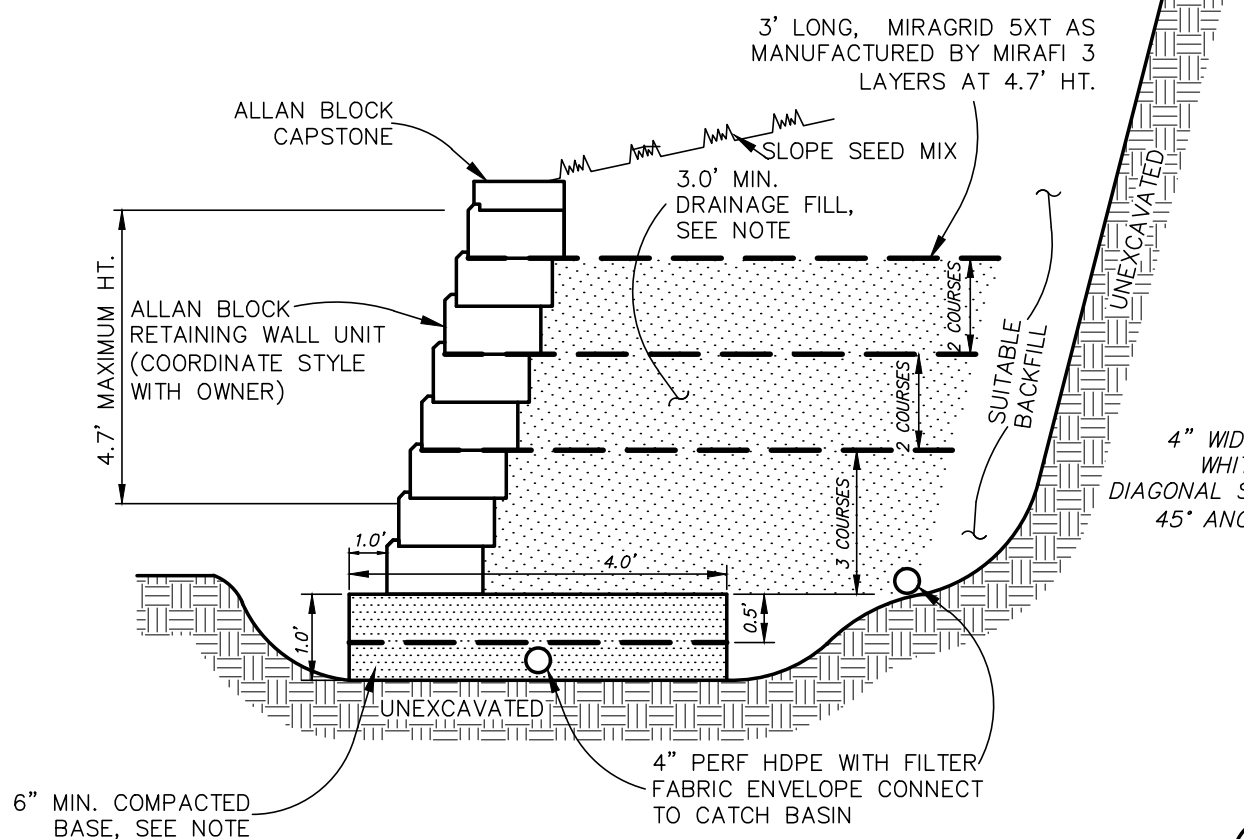
5 INTEGRAL WALK & CURB DETAIL
NOT TO SCALE

DECOMPACTION NOTES:

- A. PRIOR TO DEEP RIPPING AND DECOMPACTIONING THE SITE, ALL CONSTRUCTION ACTIVITY, INCLUDING CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE, SITE CLEANUP AND TRAFFICKING, SHOULD BE FINISHED; AND THE SITE CLOSED OFF TO FURTHER DISTURBANCE. LIKEWISE, ONCE THE PRACTICE IS UNDERWAY AND THE AREA'S SOIL PERMEABILITY AND RAINFALL INFILTRATION ARE BEING RESTORED, POLICY LIMITING ALL FURTHER TRAFFIC TO PERMANENT TRAVEL LANES IS MAINTAINED.
- B. DEEP RIP THE AFFECTED THICKNESS OF EXPOSED SUBSOIL MATERIAL, AGGRESSIVELY FRACTURING IT BEFORE THE POROUS PAVEMENT SUBGRADE MATERIAL, SUBSURFACE INFILTRATION BASIN OR PROTECTED TOPSOIL REAPPLIED ON THE SITE.
- C. THE PATTERNS FOR DECOMPACTION SHALL FOLLOW THE FOLLOWING:
- FIRST, MAKE A PARALLEL SERIES OF PASSES ALONG THE LONGEST AXIS OF AREA TO BE DECOMPACTIONED.
 - A SECOND SERIES OF PASSES MAKES A BROAD "S" SHAPED PATTERN OF RIPS, CONTINUALLY AND GRADUALLY ALTERNATING THE "S" CURVES BETWEEN OPPOSITE EDGES INSIDE THE AREA TO BE DECOMPACTIONED.
 - THE THIRD AND FINAL SERIES AGAIN USES THE BROAD, ALTERNATING S PATTERN, BUT IT IS "FLIP-FLOPPED" TO CONTINUALLY CROSS THE PREVIOUS S PATTERN ALONG THE CORRIDOR'S CENTERLINE. THIS FINAL SERIES OF THE S PATTERN CURVES BACK ALONG THE EDGE AREAS SKIPPED BY THE SECOND SERIES.
- D. WHERE TOPSOIL AND/OR PLANTINGS ARE TO BE THE FINISHED SURFACE DECOMPACTION SIMULTANEOUSLY THROUGH THE RESTORED TOPSOIL LAYER AND THE UPPER HALF OF THE AFFECTED SUBSOIL. A SECOND PHASE DECOMPACTION MAY BE REQUIRED TO MITIGATE THE PARTIAL RECOMPACTION WHICH OCCURS DURING THE HEAVY PROCESS OF TOPSOIL SPREADING/GRADING.

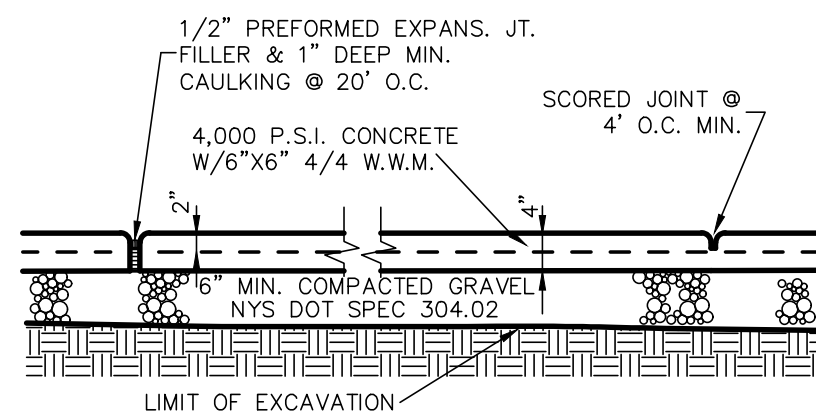


6 CONCRETE CURB (CAST IN PLACE) DETAIL
NOT TO SCALE

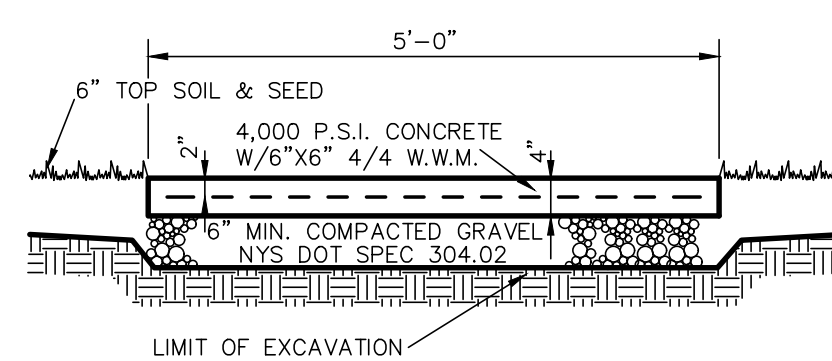


NOTE:
BASE AND DRAINAGE MATERIAL MUST BE WELL GRADED COMPACTIBLE AGGREGATE, 0.25 INCH TO 1.5 INCH, (5mm-38mm) WITH NO MORE THAN 10% PASSING THE #200 SIEVE.

8 SEGMENTED BLOCK RETAINING WALL DETAIL
NOT TO SCALE

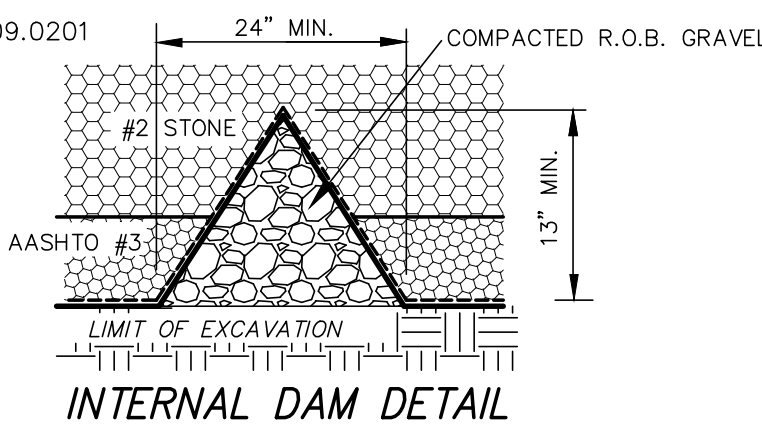


LONGITUDINAL SECTION

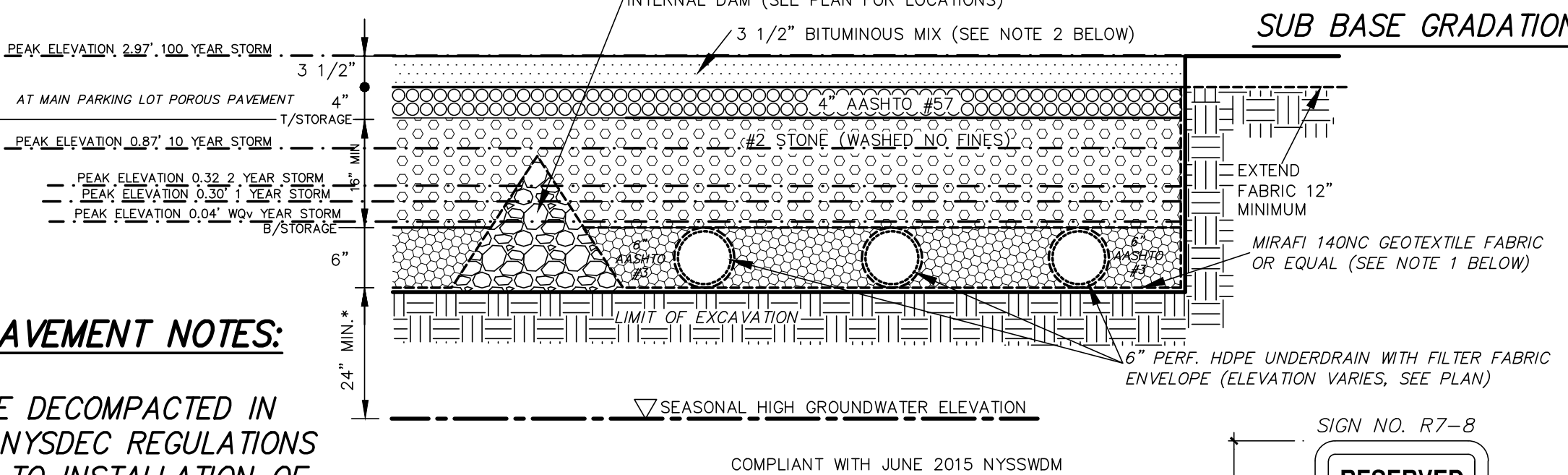


CROSS SECTION

2 CONCRETE WALK DETAIL
NOT TO SCALE



INTERNAL DAM DETAIL

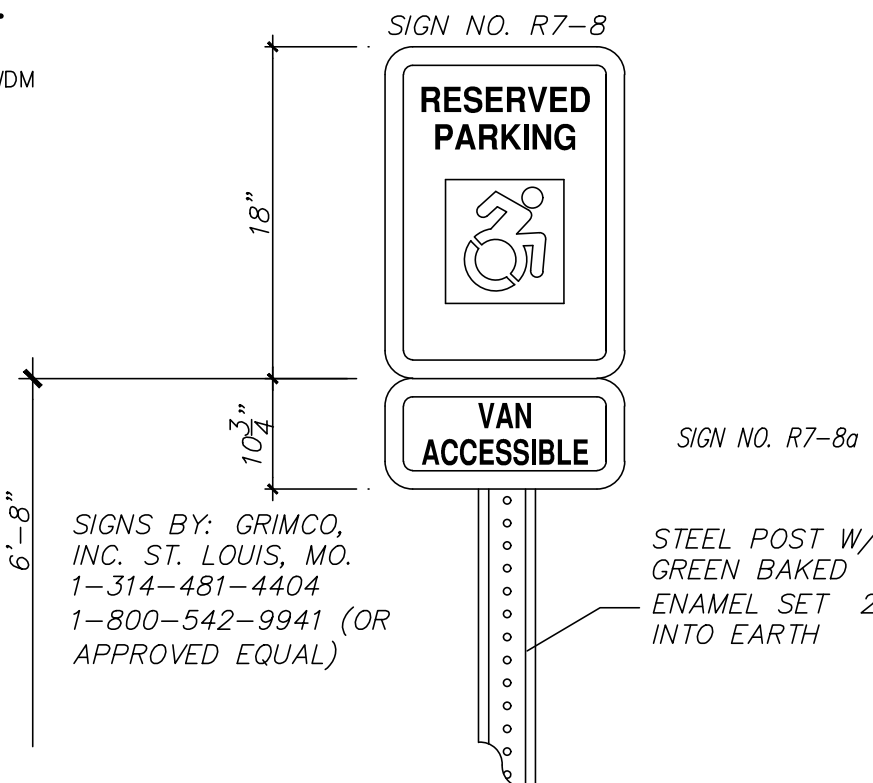


PAVEMENT SECTION

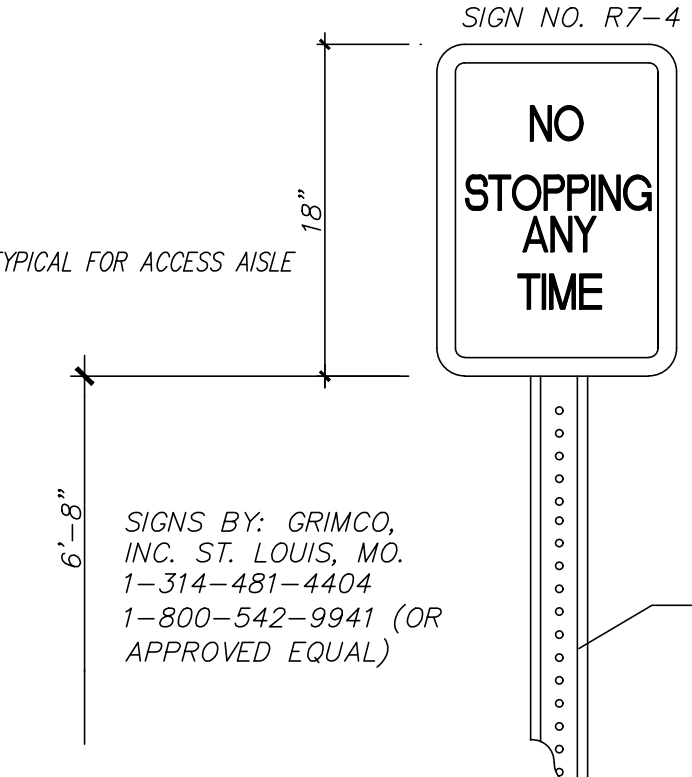
7 POROUS PAVEMENT DETAIL
NOT TO SCALE

CRITICAL POROUS PAVEMENT NOTES:

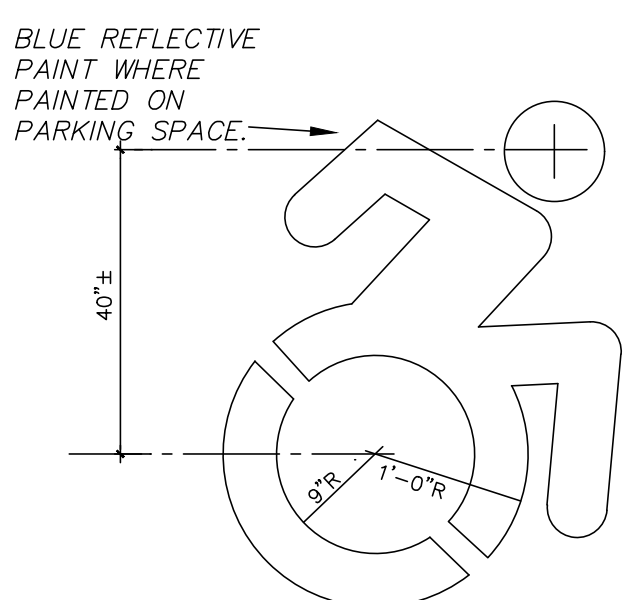
- SUB GRADE MUST BE DECOMPACTIONED IN ACCORDANCE WITH NYSDC REGULATIONS IMMEDIATELY PRIOR TO INSTALLATION OF THE GEOTEXTILE FABRIC.
- DESIGN MIX MUST HAVE POLYMER ADDITIVE AND WILL NOT BE ACCEPTED WITHOUT.



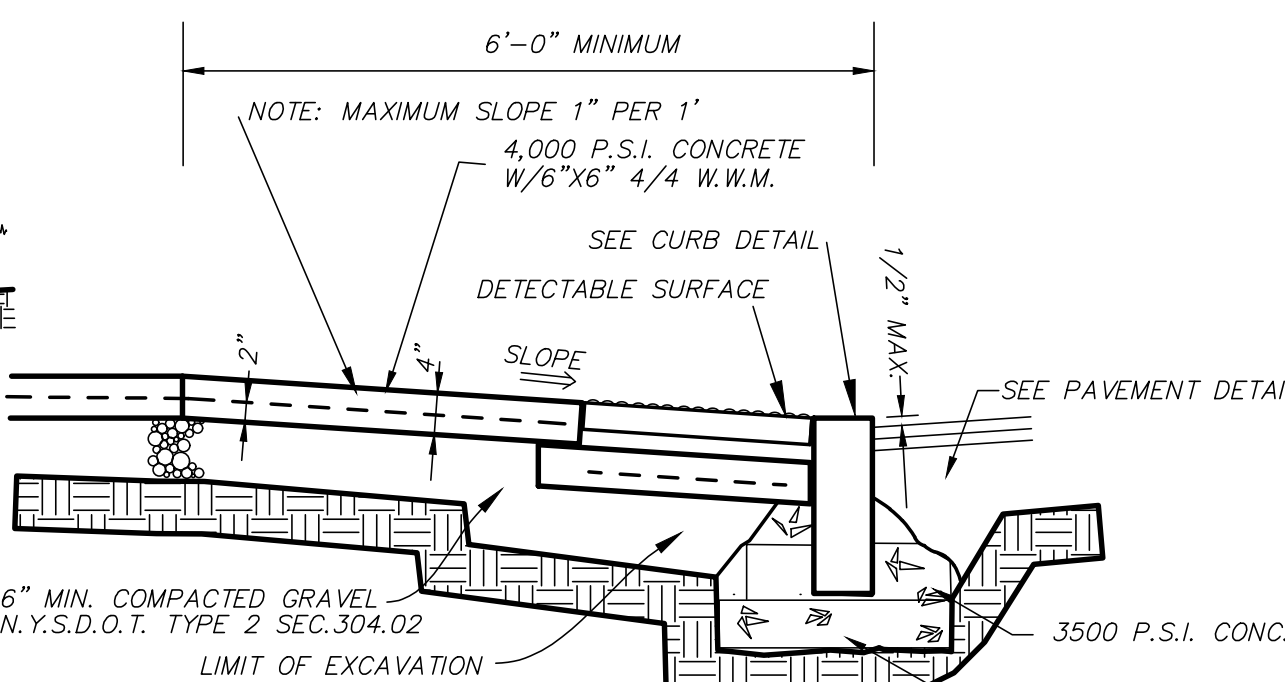
12 HANDICAP SIGN
TYPICAL FOR PARKING SPACE



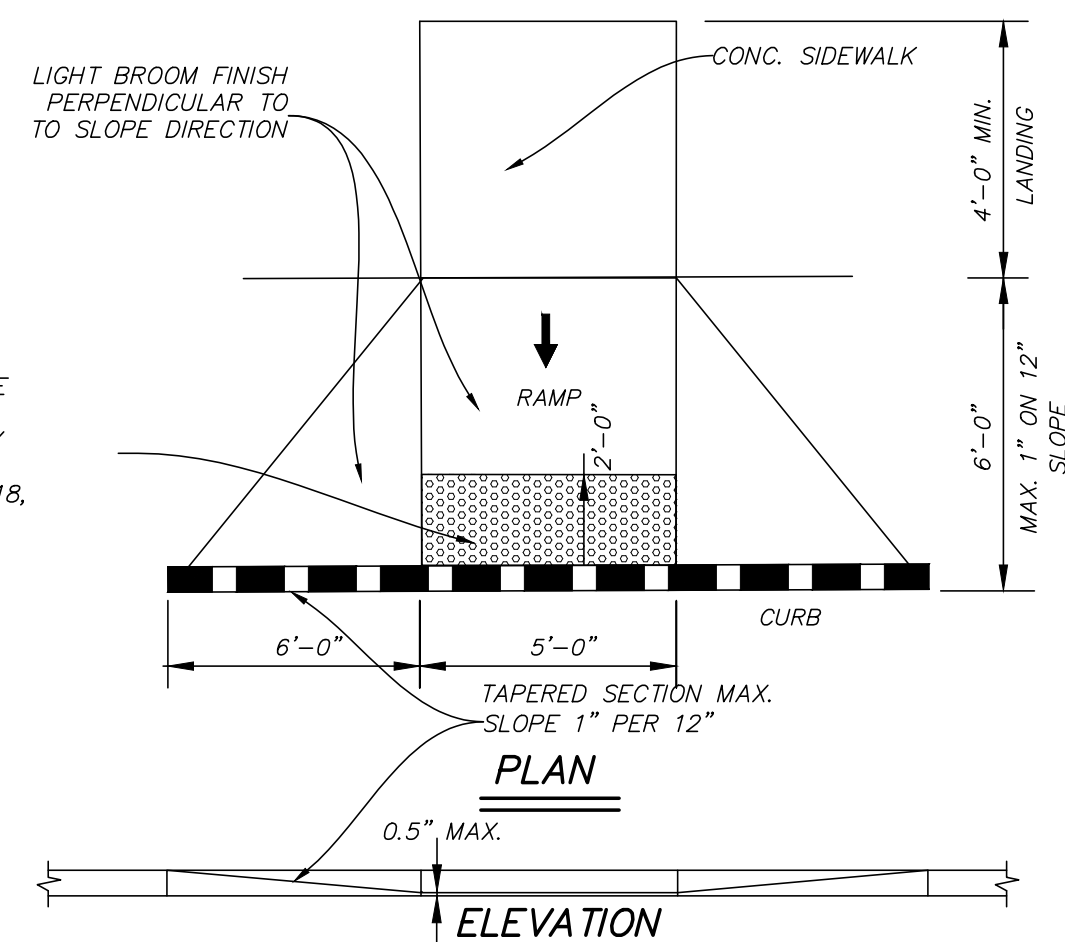
11 HANDICAP SIGN
N.T.S. TYPICAL FOR ACCESS AISLE



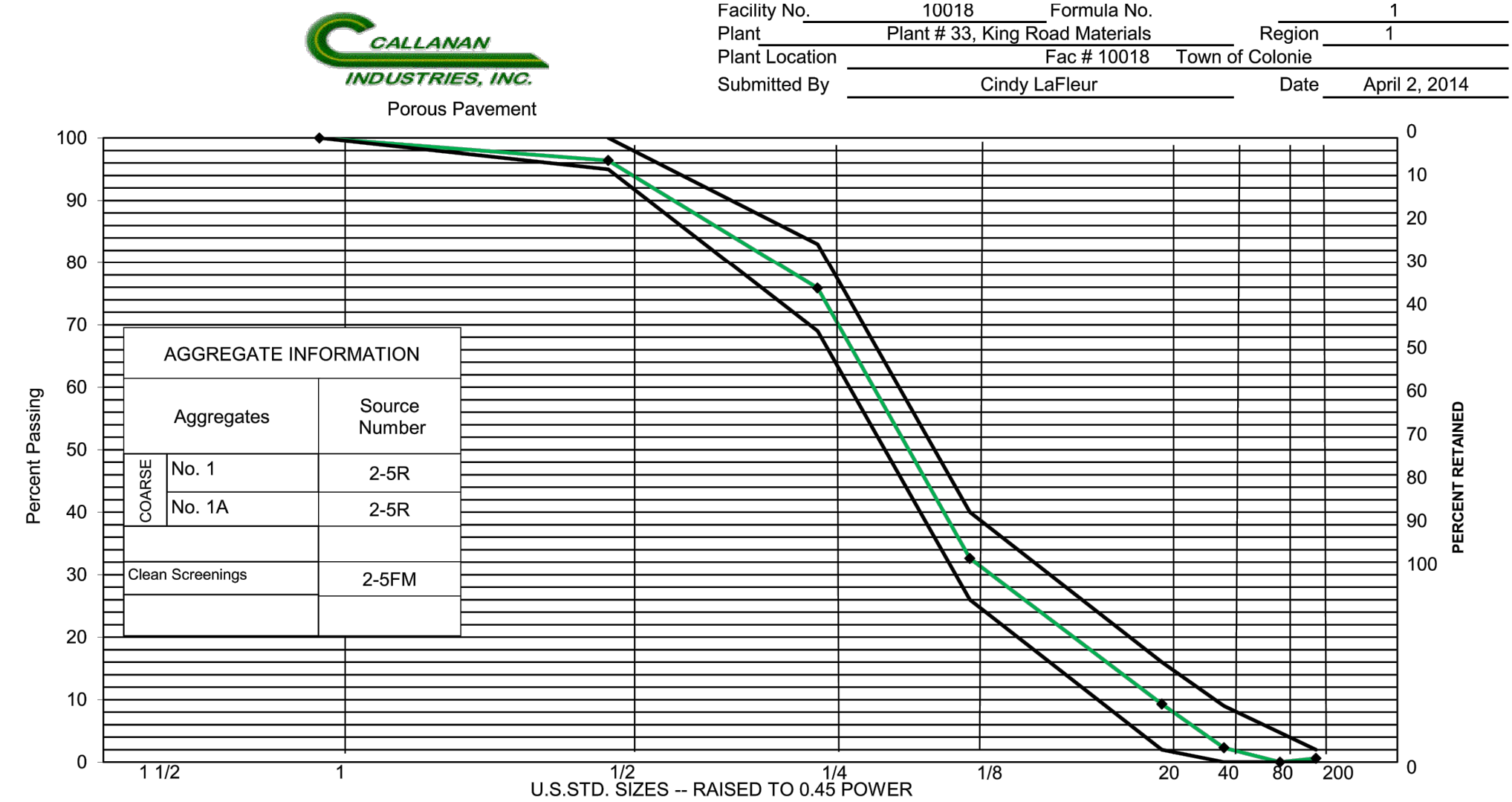
10 HANDICAP SYMBOL
N.T.S.



3 HANDICAPPED RAMP DETAIL
NOT TO SCALE



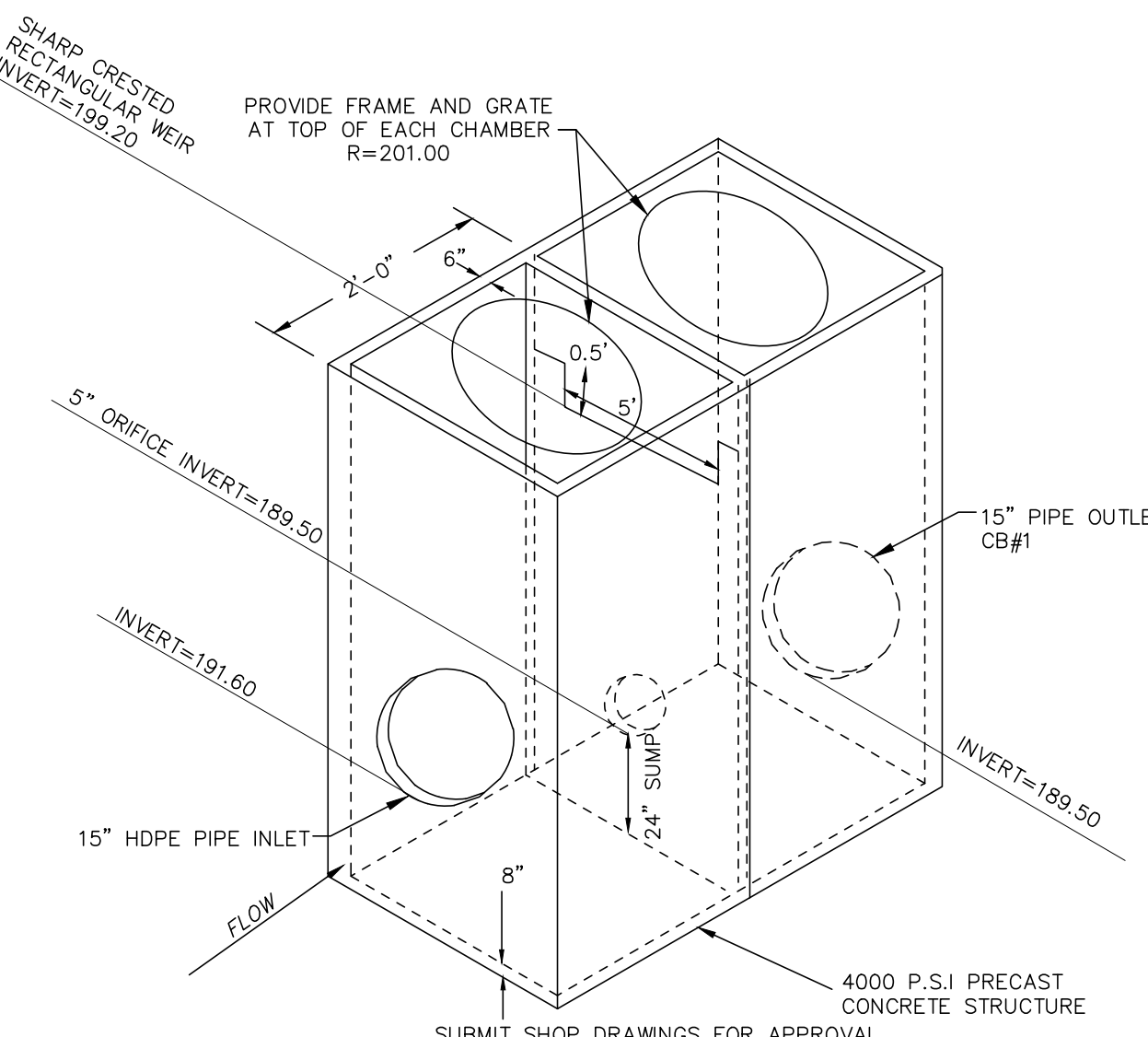
4 HANDICAPPED RAMP PLAN
N.T.S.



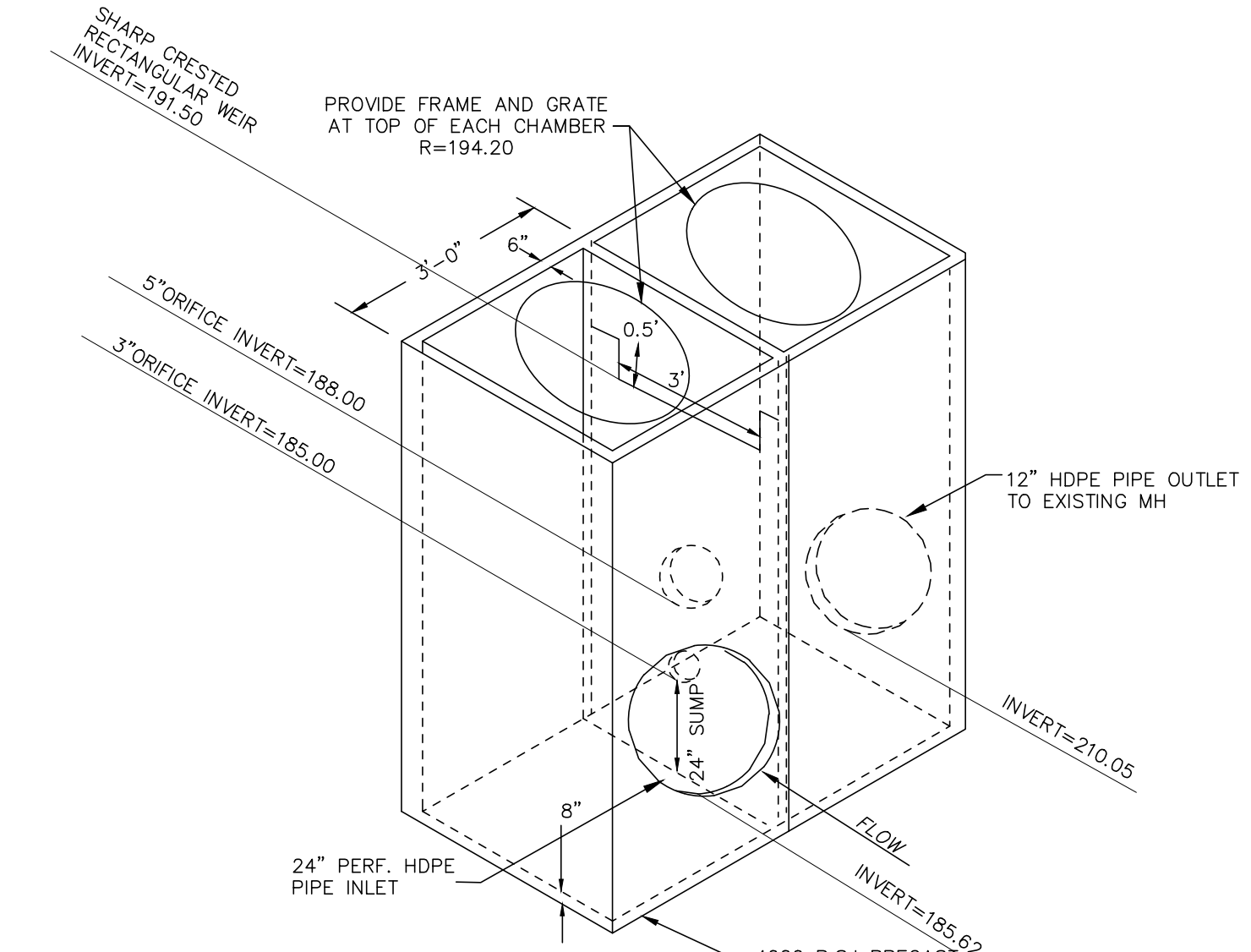
Sieve Size	2"	1 1/2"	1"	3/4"	3/8"	#4	#8	#16	Nº. 200	Asphalt Content (Percent)	Asphalt Grade
1. General Limits			100	95-100	69-83	26-40	2-16	0-9	0.0-2.0		PG 64-22P*
2. JMF Range			100	95-100	69-83	26-40	2-16	0-9	0.0-2.0		
3. Target Value			100	96.4	75.9	32.6	9.3	2.3	0.6	4.9	

QC Approved by: *[Signature]* Date April 2, 2014

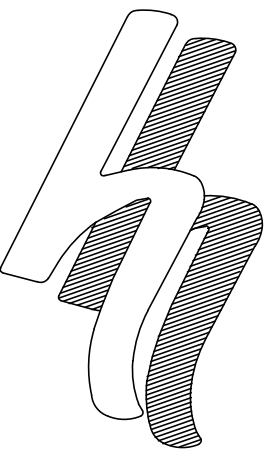
Remarks: * Minimum Elastic Recovery of 60% or PG 64V-22



13 ORIFICE CONTROL STRUCTURE #1 (OCS 1) DETAIL
NOT TO SCALE



14 ORIFICE CONTROL STRUCTURE #2 (OCS 2) DETAIL
NOT TO SCALE

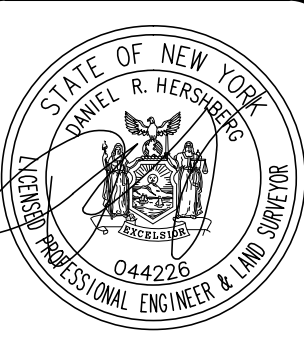


HERSHBERG & HERSHBERG

Consulting Engineers and Land Surveyors

18 Locust Street
Albany, New York 12203

ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, IS ILLEGAL

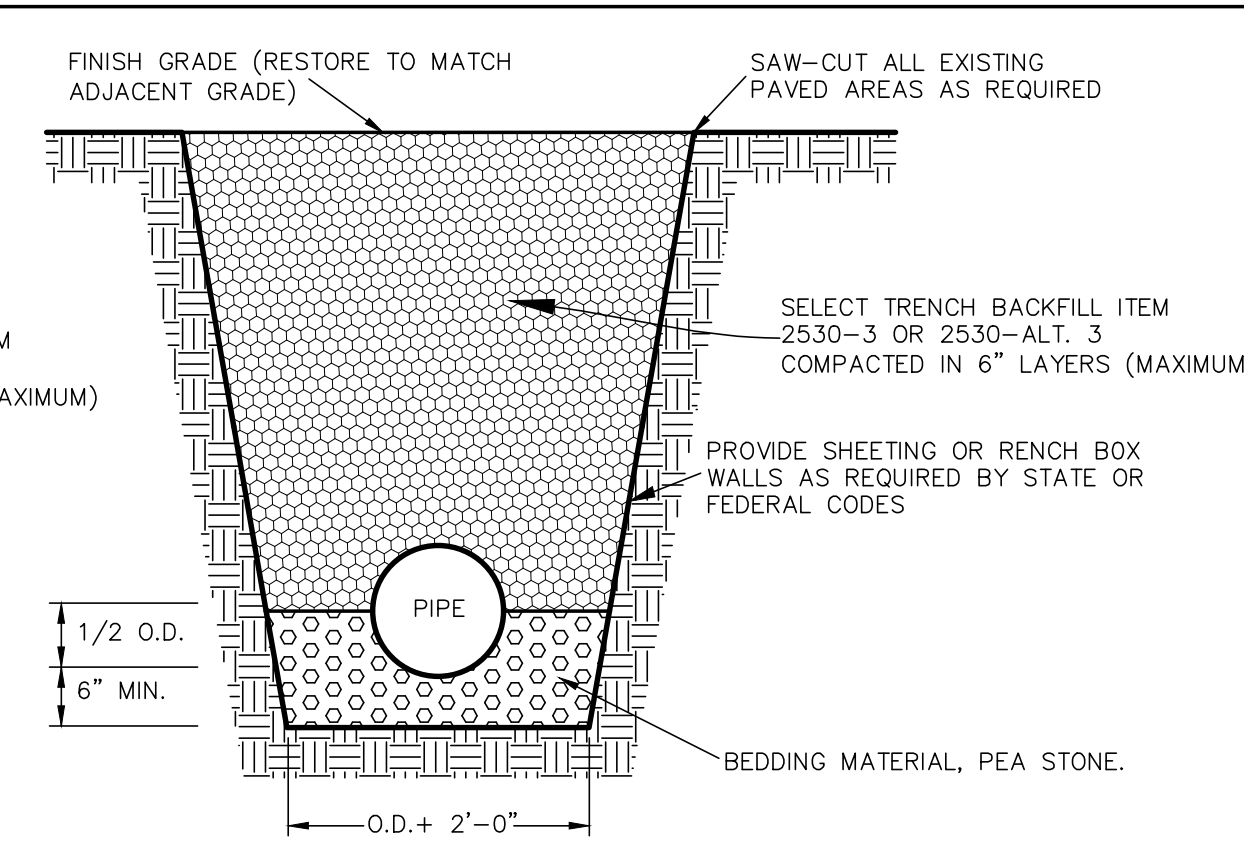


REVISIONS	DATE	REMARKS
1	10/2/17	REVISIONS TO 7/C7 & 5/09 DETAILS
2	11/27/17	IMP. COMMENT LETTER
3	12/17/17	12/6/17 COMMENT LETTER
4	12/12/17	IMP. COMMENT LETTER
5	1/9/18	ENGINEERING & IMP. COMMENT LETTER
6	1/12/18	ENGINEERING COMMENT LETTER

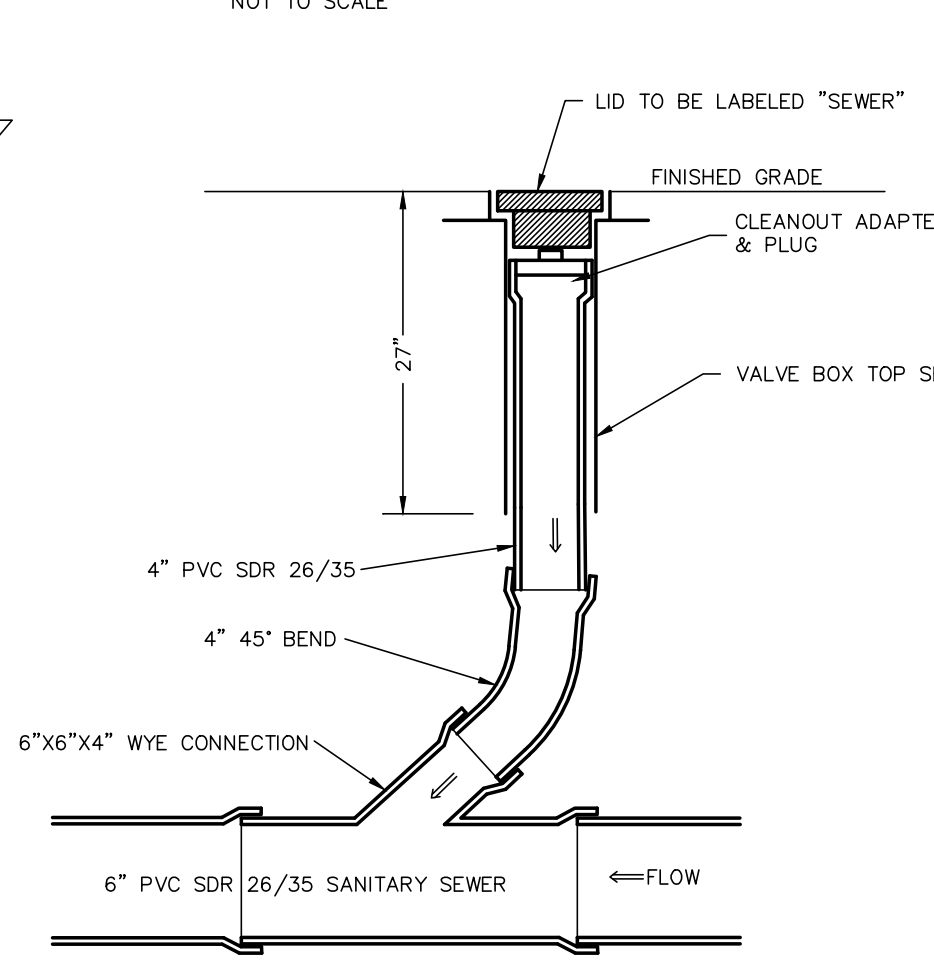
DETAILS
363 ONTARIO STREET APARTMENTS
ALBANY, NEW YORK

FILE: 170034 SCALE: 1"=20' DATE: 6/12/17 CHK: DRH BY: AS 170034-5

C7



1. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, STANDARDS, ORDINANCES, RULES AND REGULATIONS. THE ENGINEER WILL PROVIDE AN ELECTRONIC FILE ON AUTOCAD FORMAT FOR SITE WORK LAYOUT.
2. EXISTING UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM FIELD LOCATION WHERE POSSIBLE AND FROM RECORD DATA. THE LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ACTUAL LOCATION SHALL BE VERIFIED BY THE CONTRACTOR. CONTACT DIG SAFELY NEW YORK (1-800-962-7962) AND MUNICIPAL AGENCIES HAVING JURISDICTION 72 HOURS PRIOR TO ANY EXCAVATING AND/OR CONSTRUCTION TO HAVE UTILITIES MARKED ON SITE.
3. CONSTRUCTION OF STORM SEWERS MUST BEGIN AT ITS POINT OF CONNECTION TO THE EXISTING DRAINAGE OR AT THE LOWEST POINT IN THE SYSTEM. RIMS, GRATES, INVERTS, CLEARANCES AND LOCATION AT CROSSINGS MUST BE VERIFIED PRIOR TO THE BEGINNING OF CONSTRUCTION. THE ENGINEER MUST BE NOTIFIED AT LEAST 24 HOURS IN ADVANCE OF ANY INSTALLATION SO THAT HE WILL BE ABLE TO PROVIDE SUPERVISION AS REQUIRED. THE CONTRACTOR MUST KEEP A RECORD OF ALL UNDERGROUND UTILITIES INSTALLED OR ENCOUNTERED SO THE ENGINEER WOULD BE ABLE TO USE THESE RECORDS FOR THE PREPARATION OF RECORD DRAWINGS AS REQUIRED BY THE LOCAL MUNICIPALITY.
4. ALL SANITARY SEWER LATERALS, STORM SEWERS AND APPURTENANCES TO BE CONSTRUCTED IN COMPLIANCE WITH THE LOCAL MUNICIPALITY'S CODES AND REGULATIONS GOVERNING THE INSTALLATION OF SUCH UTILITIES.
5. THE ENGINEER RESERVES THE RIGHT TO EXAMINE ANY WORK DONE ON THIS PROJECT AT ANY TIME TO DETERMINE THE CONFORMANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS OF THIS PROJECT, AS INTENDED AND INTERPRETED BY THE ENGINEER.
6. MISCELLANEOUS WORK NOT SPECIFICALLY SHOWN ON THE CONTRACT DRAWINGS SUCH AS PATCHING, BLOCKING, TRIMMING, ETC. SHALL BE PERFORMED AS REQUIRED TO MAKE THE WORK COMPLETE.
7. ALL DISTURBED AREA TO RECEIVE TOPSOIL AND SEED, EXCEPT AS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL:
 - A. VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ENGINEER OF ANY DISCREPANCY.
 - B. EXAMINE THE SITE AND INCLUDE IN HIS WORK THE EFFECT OF ALL EXISTING CONDITIONS ON THE WORK.
 - C. PROVIDE AND INSTALL ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH RECOMMENDED GOOD STANDARD PRACTICE.
 - D. COMMENCE WORK IMMEDIATELY UPON AWARDING OF THE CONTRACT AND PROCEED DILIGENTLY AND CONTINUALLY TO COMPLETION OF ALL WORK.
 - E. OBTAIN CERTIFICATE OF INSURANCE ACCEPTABLE TO THE OWNER PRIOR TO COMMENCEMENT OF THE WORK.
 - F. HOLD THE OWNER HARMLESS AGAINST ANY AND ALL CLAIMS ARISING FROM WORK DONE BY THE CONTRACTOR ON THE SITE.
9. ALL BACKFILL USED IN TRENCHES EXCAVATED IN EXISTING ROADWAYS SHALL BE PLACED IN MAXIMUM SIX (6) INCH LIFTS AND COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS.
10. WHEN BACKFILLING AROUND PROPOSED OR EXISTING STRUCTURES, MATERIAL SHALL BE PLACED IN MAXIMUM SIX (6) INCH LIFTS AND COMPACTED BY MEANS OF A COMPACTOR BETWEEN LIFTS.
11. ALL VEHICLES HAULING MATERIAL SHALL BE EQUIPPED WITH CANVAS COVERS TO PREVENT DUST AND LOOSE MATERIAL FROM EXISTING THE VEHICLE.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION AND CONFORMANCE TO THE "NEW YORK STATE EROSION AND SEDIMENT CONTROL MANUAL, REVISED JULY 2016." THE CONTRACTOR IS RESPONSIBLE FOR INFORMING ALL CONSTRUCTION WORKERS INVOLVED IN THE SITE DEVELOPMENT OF THE IMPORTANCE AND ELEMENTS OF THE PLAN.
13. ALL DISTURBED LAWN AREAS SHALL BE SEEDED AND MULCHED PROMPTLY TO MINIMIZE EROSION POTENTIAL.
14. ALL EXISTING DRAINAGE MUST BE MAINTAINED EXCEPT AS SHOWN.
15. FINISHED GRADES SHOWN HEREON DEPICT THE GRADE UPON COMPLETION OF CONSTRUCTION. FINISHED GRADES AT TIME OF RECLAMATION MAY BE LOWER DUE TO EXCAVATION FOR TOPSOIL, SUB-BASE MATERIAL AT ROADS, PARKING, CONCRETE SLABS, OR FLOOR SLABS.
16. CONTRACTOR SHALL USE DUST CONTROL MEASURES DURING CONSTRUCTION.
17. ALL LAYOUT TO BE PERFORMED BASED UPON ASSUMED COORDINATE SYSTEM WHICH IS UNIQUE TO THIS PROJECT.
18. CONTOUR ELEVATION AND SPOT ELEVATION ARE BASED UPON AN NAVD 1988 DATUM.
19. WHENEVER A PORTION OF EXISTING PAVEMENT IS TO BE REMOVED IT SHALL FIRST BE SAWCUT TO FULL DEPTH.
20. SEEDING OF ALL CUT AND FILL AREAS SHALL BE DONE IMMEDIATELY AFTER CONSTRUCTION.

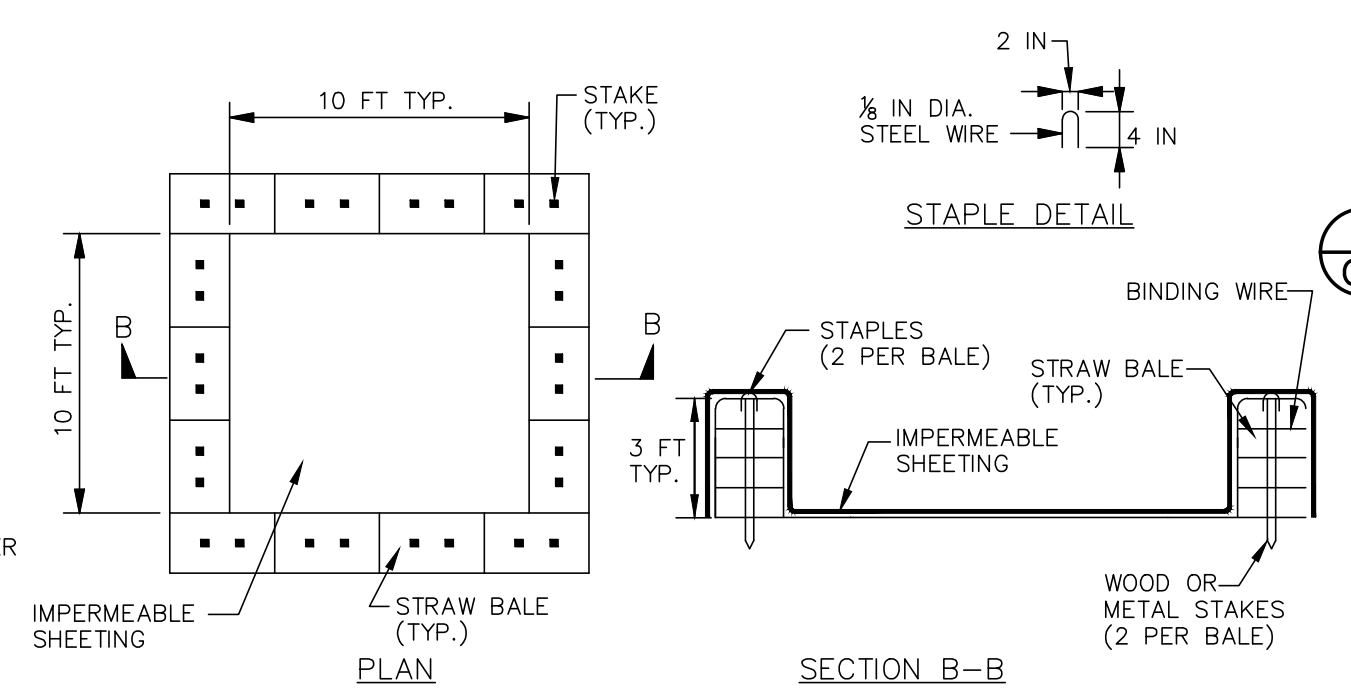


 NOT TO SCALE

1. INSTALL CONSTRUCTION ACCESS IN ACCORDANCE WITH "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", SECTION 7A.
2. STONE SIZE -USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
3. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
4. THICKNESS- NOT LESS THAN (6) INCHES.
5. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. IF CONSTRUCTED AS THE ONLY ENTRANCE TO THE SITE, WIDTH SHALL BE TWENTY-FOUR (24) FEET.
6. STABILIZATION FABRIC - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
7. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
8. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
9. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS ONTO AN APPROVED SEDIMENT TRAPPING DEVICE.
10. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

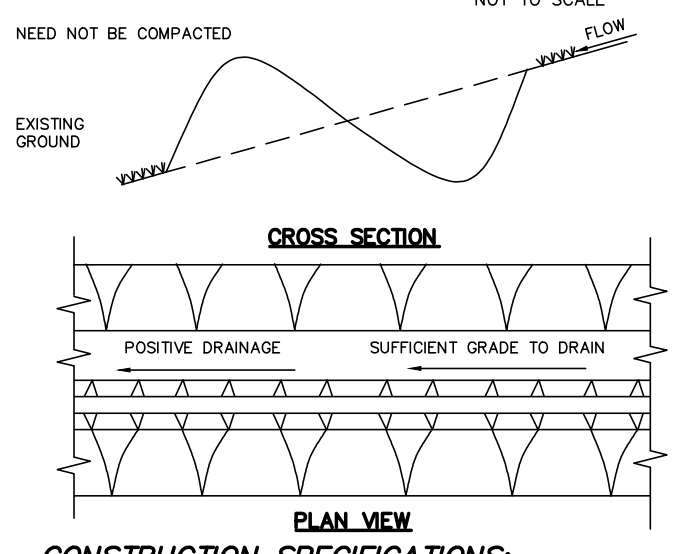


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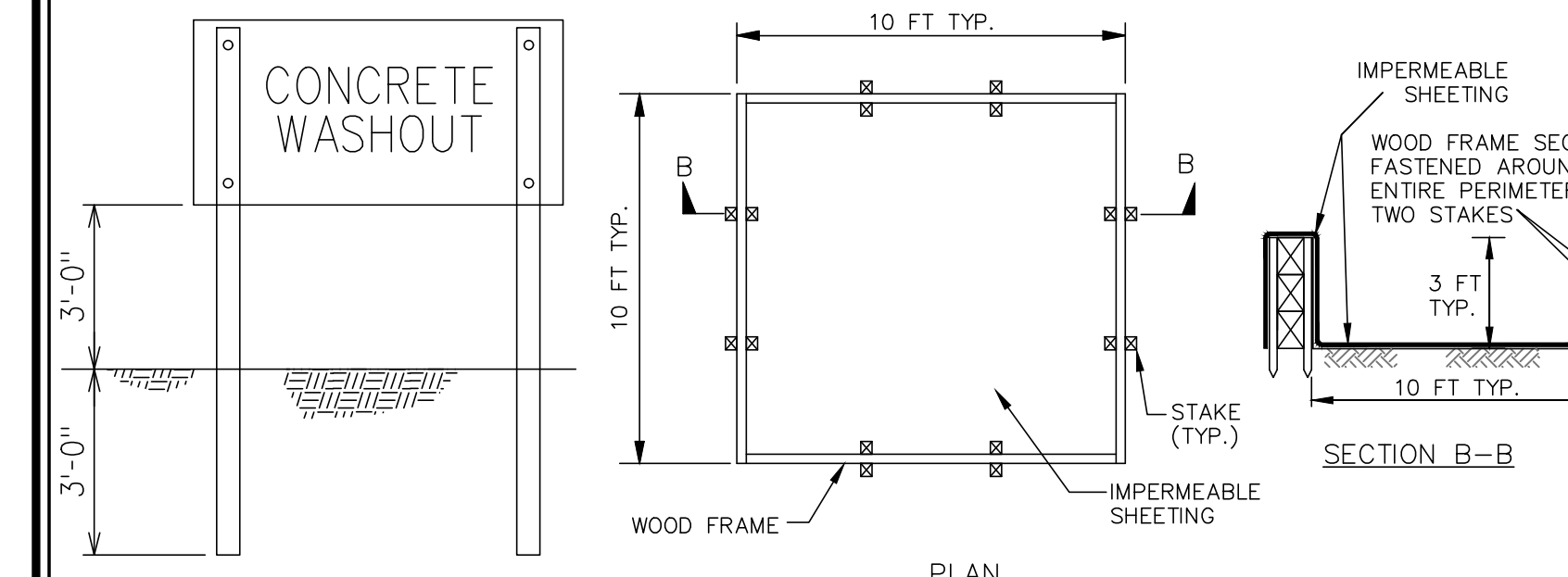
(C8) NOT TO SCALE

-
- 10 FT TYP.
- STAKE (TYP.)
- $\frac{1}{8}$ IN DIA. STEEL WIRE
- 2 IN
- 4 IN



1. ALL PERIMETER DIKE/SWALE SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
4. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY AND REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WEI-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED STORMS, REMOVE WASHOUT STRUCTURE COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.



WASHOUT STRUCTURE WITH WOOD PLANKS

NOT TO SCALE



MINIMUM SIZES		
<u>BARREL DIAMETER*</u> (INCHES)	<u>RISER DIAMETER*</u> (INCHES)	<u>MAXIMUM DRAINAGE AREA</u> (ACRES)
12	15	1
15	18	2
18	21	3
21	24	4
21	27	5

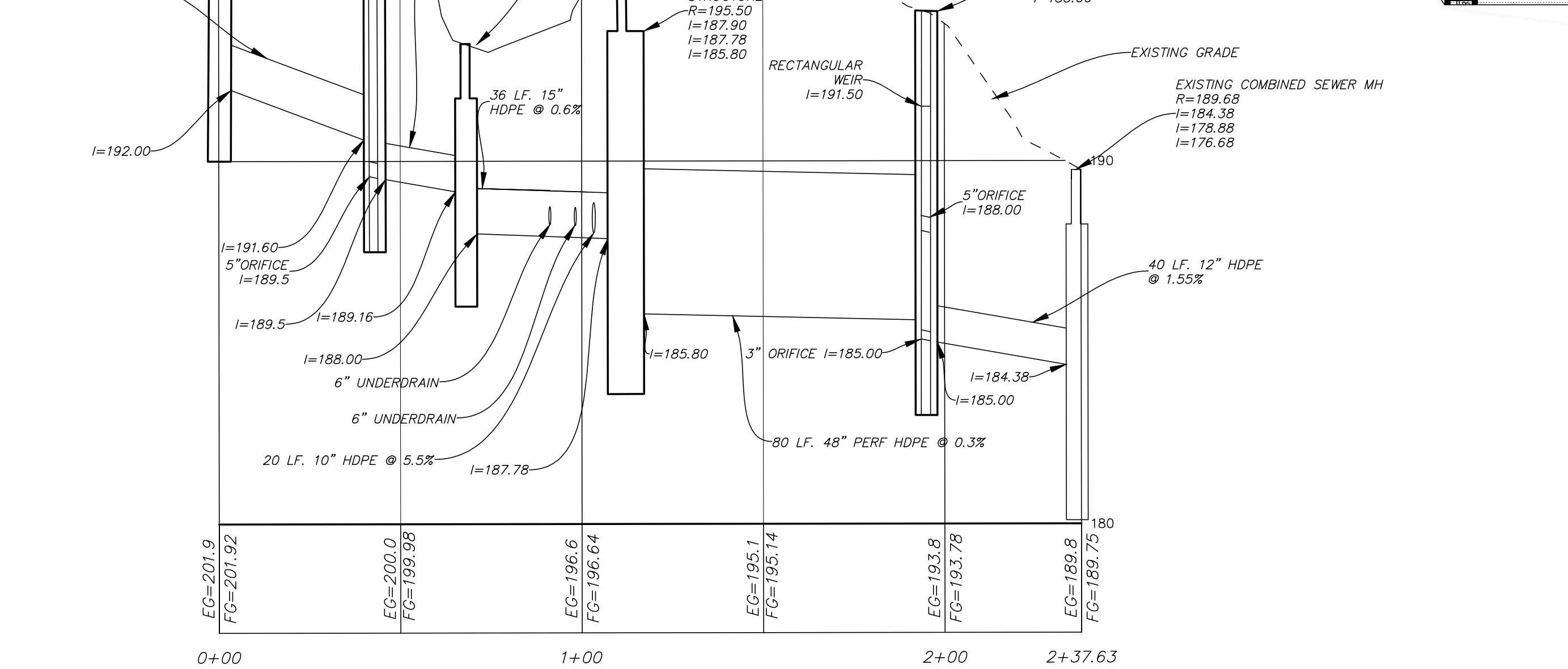
* BARREL DIAMETER MAY BE SAME SIZE AS RISER DIAMETER

CONSTRUCTION SEQUENCE SUMMARY TABLE	
CS#	DISTURBED AREA
CS1	1.75 ACRES

DESCRIPTION	TRAP No.1
TYPE	I
DRAINAGE AREA	1.75 ACRES
STORAGE REQ'D	232 C.Y.
STORAGE PROVIDED*	240 C.Y.
PIPE OUTLET	12"
DEPTH BELOW OUTLET	12"
ENBANKMENT HT.	10"
50% CLEANOUT ELEVATION	187.50
INVERT OUT ELEVATION	185.0
LENGTH x WIDTH x H"*	65'x20'x5"

C8 NOT TO SCALE

9



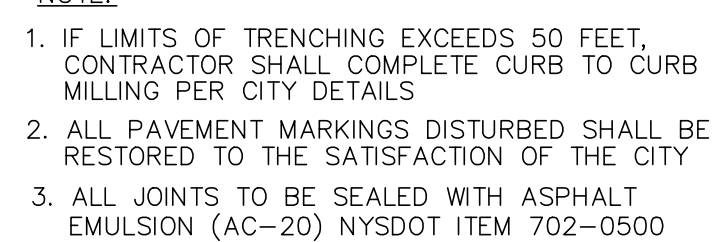
C10



1
C11

CONCRETE STEPS & RAIL DETAIL

NOT TO SCALE



NOT TO SCALE



2
C11 CONCRETE DRIVEWAY APRON DETAIL



NOT TO SCALE



NOT TO SCALE

8.



NOT TO SCALE



8
C11

MECHANICAL JOINT

NOT TO SCALE

NOT TO SCALE



DETAILS
363 ONTARIO STREET APARTMENTS
ALBANY, NEW YORK

170034-5

E: 1/0/19

CHK: 085

BY: A

SCALE: 1"=20'

FILE- 17003A

C 1 1